

OLD KINGS HIGHWAY
MEETING MATERIALS – November 18, 2020

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AGENDA

Wednesday, November 18, 2020, 6:30pm

The Old King's Highway Historic District Committee will be held by remote participation methods as a result of the COVID-19 state of emergency in the Commonwealth of Massachusetts.

Alternative public access to this meeting shall be provided in the following manner:

1. Real-time access to the Old King's Highway Historic District meeting is available utilizing the Zoom link or telephone number and Meeting ID provided below. Public comment can be addressed to the Old King's Highway Historic District Committee by utilizing the Zoom link or telephone number and Meeting ID provided below:

Link: Join Zoom Meeting <https://zoom.us/j/99083850629>

Phone: 1- 888-475-4499 and entering Meeting ID: 99083850629

2. Following the meeting, a recording will be televised via Channel 18 and may be viewed via the Channel 18 website at <http://streaming85.townofbarnstable.us/CablecastPublicSite/>

3. Applicants, their representatives and individuals required or entitled to appear before the Old King's Highway Historic District Committee may appear remotely and are not permitted to be physically present at the meeting, and may participate through accessing the link or telephone number provided above. Documentary exhibits and/or visual presentations should be submitted in advance of the meeting to erin.logan@town.barnstable.ma.us so that they may be displayed for remote public access viewing.

Plans and applications may be reviewed by calling Erin Logan at 508.862.4787 or by emailing erin.logan@town.barnstable.ma.us

To all persons deemed interested or affected by the Town of Barnstable's Old King's Highway Historic District Act under Section 9 of Chapter 470, Acts of 1973 as amended. You are hereby notified that a hearing will be held on the following applications:

APPLICATIONS

McKenzie-Betty, Keith & Margaret, application submitted by tenant Malka, Poria, 3280 Main Street, Barnstable, Map 299, Parcel 035, built 1930

Install 22" X 22" sign above door; install 1 hanging sign on existing ladder sign

McCullough, Rachael, 56 Bursley Path, West Barnstable, Map 110, Parcel 025/005, vacant land

Construct new 2,300sqft single family home with attached 2-car garage

Jensen, James, 353 Willow Street, West Barnstable, Map 131, Parcel 032/000, built 1971

Install 19 flush roof mounted solar panels on the front elevation; panels will be all black and arranged in a solid block on the main roof and one row along the ridge on the side roof

Freeman, Nancy & Mark, 44 Bragg's Lane, Barnstable, Map 299, Parcel 058/000, built 1780

Construct 16'X24' shed with loft space; white cedar siding, asphalt roof

Kennedy, Robert E., 3885 Main Street, Barnstable, Map 335, Parcel 052/000, built 1953

Install 18'X36' in-ground swimming pool with white cedar panel fence

McCullough, Timothy, 3861 Main Street, Barnstable, Map 335, Parcel 008/002, built 1958

Construct a two-car garage addition including breezeway; this iteration is slightly smaller than the project approved in June 2020

MINOR MODIFICATION

Hearns, John & Maureen, 50 Merion Way, Barnstable/Cummaquid, Map 356, Parcel 006/000

Proposal to modify the Certificate of Appropriateness which was previously approved on October 16, 2019 – Add dormer to rear of garage

OTHER *Matters not reasonably anticipated by Chair*

- **Reminder – Barnstable Old King's Highway Election;** Candidate – Lesley Wallace; West Barnstable Community Building on Tuesday, November 24, 2020 from 7pm to 8pm
 - 2021 Hearing/Deadline Schedule
-

APPROVAL OF MINUTES

None

NEXT MEETING DATES

December 16, 2020 & January 13, 2021

Please Note: The list of matters, are those reasonably anticipated by the chair, which may be discussed at the meeting. Not all items listed may be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. It is possible that if it so votes, the Committee may go into executive session. The Committee may also act on items in an order other than they appear on this agenda. * Public files are available for viewing during normal business hours at the Old King's Highway Historic District office located at 200 Main Street, Hyannis, MA



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: _____ Date 10/27/20

NOTE: All applications must be signed by the current owner

Owner (print): Porcia Malka, Porcia Art Studio Telephone #: 508 685-7340

Address of Proposed Work: 3280 (Barn) Main St Village Barnstable Map Lot # _____

Mailing Address (if different) 37 Run Pond rd Dennis MA 02638

Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done: _____

Sign 1) Install 22" x 22" Hand Painted Sign Above Door

Sign 2) Install 1 Hanging sign from Existing Pole Approx 6" x 18" and Bracket

Agent or Contractor (print): Self Telephone #: 508 685-7340

Address: 37 Run Pond Rd Dennis MA Email: _____

Contractor/Agent's signature: _____

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

299034
3264

299035
3280

Peria
Art
Studio

Existing Post 8'

← Hanging
Sign 8'

Sign 1
Fixed To Building
Above Entrance

ROUTE 6A

299017
3267

299016
3279

299015
3291

40ft

1:500

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Cement

Siding Type: Clapboard shingle other
Material: red cedar white cedar other Color: yellow

Chimney Material: ? Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood other material, specify _____
Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights exterior glued grills grills between glass removable interior None

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: 22" x 22" / 10" x 14" Type/Materials: wood Color: Red/white / Grey/white
Sign 1 / Sign 2 Sign 1 / Sign 2

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name Richard Haezinger
Richard Haezinger Paura Malika
Paura Malika 2

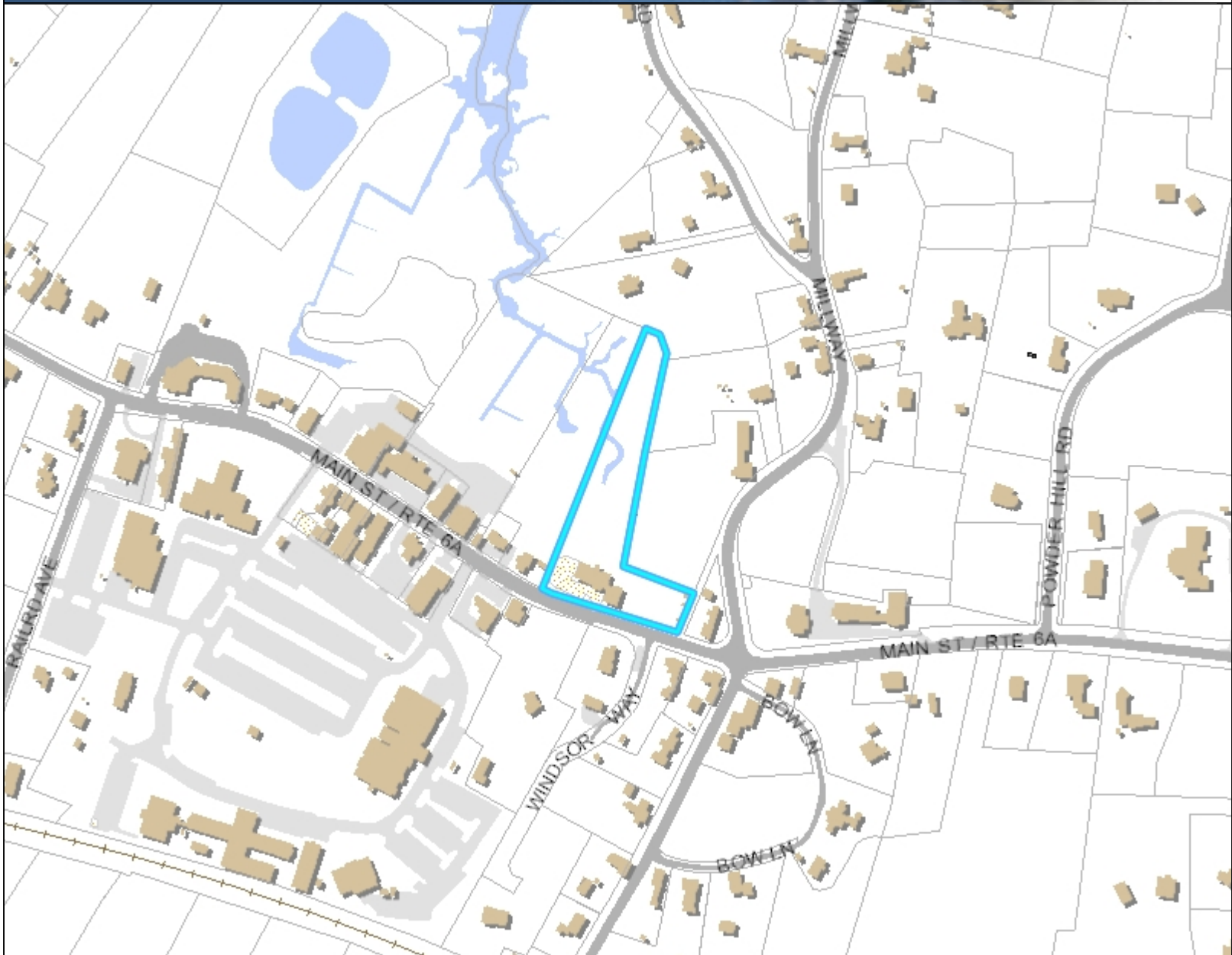
PORIA
ARG
STUDIO



PROPOSED SIGN LOCATION
22"X 22"

POTIA MAIKA
ART

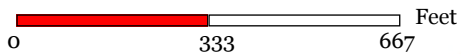
Sign 2
Hang From Pole.



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Parking Lots
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Water Bodies

Map printed on: 11/10/2020



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Legend

Road Names



Map printed on: 11/10/2020



Approx. Scale: 1 inch = 42 feet



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Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 299035

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
299012	GLENNON, DORIS L		PO BOX 6		BARNSTABLE	MA	02630
299015	LEWIS, JON ROBERT TR	MATTAKEESE HILL REALTY TRUST	PO BOX 1196		BARNSTABLE	MA	02630
299016	WEIR, NANCY NEIL & KLUN, VICTORIA		PO BOX 222		BARNSTABLE	MA	02630
299034	HARDEN, CHARLES M & CARLA K		3264 MAIN ST.,PO BOX 82		BARNSTABLE	MA	02630
299035	MCKENZIE BETTY, KEITH & MARGARET		3286 MAIN ST	PO BOX 645	BARNSTABLE	MA	02630
299036	MURPHY, EDWARD J IV & CHRISTY A	%GOCKSCH, MICHAEL K & CLEARY, MEGHAN C	295 CENTRAL PARK W APT 9G		NEW YORK	NY	10024
299037001	KERR, MARY A	%KERR, JONATHAN S & HAASE, BONNIE K	45 MILLWAY		BARNSTABLE	MA	02630
299037002	KERR, JONATHAN S & SUSAN L		P O BOX 421		BARNSTABLE	MA	02630
300013	HEMPSTEAD, JAMES & WARGO, JENNIFER E		69 AVENUE OF TWO RIVERS		RUMSON	NJ	07760



Barnstable Old Kings Highway Historic District Committee

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2. Type of Building: House Garage/barn Shed Commercial Other
3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
4. Sign: New Sign Existing Sign Repainting Existing Sign
5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: _____ Date 10/27/20

NOTE: All applications must be signed by the current owner

Owner (print): Rachael McCullough Telephone #: 508-737-9096

Address of Proposed Work: 56 Brasley Path Village _____ Map Lot # 34

Mailing Address (if different) _____

Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done: Construction of New Home

Agent or Contractor (print): J.D. Sullivan Builders Telephone #: 508-728-4821

Address: 39 Desires Ln West Barnstable MA 02668 Email: jsullivan@jdsullivanbuilders.com

Contractor/Agent's signature: [Signature]

For committee use only This Certificate is hereby **APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit **5 copies**

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Concrete

Siding Type: Clapboard shingle other _____
Material: red cedar _____ white cedar _____ other _____ Color: _____

Chimney Material: NA Color: _____

Roof Material: (make & style) Asphalt Architects Color: Weathered wood

Roof Pitch(s): (7/12 minimum) 8 (specify on plans for new buildings, major additions)

Window and door trim material: wood _____ other material, specify Azel 3/4"

Size of cornerboards 6" size of casings (1 X 4 min.) 4" color white

Rakes 1st member 1x6 2nd member 1x3 Depth of overhang 8" min

Window: (make/model) Harvey/Case material Vinyl color white
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):

true divided lights _____ exterior glued grills _____ grills between glass removable interior _____ None _____

Door style and make: Colonial w/ side lights material Fiberglass Color: Red

Garage Door, Style Shaker Size of opening 9' Material metal Color white

Shutter Type/Style/Material: Raised Panel vinyl Color: Blue

Gutter Type/Material: 6" Aluminum Color: white

Deck material: wood other material, specify mahogany Color: clear

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) _____ Print Name _____

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. **ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.**
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.
- Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:
 - Name of applicant, street address, assessor's map and parcel number.
Name address and telephone number of the plan preparer, plan date, & dates of revisions
 - The location of existing and proposed buildings and structures, and lot lines.
 - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
 - Existing buffer areas to remain.
 - Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
 - The location, number, size and name of proposed new trees and plants.
 - Driveway, parking areas, walkways, and patios indicating materials to be used.
 - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
 - All proposed exterior lighting and signs.
- Sketch or photos of adjacent properties**, (1 copy only)
A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- Photographs of all sides of existing buildings** to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 _____ sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

Building 1 _____ sq. ft. Building 2 _____

New building or addition, foot print:

Building 1 2300 sq. ft. Building 2 _____

New Building or addition, gross floor area, including area of finished basement:

Building 1 2800 sq. ft. Building 2 _____



SLIMLINE

Double Hung



Options

GLASS



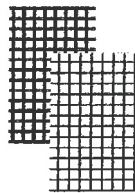
SunGain HSHG
ThermoGuard

SCREEN FRAME



Rollform
Aluminum
FlexScreen

SCREEN MESH



Fiberglass
VIEWS

EXTERIOR COLORS



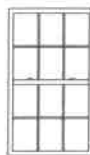
White
(Standard)

GRID TYPE

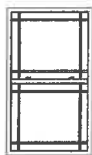


GBG

GRID STYLE



Colonial



Prairie

HARDWARE COLORS



White
(Standard)

Features

Slimmer, fully-welded sash and frame that maximizes view

Low profile sweep lock

Double locks are standard on widths of $\geq 30"$

Available in single hung





METAL SWEEP LOCK

WINDOW STYLE	MIN (W)	MIN (H)	MAX (W)	MAX (H)	MAX UI
Single/Double Hung	16-1/4"	26-1/4"	45-3/4"	77"	116"

REPLACEMENT

3-1/4" jamb depth

Adjustable vinyl sill extender and head expander included

NEW CONSTRUCTION

Extension jambs available for 4-9/16" and 6-9/16" wall depths

Integral L or J fin available

OTHER OPTIONS

Grids come in 5/8"

Custom grid configurations plus oriel & cottage sash options

Full and half size screens

Exterior Factory Applied Casing: Flat & 908 Brickmould, with or without sill nose

Interior Trim Kits

STRUCTURAL DATA

Unit Size W x H	Configuration	Air Infiltration cfm/ft ²	Water Resistance psf	Structural Test Pressure psf	DP Rating	Structural Rating
46" x 77"	Single	0.01	4.59	45.11	DP30	H-LC30
40" x 63"†††	Single	0.01	7.52	75.19	DP50	H-LC50

† Reinforced sash

THERMAL DATA

Glazing Description	NO GRIDS Thermal Performance			WITH GRIDS Thermal Performance			ENERGY STAR® Zone Compliance		
	U	SHGc	VT	U	SHGc	VT	NC		
SunGain™ High Solar Heat Gain Package	0.30	0.51	0.82	0.30	0.46	0.55			
ThermaGuard Low-E	0.30	0.31	0.57	0.30	0.28	0.50	NC		
Low-E	0.33	0.32	0.57	0.33	0.29	0.50			
Clear	0.47	0.61	0.84	0.47	0.54	0.57			

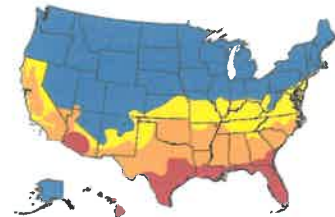
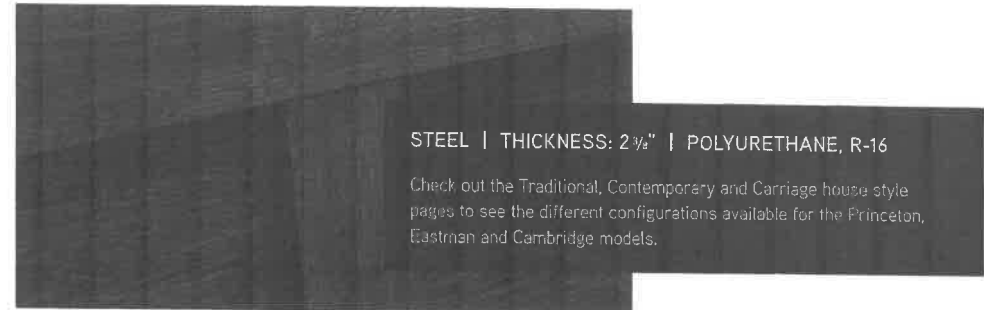
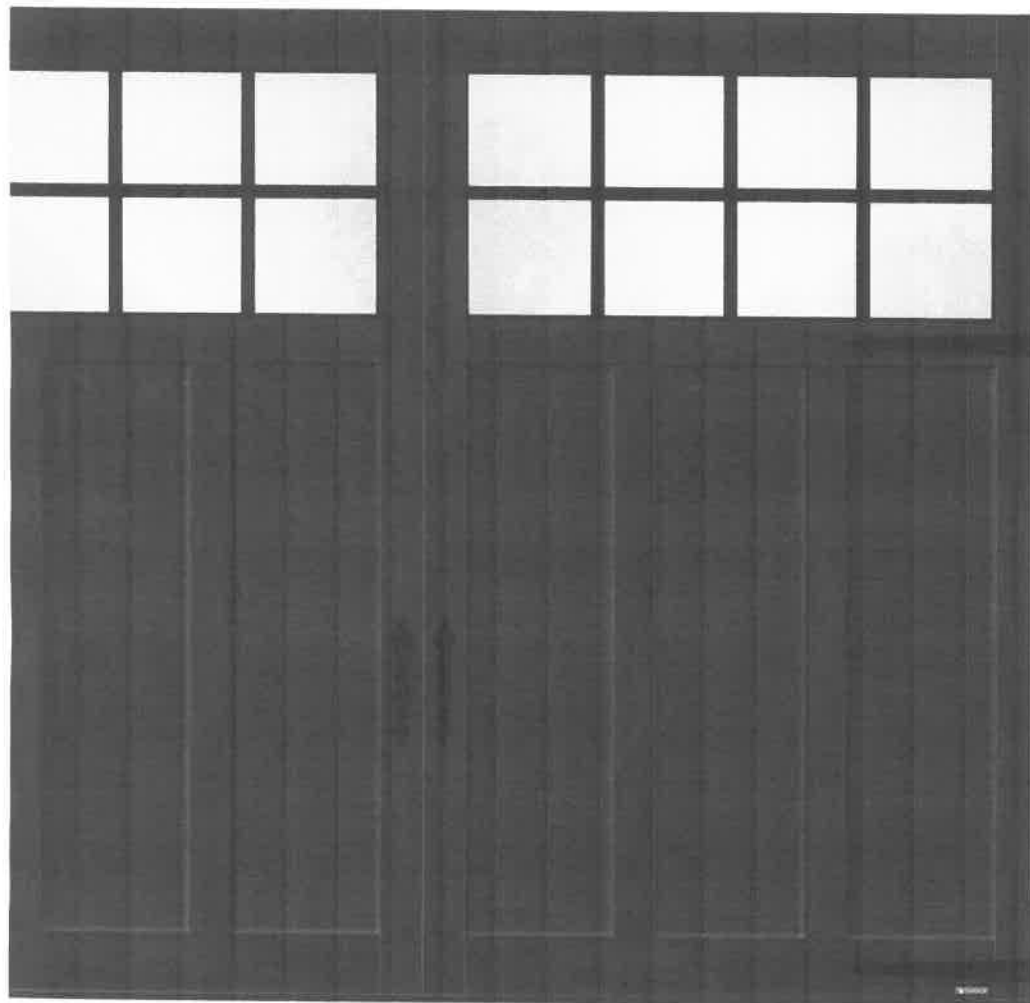


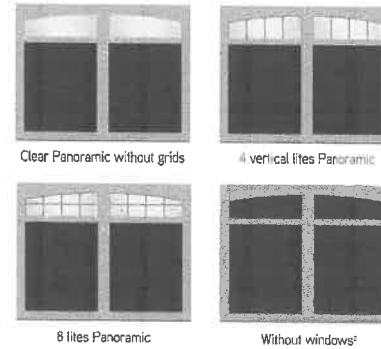
Chart represents thermal values for replacement/Integral J frame windows with Krypton or Argon gas fill for most glass packages. Gas fill not available with clear glass. U-factor in accordance with NFRC-100 and based on whole window values. Performance values shown are for "Single Strength" glass, unless otherwise noted. Performance with "Double Strength" glass, different reinforcement levels, may vary. Performance with 1" grids may vary. Select glass types shown — others are available subject to special inquiry.

A bit more technical...



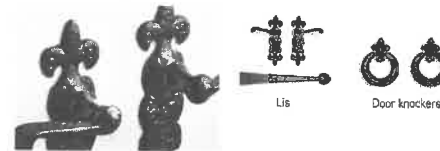
ARCH OVERLAY¹

Available for Princeton and Eastman
Always installed in the top section and only available with Panoramic windows or without windows

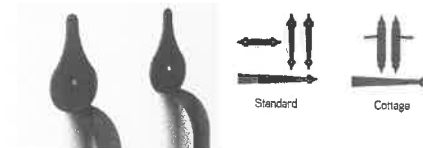


DECORATIVE HARDWARE²

Handmade wrought Iron texture



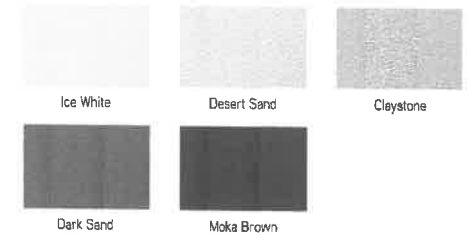
Slightly bumpy texture



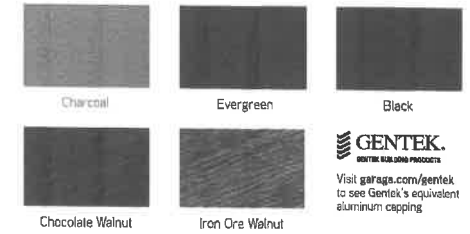
¹ Arch Overlay is not available in Chocolate Walnut and Iron Ore Walnut
² "Without windows" option is not available for Princeton
³ Available for Princeton and Eastman
⁴ Visit garaga.com/premiumcolors to learn more about Garaga's Premium Colors

PANEL COLORS

Standard

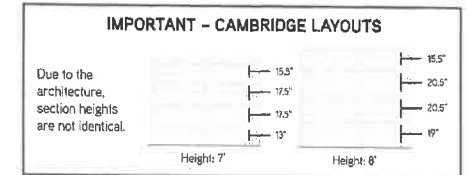


Premium⁴



GENTEK.
GENTEK BUILDING PRODUCTS
Visit garaga.com/gentek to see Gentek's equivalent aluminum capping

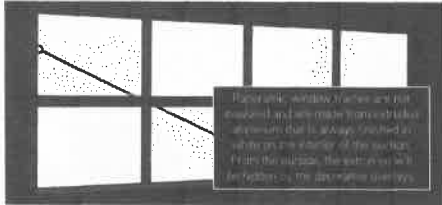
OVERLAY COLORS



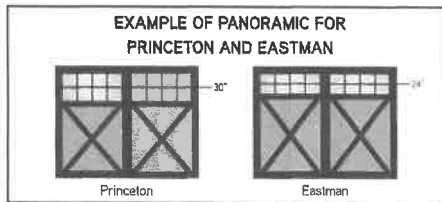
WINDOWS

Panoramic, Orion and Types of Glass windows can only be installed in the top section.

Panoramic



The squares widths vary depending on the design and size of the chosen door. Note that no matter what door color you choose, the inside of the Panoramic section is always White.



SIZES

Widths from 8' to 18', in 1" increments. Heights in 3" increments; Eastman and Cambridge from 6'6" to 8', Princeton from 7' to 8'. See your garage door dealer for more details on oversized doors available.

WARRANTY

Door sections: limited lifetime
Windows: 10 years against seal defects
1 year for thermal break
Dura+ hardware: 2 years

Decorative PVC moldings:
10 years (discoloration)
5 years (delamination)
Weatherstripping: 1 year

¹Not available for Cambridge CM and CS layouts
²Not available for Cambridge and Princeton layouts

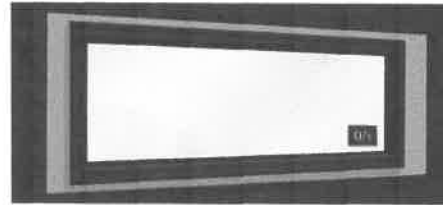
³Clear 40" x 13" thermopane glass is also available with the Low-E Argon energy option.

Orion (40" x 13")²



Types of glass (40" x 13")²

Privacy Level: **X/X**

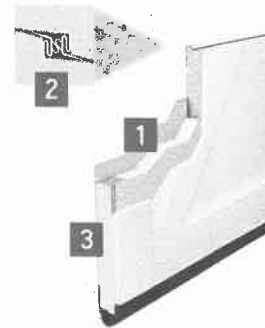


COORDINATES WITH

Novatech

Garaga is proud to collaborate with the entry door manufacturer Novatech so we can offer products that go together perfectly.

See what coordinates with our garage doors and window, visit garaga.com/novatech or scan the QR code.



GARAGA CONSTRUCTION MAKES ALL THE DIFFERENCE

3 layers, polyurethane insulation

- 1 Polyurethane insulation** acts as a thermal break to prevent transfer of cold or heat
- 2 InterLok™ joints** block air infiltration for superior thermal insulation
- 3 Wood end blocks** are one of the most effective thermal breaks



In garage door comparison tests, Garaga wins hands down. Watch our 45-second video at garaga.com/lab.



To **save energy**, all components of a garage door must be taken into consideration (joints between sections, weatherstripping, end blocks, etc.) and not just its thermal resistance R-value as that only refers to the construction of the sections.

IN-GARAGE DELIVERY READY
with a reliable Garaga garage door!

Find out the must-haves and the steps to get started. Keep your online deliveries safe, visit garaga.com/ingaragedelivery or scan the QR code.

GARAGA LiftMaster myQ

PATIO DOOR Options



Blinds Between Glass

Blinds Between Glass offer an easy and convenient way to enjoy the look and privacy of conventional blinds with none of the hassle, which makes them the perfect add-on for Harvey Vinyl Patio doors.

Energy Star 6.0 glass included. Available for Harvey solid vinyl patio door only. 2-4 lite configurations have the option for fiberglass screen. Not available with grids.

Benefits Include:

PRIVACY

BBG are adjustable and can be raised, lowered and tilted

LIGHT CONTROL

Allowing the sun in, or not, helps control household temperature

CONVENIENCE

Minimal reaching and stooping to operate the blinds

SAFETY

Cords and blinds are encased providing safety for children and pets

DÉCOR

Clean, efficient look with no need for bulky window treatments

NO DUSTING

Conventional blinds attract dust and are difficult to clean; Blinds Between Glass solve both these problems!

OPTIONS

Painted finishes available (blinds remain White)

Non-keyed handle set and flushmount deadbolt included

610 heights available; Custom sizes available

CONFIGURATIONS

1 lite: 2668 and 3068

2 lite: 5068 and 6068 XO AND OX

3 lite: 9068 OXO (left and right), and XOO/OOX

4 lite: 10068 and 12068 OXXX



SETUP/EXTERIOR CASING VINYL

Frame set-up only or fully set-up (frame & panels) available on any 2-wide door

Exterior Factory 908 or 3" flat

- ▶ Includes frame set-up
- ▶ Not available on non set-up doors or patio doors with transoms

OTHER OPTIONS VINYL

Multi-point lock options utilize 4 locking "claws" that engage simply by turning the knob

Grids come in 5/8" and 1" sizes

OTHER OPTIONS MAJESTY

Grids come in 3/4" or 1" for GBG and 7/8" or 1-1/4" for SDL

Foot bolt (Gliding)

Bronze sill

OTHER OPTIONS VINYL & MAJESTY

Custom grid configuration available

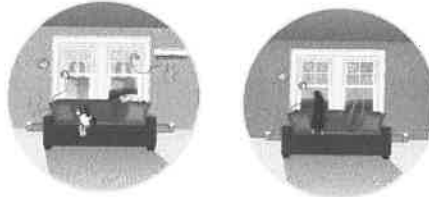
Double-active doors require two screens

Seacoast Hardware option for corrosion resistance; available in white or almond color-matched powder coat finish handle and includes Stainless Steel:

- ▶ Panel and screen rollers and roller track cover
- ▶ Fasteners, latch mechanism, offset keeper

Majesty & Vinyl

ENERGY STAR GLASS



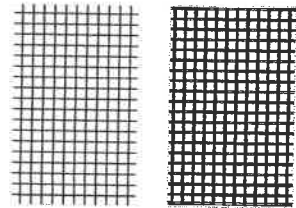
- ◆ ThernaLock
- ThernaGuard
- ThernaLock 3X HPTG

SCREEN | FRAME



Aluminum

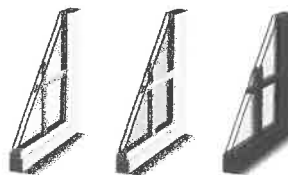
SCREEN | MESH



VIEWES

Aluminum (Vinyl)
Fiberglass (Majesty)

GRID | TYPE

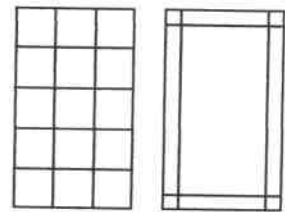


GBG

Exterior Applied

SDL

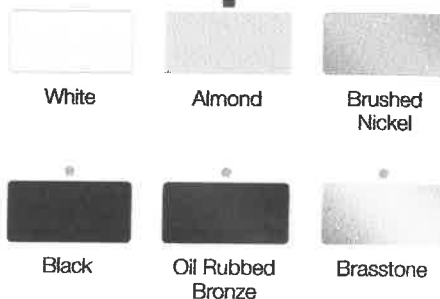
GRID | STYLE



Colonial

Prairie

COLORS | HARDWARE



White

Almond

Brushed Nickel

Black

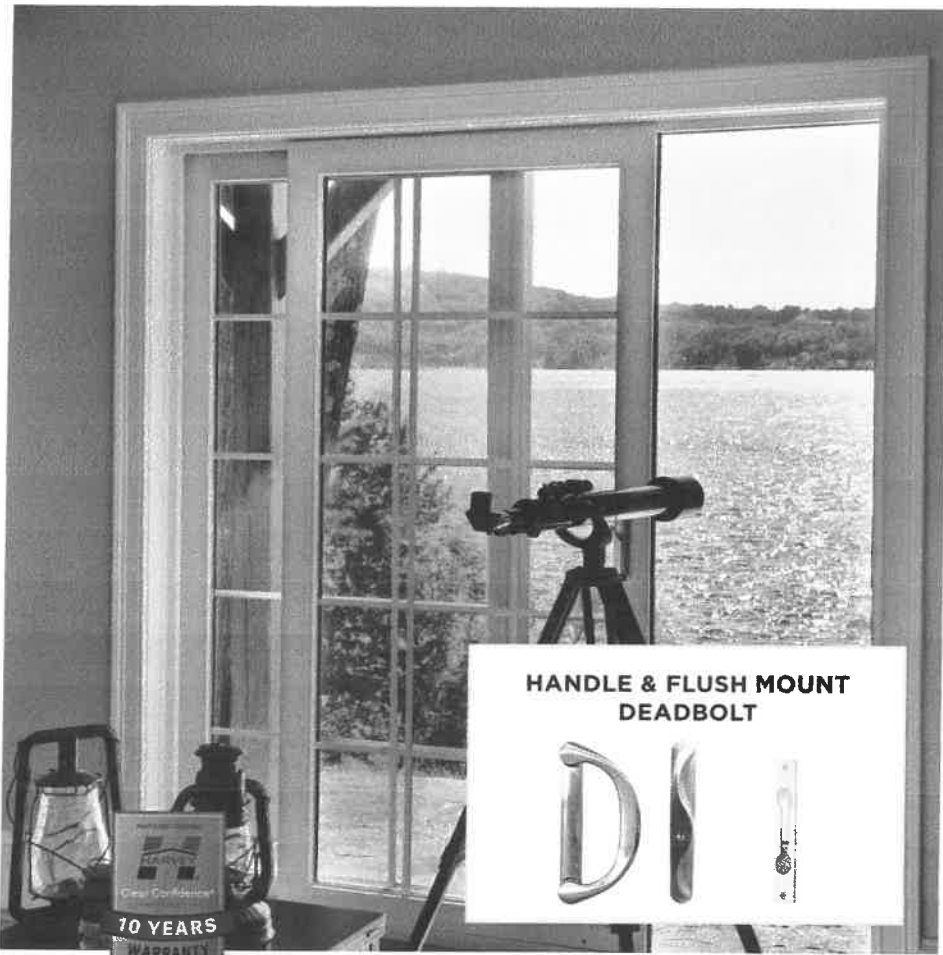
Oil Rubbed Bronze

Brasstone

See Page 11 for Interior/ Exterior color options.

■ Vinyl Patio Doors Only ◆ Majesty Wood Patio Doors Only

PATIO DOOR Vinyl



INSTALLATION OPTIONS

Standard 4-9/16" jamb depth;
6-9/16" extension jambs available

610 size available for 82" height, size
6668 meets 32" clear opening needs

2, 3, and 4 lite design options



Along with standard sizes, Harvey vinyl patio doors can be custom-built to fit virtually any opening, so you get the look you want with the performance you expect.

Solidly constructed and reinforced with heavy-duty aluminum for added durability, they include welded sash corners to provide maximum strength, while multi-chambered frame extrusions further increase their stability and thermal efficiency.

Stocked Patio Doors:

- ▶ White only and 6068 Energy Star rated tempered glass
- ▶ OX or XO; X = Operating Panel; O = Fixed Panel (viewed from exterior)
- ▶ Non-keyed handle set and flushmount deadbolt included

Features

Energy Star glazing option available

Integral fin frame and screen track

Flushmount deadbolt standard on operating panels

Standard non-keyed hardware included, keylock option available

Blinds Between Glass option

THERMA TRU[®]
DOORS



HARVEY
BUILDING PRODUCTS

Entry Doors Systems



2019

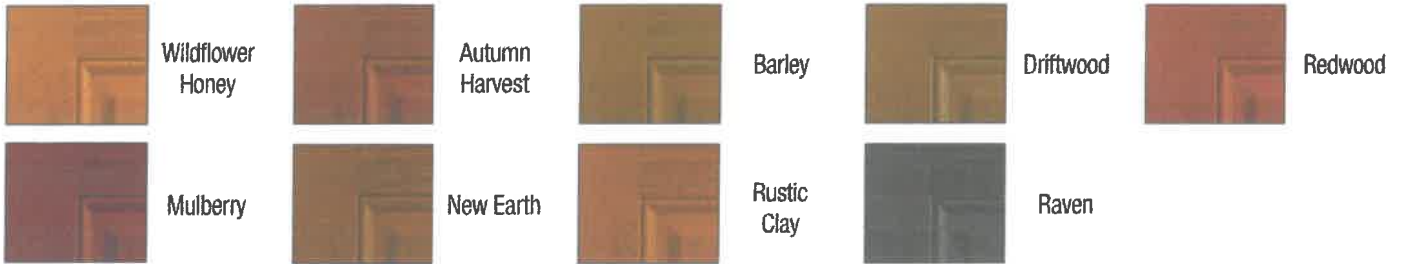
Harvey Prefinished Door Service

Our state-of-the-art process produces a resilient and durable finish that can't be duplicated in the field. We use an environmentally friendly, water-based finish with a very low solvent content that provides proven durability in all weather conditions. Additional benefits include lasting color vibrancy, expanded color and gloss retention, and high abrasion and humidity resistance. All of our finishes are backed by a 10-year warranty.



PRISMAGUARD™ FINISHES

Available for Classic-Craft and Fiber-Classic doors.



SOLID COLOR FINISHES



Frame and Casing Prefinishing Options

	Frame	Brickmould Casing	Flat Casing
Wood Grain Composite	✓	✓	✓
White Vinyl Clad Composite	✓	✓	✓
Clear Pine	✓	✓	N/A
Primed Finger-Joint	✓	✓	✓

- Wood grain composite jambs and casing can be prefinished with wood grain or solid colors, or finished in the field
- White vinyl clad composite jambs and casing can be prefinished with solid colors only, or painted in the field
- Prefinished jambs are available with a split finish
- Prefinished casing is applied; nail holes need to be finished on-site (touch up paint is included)
- Primed finger-joint and clear wood jambs and casing are not available prefinished
- See page 42 for details on casing profiles

Due to printing limitations, finishes and colors shown in this brochure are for representation only.

Jamb and Sill Options

Jambs

Can be factory finished.



Wood Grain Composite

White Vinyl Clad Composite

Clear Pine

Primed Finger-Joint



Sills

Mill finish fixed composite sill standard. Adjustable composite sills available in all finishes; hardwood sills are mill finish only.



Mill finish (standard)



Bronze finish



Satin Nickel



Outswing



Mill public access



Bronze public access

Primed finger-joint

Comparable to Framesaver™ by Therma-Tru, the primed finger-joint offers great performance at a competitive price point.

- Dimensional stability: reduces swelling and shrinkage by 75% or more
- Barrier to insect and fungal decay
- Resistance to UV degradation

Jamsill Guard®

The Jamsill Guard® is an adjustable sill pan flashing proven to prevent damage caused by exterior door and window leaks.

DualGuard Threshold Tape

Manufactured by ProtectoWrap, Dual Guard Threshold Tape™ acts like a gasket, sealing off the sub-floor and preventing air and moisture infiltration under the threshold to help keep the door frame from racking and the sub-floor from swelling and warping.

- Adheres to concrete, wood and metal surfaces
- Self-adhering for precise placement and easy application
- Designed for all entry/patio doors

Composite Frames & Casings

An innovative alternative to traditional wood jambs.

- Closed Cellular Structure ensures that the door frame will not absorb or wick moisture, and prevents warping, rotting, and splitting
- Rigid Poly-Fiber Formulation eliminates the need for an aluminum support channel
- Twice the screw-holding power of traditional wood door frames
- Limited Lifetime Warranty



Wood Grain Composite

Can be prefinished wood grain and solid colors, or finished on-site



White Vinyl Clad Composite

Can be left as-is, prefinished with a solid color, or painted on-site

See next page for composite casing profiles

Casing Options

Exterior Casings

WGN Composite casing wood grain

- A) Brickmould
- B) Brickmould w/nail fin
- C) Brickmould w/j-channel
- D) 3-1/2" flat no j
- E) 3-1/2" flat w/j-channel

WCP Composite casing white vinyl clad

- F) Brickmould
- G) Brickmould w/nail fin
- H) Brickmould w/j-channel
- I) 3-1/2" flat no j
- J) 3-1/2" flat w/j-channel

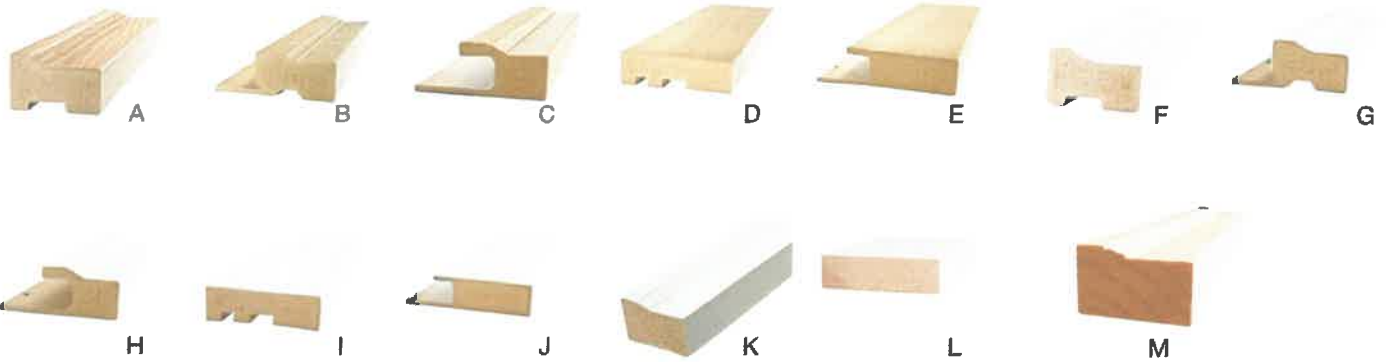
Prime finger-joint (PFJ)

- K) Brickmould
- L) 3-1/2" flat (5/4 x 4)

Clear wood casing

- M) Clear Pine brickmould

See previous page for information about our composite casing



Interior Trim Kits



2-1/2 Colonial
WM351



2-1/2 Ranch/Clamshell
WM 315/8730



2-1/4 Colonial
WM366



2-1/4 Beaded Colonial
WM376



3-1/2 Colonial
WM444



3-1/2 Windsor
LGM 7/B200



3-1/2 Stafford
GM 650/B225

Available primed
and Clear Pine

Hardware

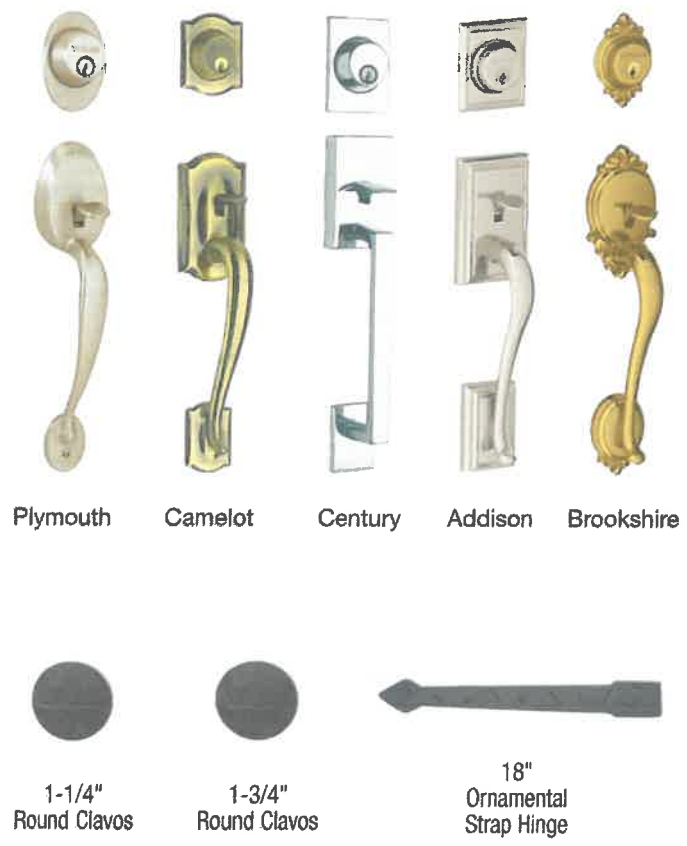
Knobs and Levers



Deadbolts



Handlesets



Finishes



*The dark color on the Oil Rubbed Bronze finish may wear off over time due to the finishing method which has no protective coating or plating. Aged Bronze should be used for a more permanent dark bronze color.

Styles/functions not available in every finish. Check with your local branch for availability.
Due to printing limitations, finishes and colors shown in this brochure are for representation only.



Hardware



Therma-Tru® multi-point locking handle set



Heirloom narrow plate



Brass



Brushed Nickel



Black Nickel



Millennium narrow plate



Brushed Nickel

Hinges



Brushed Nickel



Polished Chrome



Brasstone (standard)



Oil Rubbed Bronze



Bright Brass

Kickplates (34" x 8")

Available in Satin Nickel or Solid Brass



Peepsites

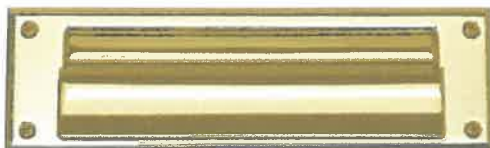


Brass



Satin Chrome

Baldwin® mailslots



Brass



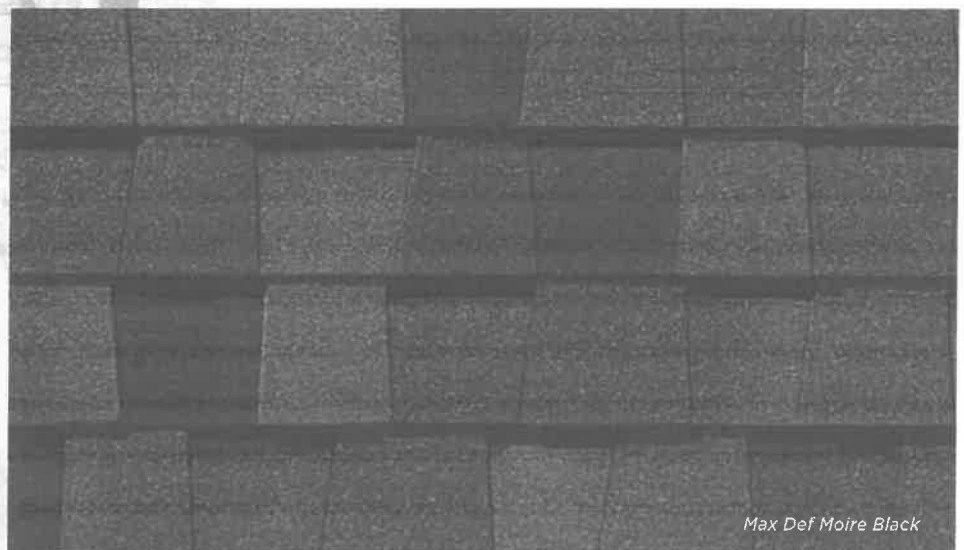
Satin Nickel

The Expert's Choice

LANDMARK® PRO Architect 80

A refined union of vision and value,
our PRO line leads its class in optimal
performance and variety of color.

- Engineered to meet professional contractors' exacting specifications
- Available in a wide selection of eye-catching **Max Def** colors
- Outweighs standard laminates to provide greater protection from the elements



Max Def Moire Black

Landmark PRO, shown in Max Def Moire Black



Max Def Weathered Wood



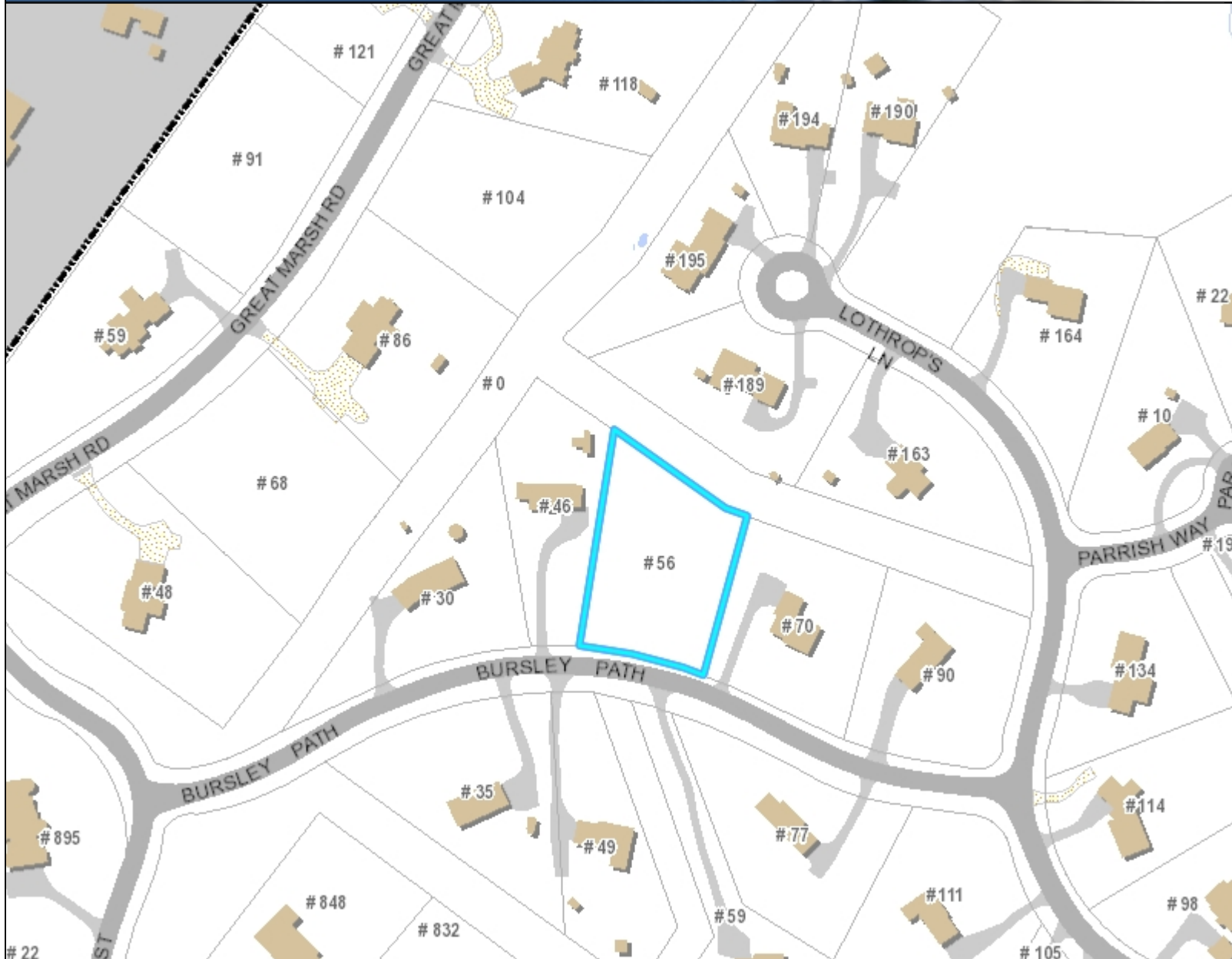
Max Def Moire Black



Max Def Heather Blend

MAX DEF COLORS

Look deeper. With Max Def, a new dimension is added to shingles with a richer mixture of surface granules. You get a brighter, more vibrant, more dramatic appearance and depth of color. And the natural beauty of your roof shines through.



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 11/10/2020



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

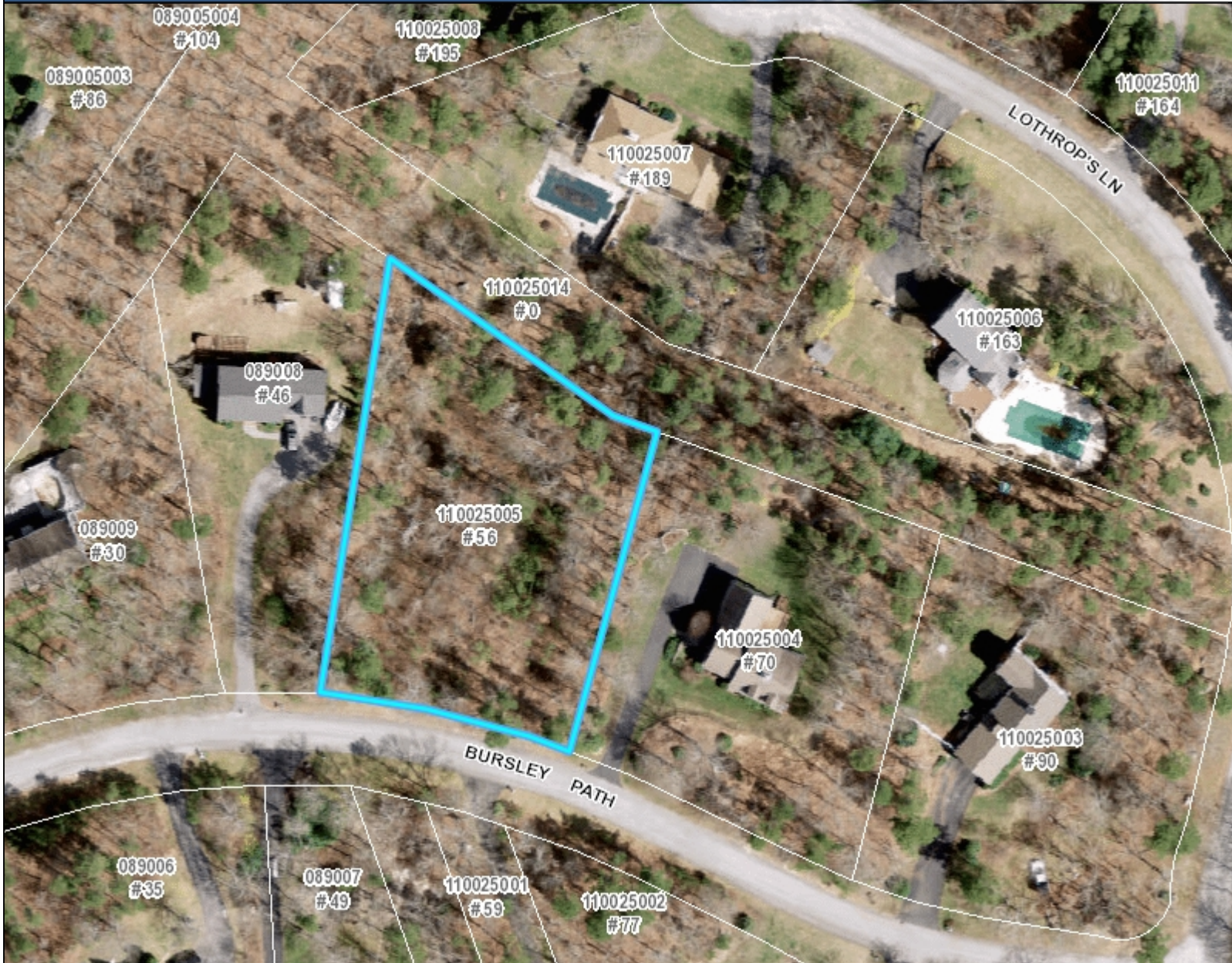
367 Main Street, Hyannis, MA 02601

508-862-4624

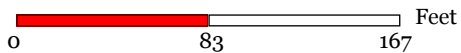
gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 11/10/2020



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 110025005

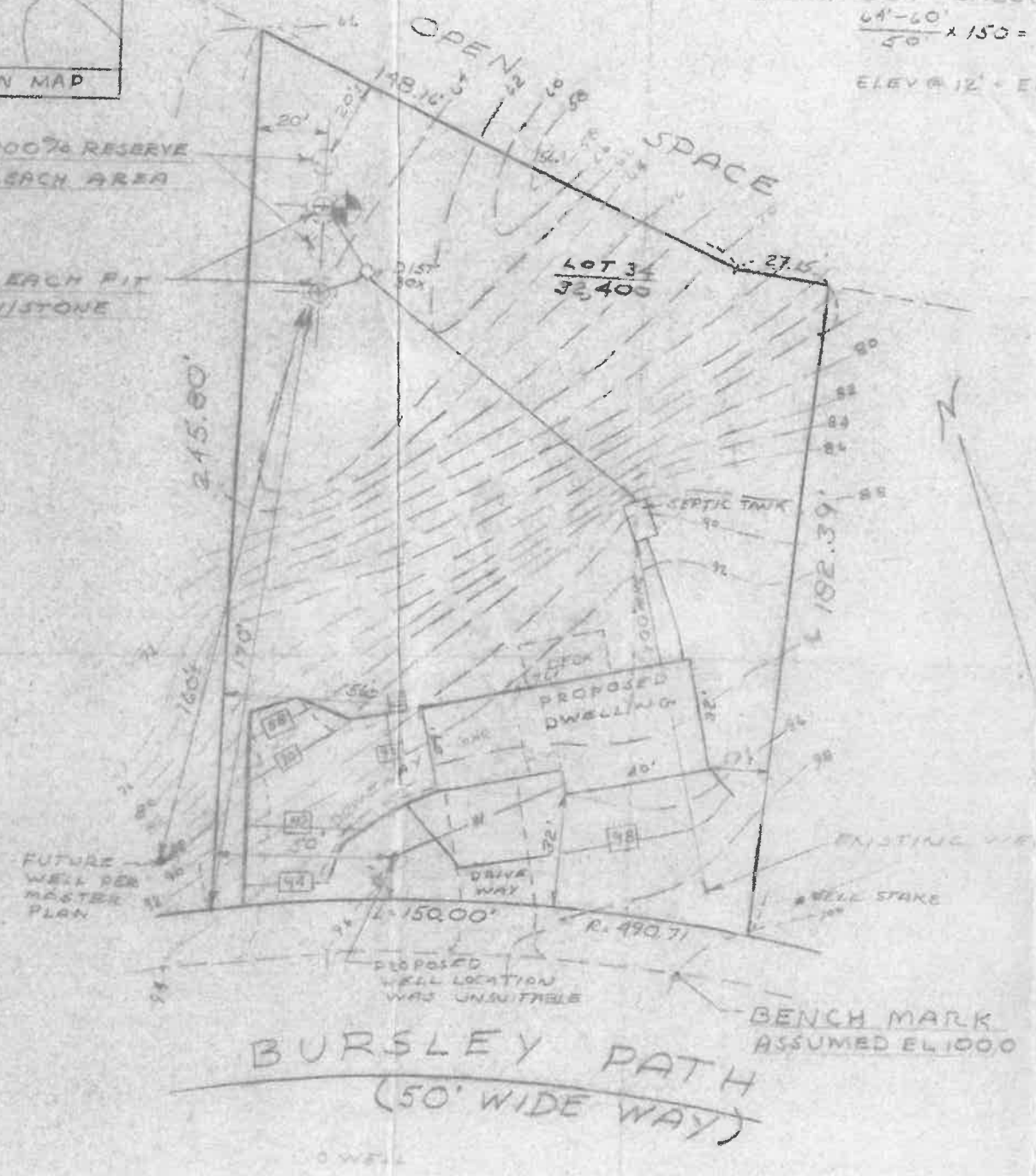
Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
089007	H AISLET, RANDY E & TAMMIE J TRS	H AISLET FAMILY TRUST	49 BURSLEY PATH		WEST BARNSTABLE	MA	02668
089008	GONSALVES, SCOTT & AMBER	%CARLL, STEVE & CERULLI, RACHAEL	46 BURSLEY PATH		WEST BARNSTABLE	MA	02668
110025001	LANCASTER, JOHN K & LEI		59 BURSLEY PATH		WEST BARNSTABLE	MA	02668
110025002	LYONS, KEVIN P & JUDITH O		77 BURSLEY PATH		WEST BARNSTABLE	MA	02668
110025004	DINN, RICHARD P II & MICHELE L		70 BURSLEY PATH		WEST BARNSTABLE	MA	02668
110025005	LENIHAN, PATRICK ESTATE OF	%MCCULLOUGH, RACHAEL	61 FLICKER LANE		WEST YARMOUTH	MA	02673
110025014	PARRISH ACRES COMM ASSOC, INC		P O BOX 733		WEST BARNSTABLE	MA	02668

LOCATION MAP

100% RESERVE
LEACH AREA

LEACH PIT
W/STONE



PLAN SCALE: 1" = 30'

CAUTION: CONTRACTOR TO CONTACT DIG-SAFE 72 HOURS PRIOR TO EXCAVATION!

ZONING DATA

ZONE:	<u>RESIDENT</u>	RF - OPEN SPACE
REQUIRED AREA:	<u>43,560</u>	<u>32,670</u>
REQUIRED FRONTAGE:	<u>150</u>	<u>112.5'</u>
REQUIRED FRONT SETBACK:	<u>30</u>	<u>22.5'</u>
REQUIRED SIDE SETBACK:	<u>15</u>	<u>11.25'</u>
REQUIRED REAR SETBACK:	<u>15</u>	<u>11.25'</u>

LEGEND

TEST HOLE LOCATION	
EXISTING SPOT ELEVATION	17.6
EXISTING CONTOUR	16
PROPOSED CONTOUR	16
WATER SERVICE LINE	W
GAS SERVICE LINE	G
ELECTRIC & TELEPHONE LINES	E & T

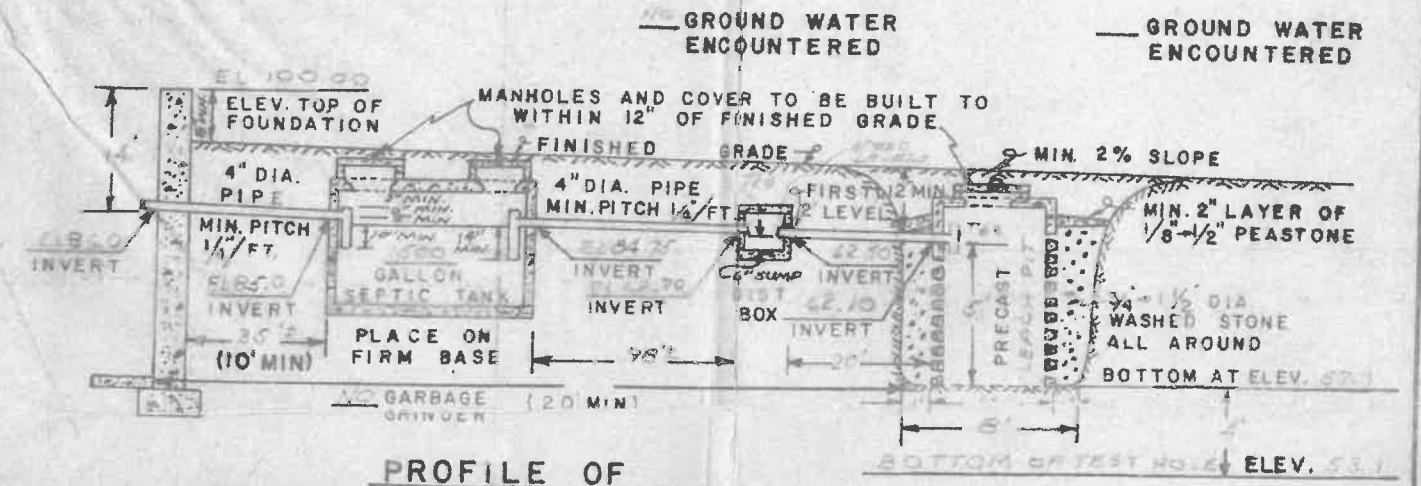
BUILDING INSPECTOR APPROVAL DATE

WITNESSED BY: TOM M'KEAN SR
DOYLE ENGINEERING

HIGH GROUND-WATER ADJUSTMENT:

OBSERVED WATER DEPTH	<u>N/A</u>
INDEX WELL	<u>---</u>
WATER RANGE ZONE	<u>---</u>
CURRENT WELL DEPTH	<u>---</u>
WATER ADJUSTMENT	<u>---</u>
ESTIMATED DEPTH TO WATER	<u>---</u>
ESTIMATED MAX. WATER ELEV.	<u>---</u>

TEST HOLE #1	ELEV.	TEST HOLE #2	ELEV.
4" DIA. PIPE	EL. 65		
3" DIA. PIPE	EL. 62		
2" DIA. PIPE	EL. 57		
1" DIA. PIPE	EL. 53		



PROFILE OF SANITARY DISPOSAL SYSTEM (NOT TO SCALE)

- CONSTRUCTION OF SEPTIC SYSTEM SHALL CONFORM TO THE COMM. OF MASS. ENVIRONMENTAL CODE, TITLE 5 AND THE TOWN BOARD OF HEALTH REGULATIONS.
- THE DESIGN IS TO BE STRICTLY FOLLOWED. CRAIG R. SHORT IS TO BE CONTACTED PRIOR TO ANY CHANGES.
- SEPTIC TANK, DISTRIBUTION BOX AND LEACHING UNIT TO BE OF REINFORCED CONCRETE. MIN. CONCRETE STRENGTH = 3,000 P.S.I. MIN. STEEL STRENGTH = 20,000 P.S.I. MIN. DESIGN LOADING: 410
- DRIVEWAYS NOT TO BE LOCATED OVER SYSTEM UNLESS H2O DESIGN LOADING IS USED
- ALL PIPES AND FITTINGS TO BE WATERTIGHT AND TO BE OF CAST IRON OR APPROVED P.V.C.

DESIGN DATA

<u>5</u> BEDROOMS
DESIGN FLOW <u>550</u> GAL/DAY
LEACH RATE <u>24</u> MIN./INCH
PROP'D. BOT. AREA <u>100.5</u> SF
PROP'D. SIDE AREA <u>25.3</u> SF
TOTAL AREA = <u>125.8</u> SF
PROPOSED LEACHING CAPACITY <u>586</u> GPD
REQUIRED LEACHING CAPACITY <u>550</u> GPD
REQUIRED SEPTIC TANK <u>500</u> GALLONS

HEALTH AGENT APPROVAL DATE

SITE PLAN SHOWING PROPOSED CONSTRUCTION

LOCATION: LOT 34 BURSLEY PATH, W. BARNSTABLE, MA
 FOR: PATRICK LEVNIHAN DATE: 3/19/95
 REFERENCE: LOT 34 AS SHOWN ON REVISIONS: 7/24/97
 MAP NO. PAR. 5 PLAN BOOK 418 PAGE 55
 CLIENT'S ADDRESS: 276 SOUTH ST. HARTWICH, MA 02645
 IF THIS PLAN DOES NOT BEAR A RED STAMP BY CRAIG R. SHORT, THEN IT IS NOT A VALID COPY & I ASSUME NO RESPONSIBILITY FOR ITS CONTENT OR USE.



CRAIG R. SHORT, P.E.
 PROFESSIONAL CIVIL ENGINEER
 14 TORY LANE, DENNIS, MASS. 02638

(508) 385-6530

FILE NO. 1-782
 SHEET 1 OF 1

T.D.I.

TECHNICAL DESIGNS IMAGING
Computer Aided Designs

Glenn A. Mitchell

775 MAIN STREET (Route 28), SUITE A2
WEST DENNIS, MA 02670
Work: (508) 360-7506

Email: technicaldesignsimaging@gmail.com
Web Page: <http://draftmaster001.wix.com/-tdi>

* CERTIFIED DRAFTSMAN @ 1978 *
- 42 YEARS EXPERIENCE -
- ALL WORK GUARANTEED -

DESIGN / DRAFTING EXPERIENCE:

* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

REVISIONS

No.	DATE	DESCRIPTION	BY
	SEPTEMBER 30, 2020	INITIAL DRAWING RELEASE	G.A.M.

CLIENT:

Jb SULLIVAN BUILDERS
McCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

TITLE SHEET

TITLE

DRAWING NUMBER

T-1

SHEET 1 OF 13

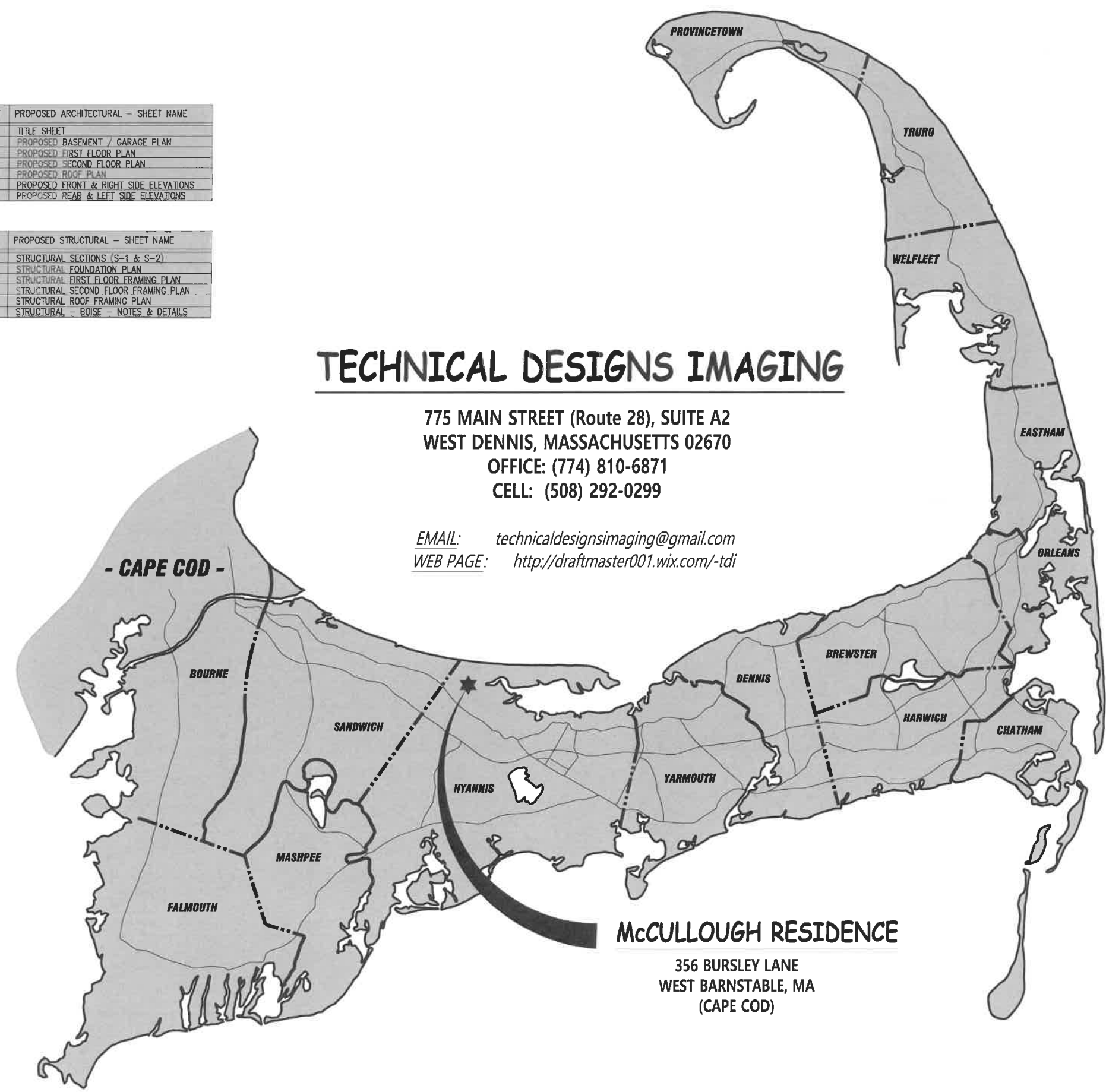
No.	SHEET	PROPOSED ARCHITECTURAL - SHEET NAME
1	T-1	TITLE SHEET
2	A-1	PROPOSED BASEMENT / GARAGE PLAN
3	A-2	PROPOSED FIRST FLOOR PLAN
4	A-3	PROPOSED SECOND FLOOR PLAN
5	A-4	PROPOSED ROOF PLAN
6	A-5	PROPOSED FRONT & RIGHT SIDE ELEVATIONS
7	A-6	PROPOSED REAR & LEFT SIDE ELEVATIONS

No.	SHEET	PROPOSED STRUCTURAL - SHEET NAME
8	S-1	STRUCTURAL SECTIONS (S-1 & S-2)
9	S-2	STRUCTURAL FOUNDATION PLAN
10	S-3	STRUCTURAL FIRST FLOOR FRAMING PLAN
11	S-4	STRUCTURAL SECOND FLOOR FRAMING PLAN
12	S-5	STRUCTURAL ROOF FRAMING PLAN
13	S-6	STRUCTURAL - BOISE - NOTES & DETAILS

TECHNICAL DESIGNS IMAGING

775 MAIN STREET (Route 28), SUITE A2
WEST DENNIS, MASSACHUSETTS 02670
OFFICE: (774) 810-6871
CELL: (508) 292-0299

EMAIL: technicaldesignsimaging@gmail.com
WEB PAGE: <http://draftmaster001.wix.com/-tdi>



McCULLOUGH RESIDENCE

356 BURSLEY LANE
WEST BARNSTABLE, MA
(CAPE COD)

* 2020 ARCHITECTURAL & STRUCTURAL DRAWINGS *
DRAWING BY T.D.I.

C:\USER\STDI\GLENN MITCHELL\DOCUMENTS\2020_TDI\FOLDERS_JEREMIAH SULLIVAN_40 SULLIVAN BUILDERS\MCCULLOUGH RESIDENCE\HOUSE\ITDI_MCCULLOUGH RESIDENCE_09-30-2020_INITIAL RELEASE.DWG 9/30/2020 @ 7:58 AM

Comments

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	SEPTEMBER 30, 2020	G.A.M.	- INITIAL DRAWING RELEASE

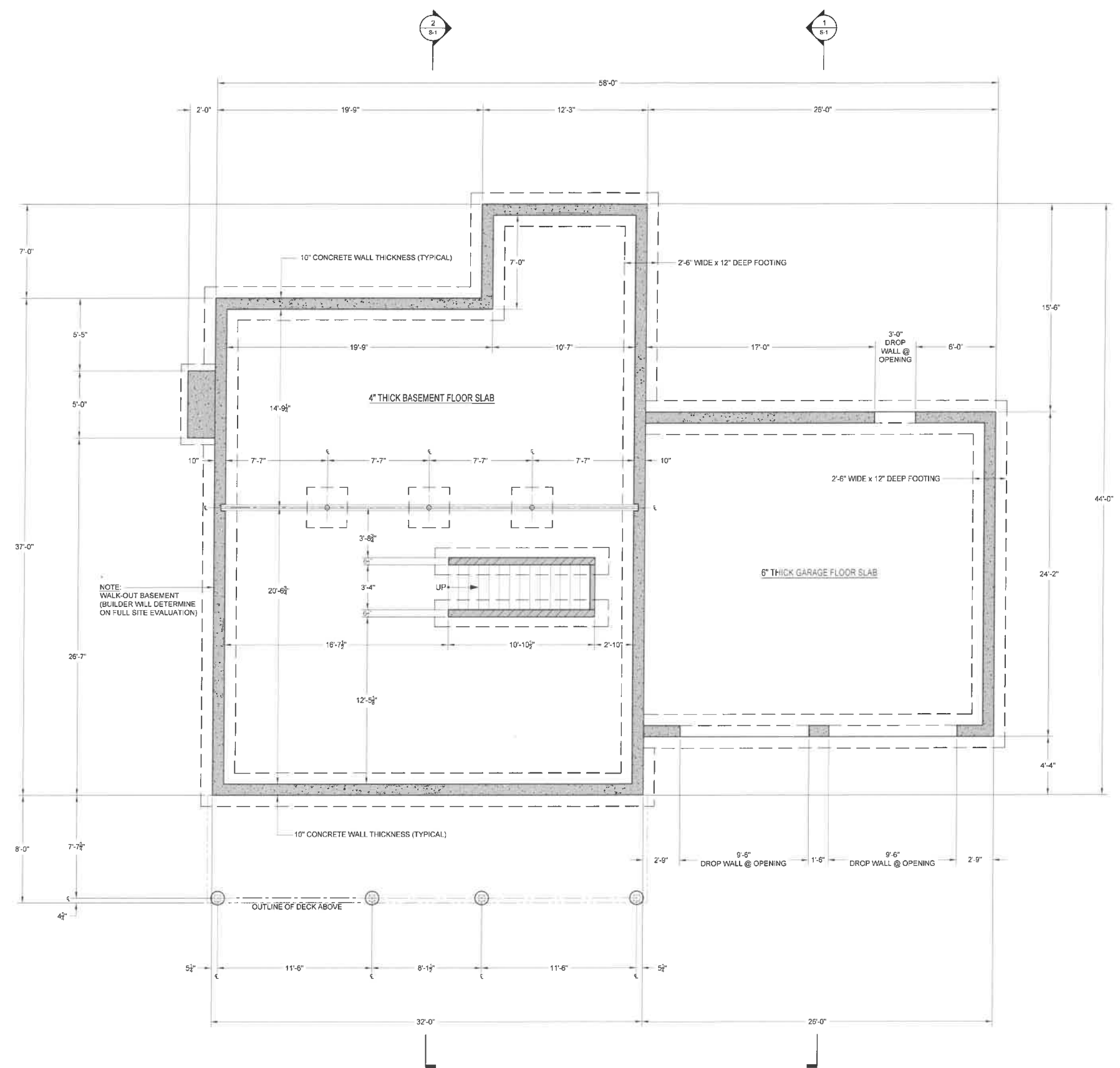
CLIENT:
Jd SULLIVAN BUILDERS
 McCULLOUGH RESIDENCE
 56 BURSLEY LANE
 W. BARNSTABLE, MA

SCALE: AS NOTED

PROPOSED BASEMENT / GARAGE PLAN

FOUNDATION PLAN

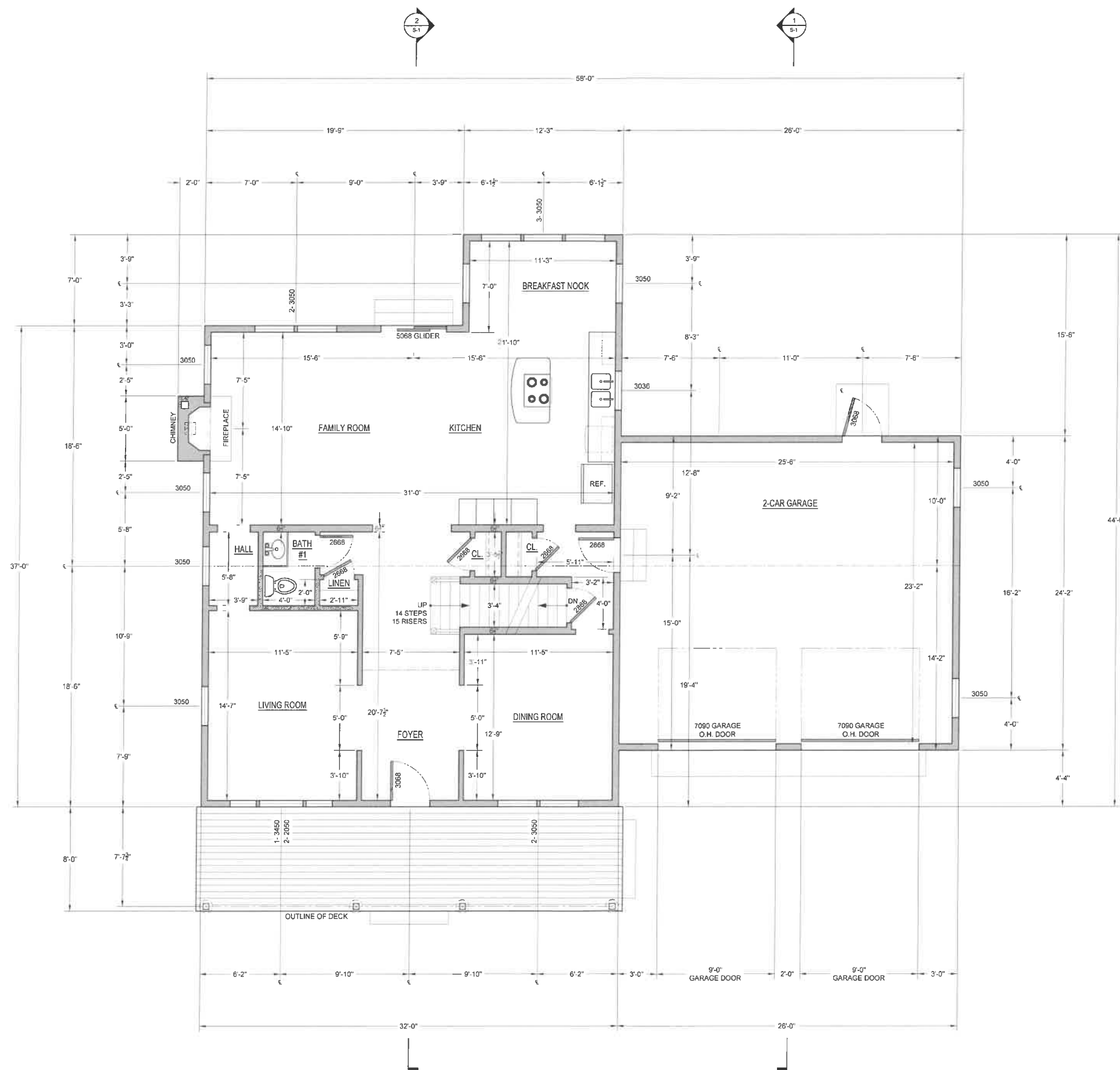
DRAWING NUMBER
A-1
 SHEET 2 OF 13



BASEMENT / GARAGE PLAN
 SCALE: 1/4" = 1'-0"

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GARAGE / 1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

T.D.I.
TECHNICAL DESIGNS IMAGING
 Computer Aided Designs
Glenn A. Mitchell
 775 MAIN STREET (Route 28), SUITE A2
 WEST DENNIS, MA, 02670
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 Email: technicaldesignsimg@gmail.com
 Web Page: http://draftmaster001.wix.com/t-di

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 - 12 YEARS EXPERIENCE -
 ALL WORK GUARANTEED -
 DESIGN / DRAFTING EXPERIENCE:
 * ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

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No.	DATE	IGN. BY
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CLIENT:
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 McCULLOUGH RESIDENCE
 56 BURSLEY LANE
 W. BARNSTABLE, MA

SCALE: AS NOTED

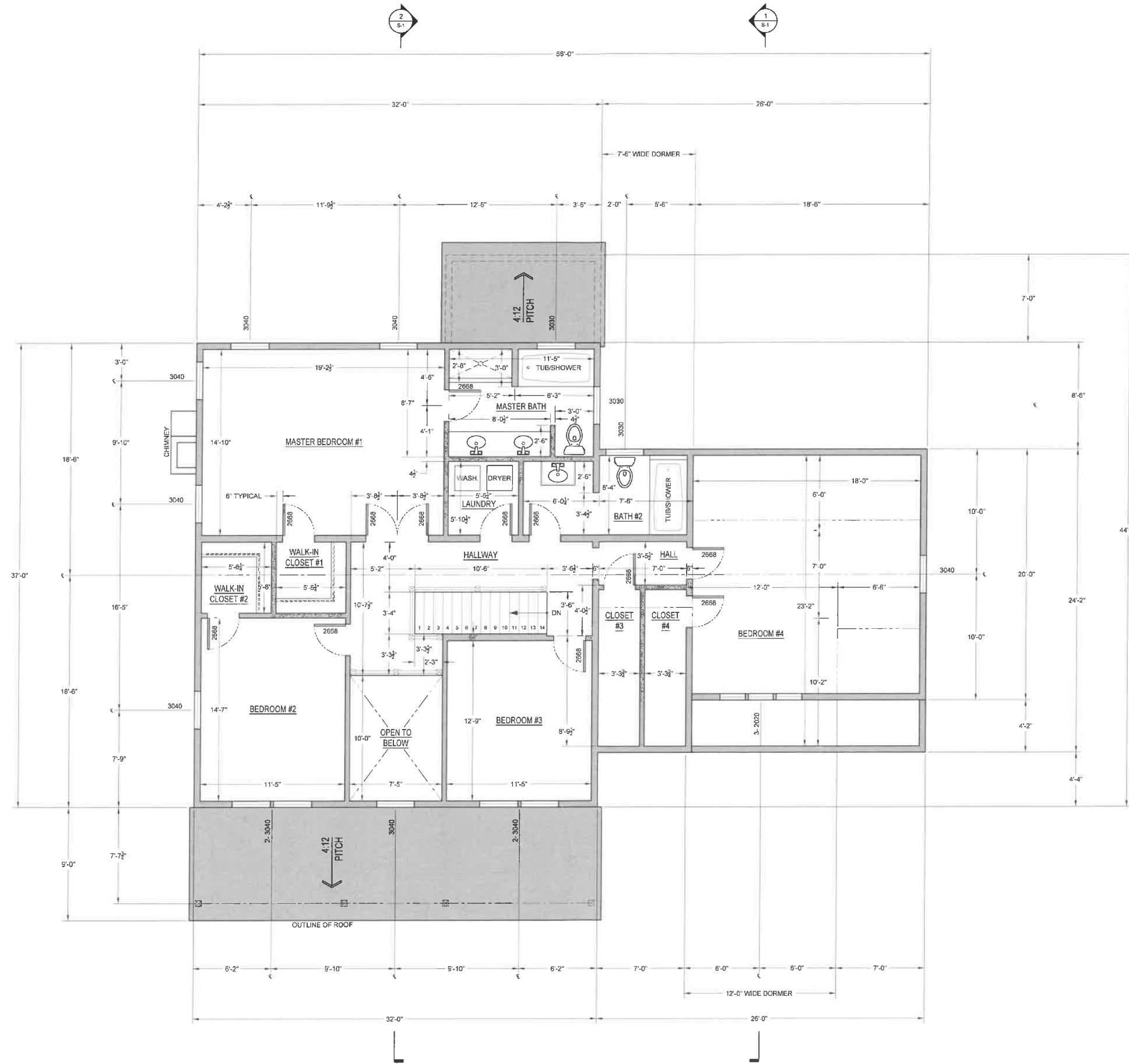
PROPOSED GARAGE / 1st FLOOR PLAN

BEARING WALL PLAN

DRAWING NUMBER
A-2
 SHEET 3 OF 13

* 2020 ARCHITECTURAL & STRUCTURAL DRAWINGS *
 DRAWING BY T.D.I.

C:\USER\TDI\GLM\MITCHELL\DRAWINGS\2020\2020_1TD-FOURDERS_EREEMIAN SULLIVAN JO SULLIVAN BUILDERS\MCCULLOUGH RESIDENCE (HOUSE)\TDI_MCCULLOUGH RESIDENCE (HOUSE)\TDI_INITIAL RELEASE.DWG 9/30/2020 @ 7:58 AM



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

" 2020 ARCHITECTURAL & STRUCTURAL DRAWINGS "

DRAWING BY T.D.I.

T.D.I.

TECHNICAL DESIGNS IMAGING
Computer Aided Designs

Glenn A. Mitchell

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DESIGN / DRAFTING EXPERIENCE:

* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

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	SEPTEMBER 30, 2020	G.A.M.	INITIAL DRAWING RELEASE

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MCCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

PROPOSED SECOND FLOOR PLAN

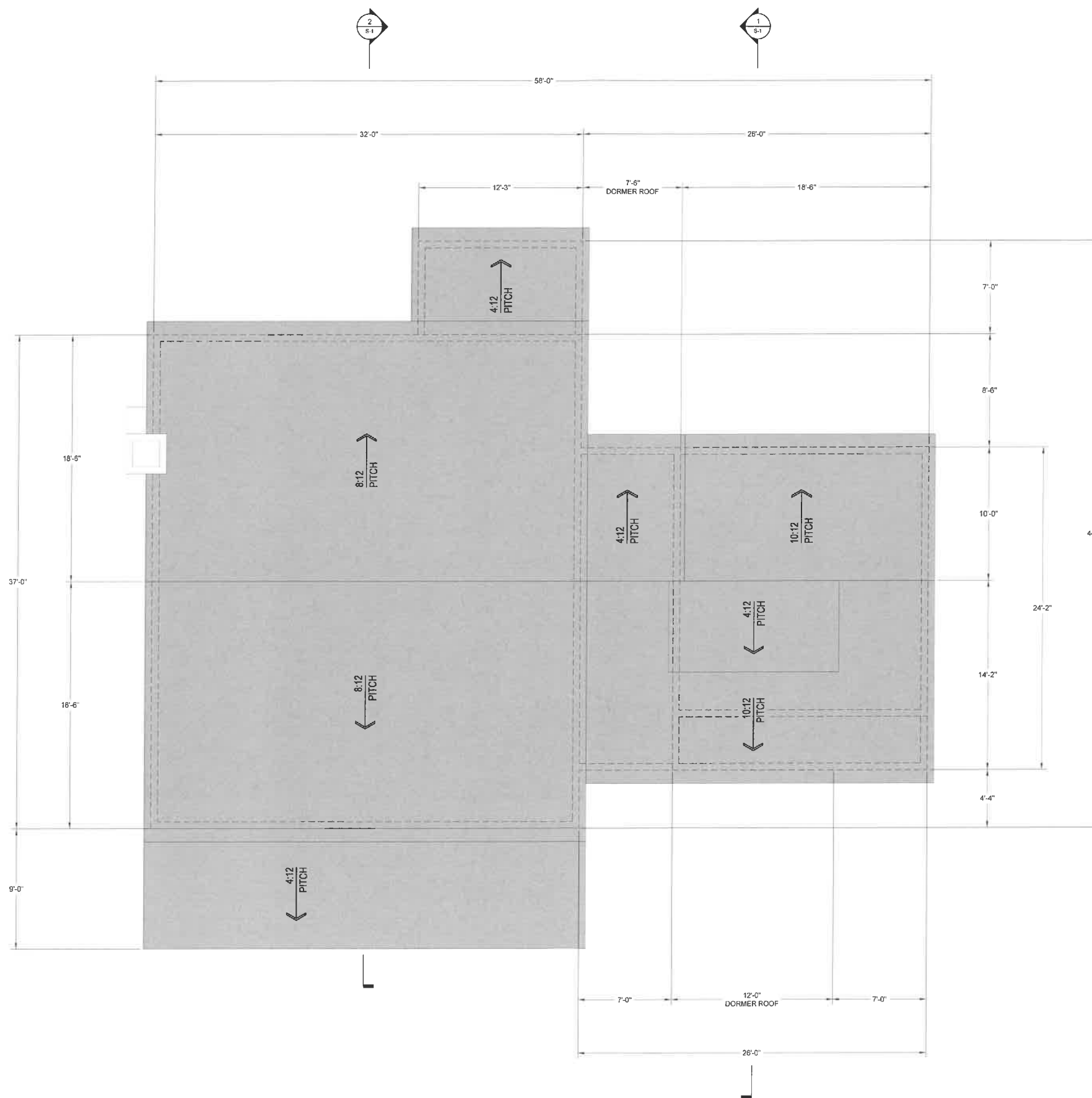
SECOND FLOOR PLAN

DRAWING NUMBER

A-3

SHEET 4 OF 13

C:\USER\TDI\GLM\PROJECTS\2020\T.D.I. FOLDERS\JEREMIAH SULLIVAN_JD SULLIVAN BUILDERS\MCCULLOUGH RESIDENCE (HOUSE)\TDI_MCCULLOUGH RESIDENCE (HOUSE)\DWG_INITIAL RELEASE.DWG 9/30/2020 @ 7:58 AM



ROOF PLAN

SCALE: 1/4"=1'-0"

2020 ARCHITECTURAL & STRUCTURAL DRAWINGS
DRAWING BY T.D.I.

T.D.I.

TECHNICAL DESIGNS IMAGING
Computer Aided Designs

Glenn A. Mitchell

775 MAIN STREET (Route 28), SUITE A2
WEST DENNIS, MA 02670
Work: (508) 360-7506

Email: technicaldesignsimg@gmail.com
Web Page: <http://tderatmaster001.wvr.com/tdi>

* CERTIFIED DRAFTSMAN @ 1978 *
* 42 YEARS EXPERIENCE *
* ALL WORK GUARANTEED *

DESIGN / DRAFTING EXPERIENCE:

* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

REVISIONS

No.	DATE	DESCRIPTION	BY	CHK.
	SEPTEMBER 30, 2020	- INITIAL DRAWING RELEASE -	G.A.M.	

CLIENT:

Jd SULLIVAN
BUILDERS

MCCULLOUGH
RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

PROPOSED
ROOF
PLAN

ROOF PLAN

DRAWING NUMBER

A-4

SHEET 5 OF 13

T.D.I.

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DESIGN / DRAFTING EXPERIENCE:

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Comments

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CLIENT:

Jd SULLIVAN
BUILDERS

McCULLOUGH
RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

PROPOSED
FRONT &
RIGHT SIDE
ELEVATIONS

ELEVATIONS

DRAWING NUMBER

A-5

SHEET 6 OF 13



FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

"2020 ARCHITECTURAL & STRUCTURAL DRAWINGS"
DRAWING BY T.D.I.

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Web Page: http://draftmaster001.wix.com/t-di

* CERTIFIED DRAFTSMAN @ 1978 *

- 12 YEARS EXPERIENCE -

- ALL WORK GUARANTEED -

DESIGN / DRAFTING EXPERIENCE:

* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

REVISIONS

No.	DATE	DSN. BY	DESCRIPTION
	SEPTEMBER 30, 2020	G.A.M.	INITIAL DRAWING RELEASE

CLIENT:

JD SULLIVAN BUILDERS

McCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

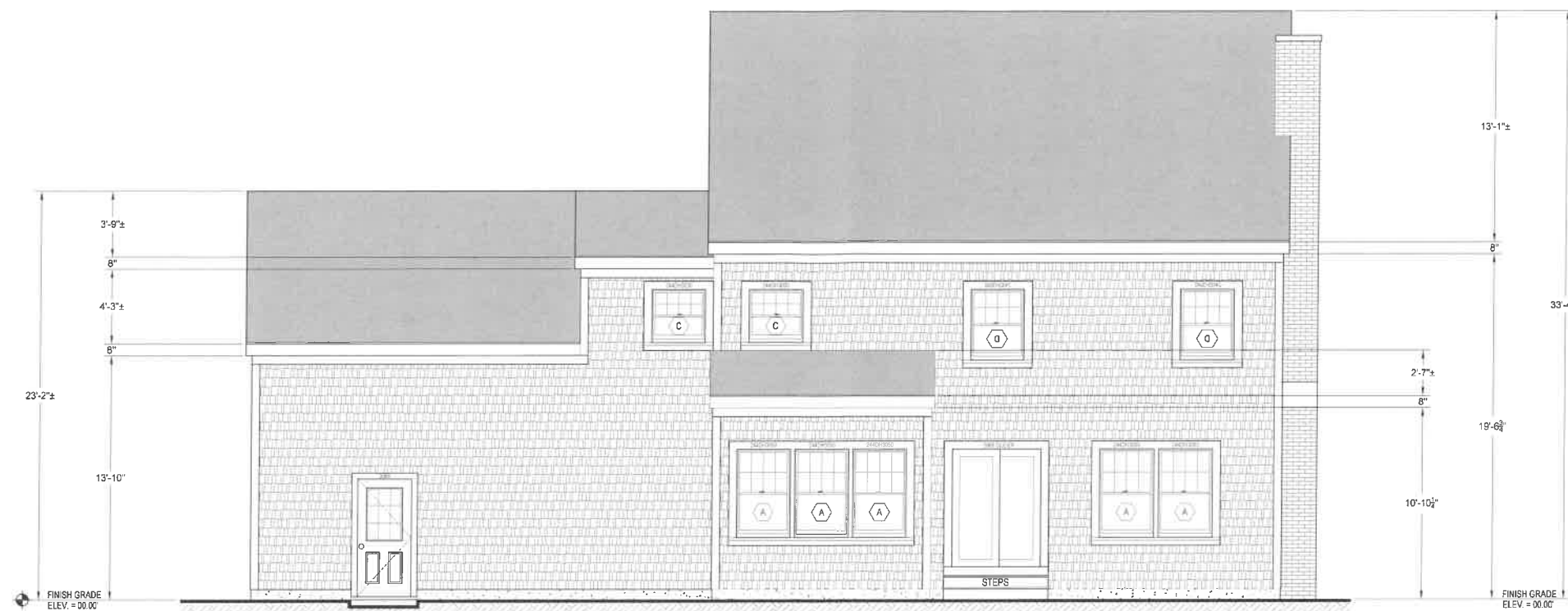
PROPOSED
REAR &
LEFT SIDE
ELEVATIONS

ELEVATIONS

DRAWING NUMBER

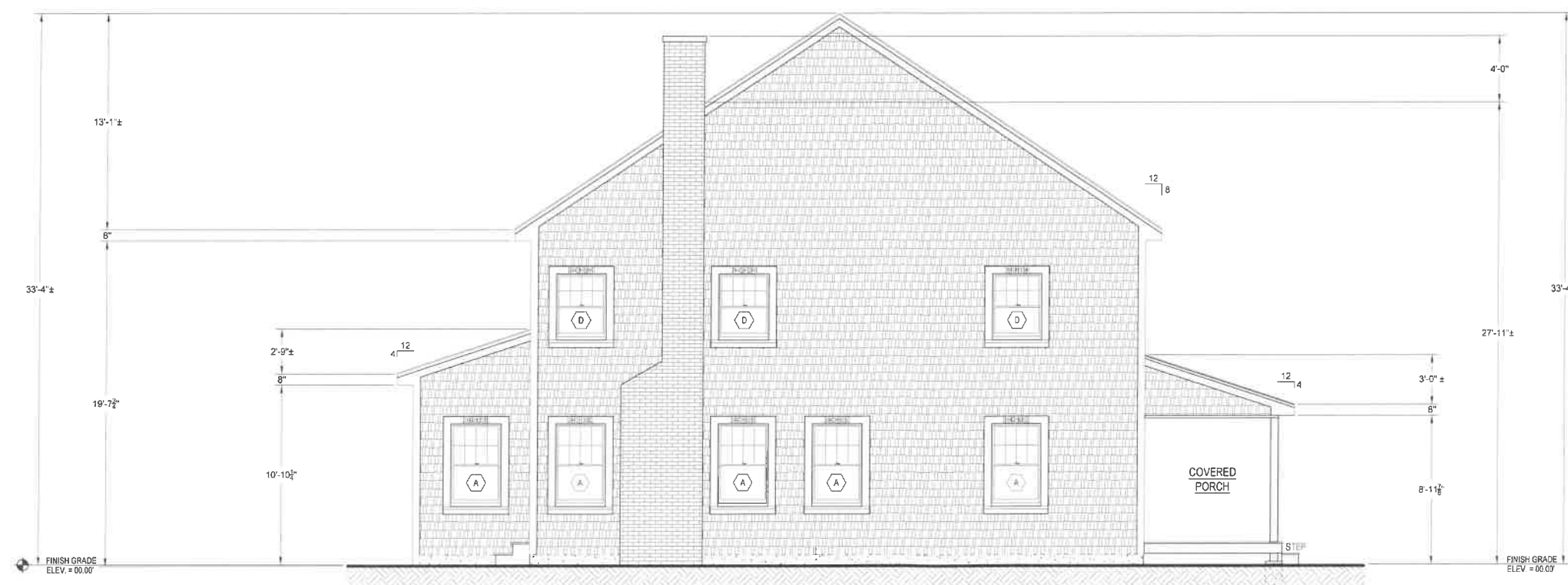
A-6

SHEET 7 OF 13



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

* 2020 ARCHITECTURAL & STRUCTURAL DRAWINGS *

DRAWING BY T.D.I.

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Computer Aided Designs

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WEST DENNIS, MA 02670

Work: (508) 360-7506

Email: technicaldesignsimging@gmail.com
Web Page: http://draftmaster001.wix.com/tdi

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DESIGN / DRAFTING EXPERIENCE:

* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

REVISIONS

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CLIENT:

Jd SULLIVAN BUILDERS

McCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

PROPOSED STRUCTURAL SECTIONS

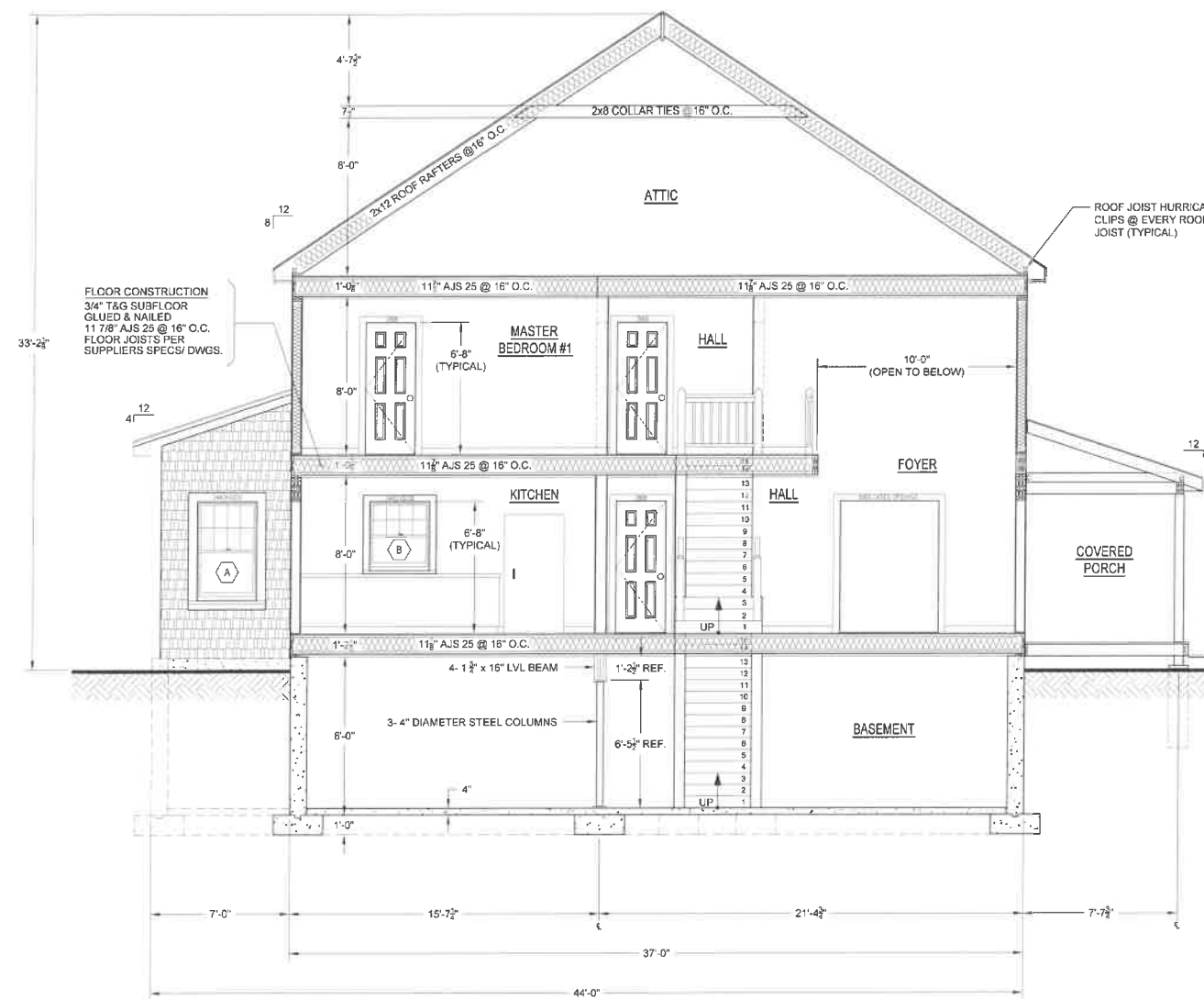
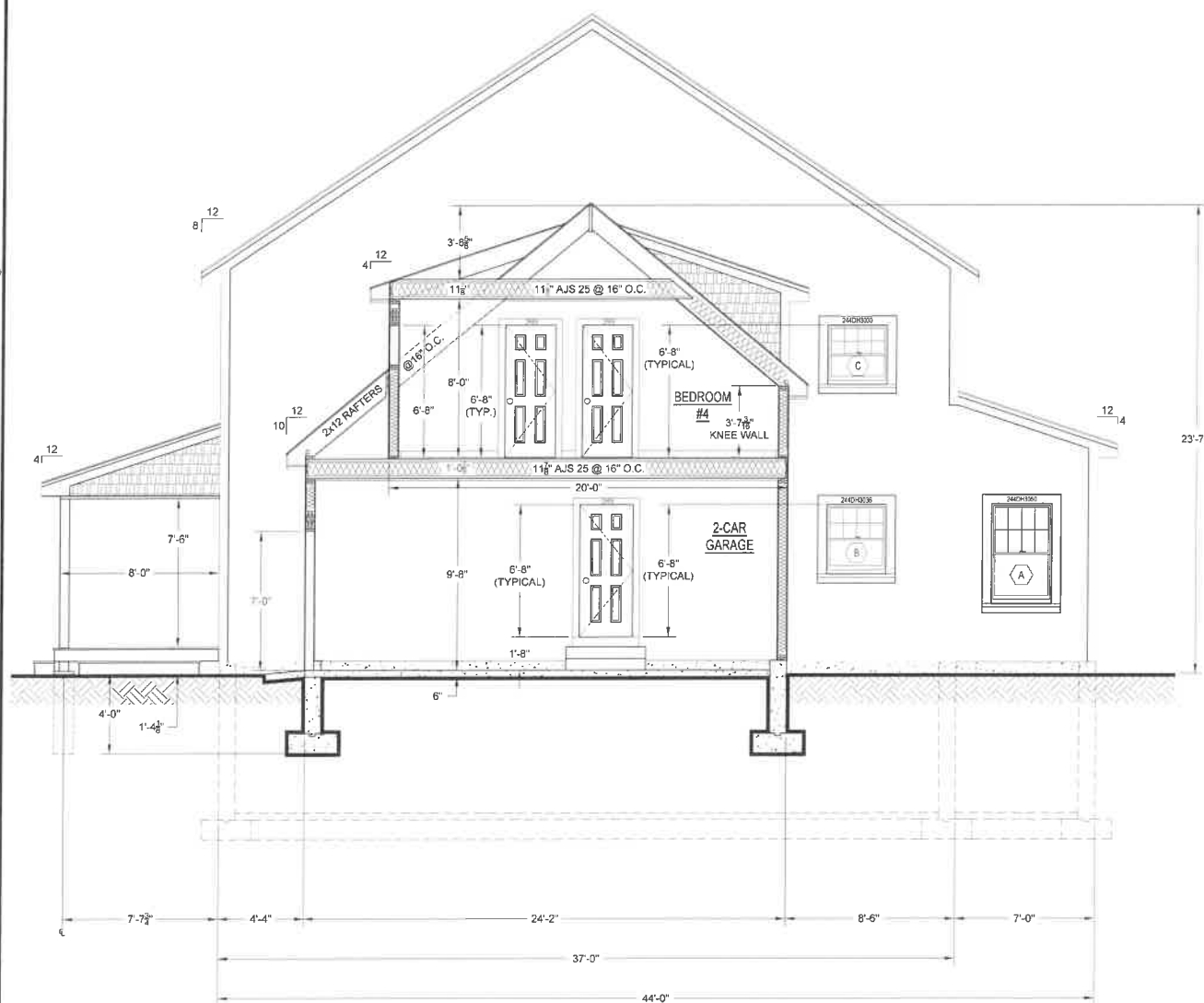
SECTIONS

DRAWING NUMBER

S-1

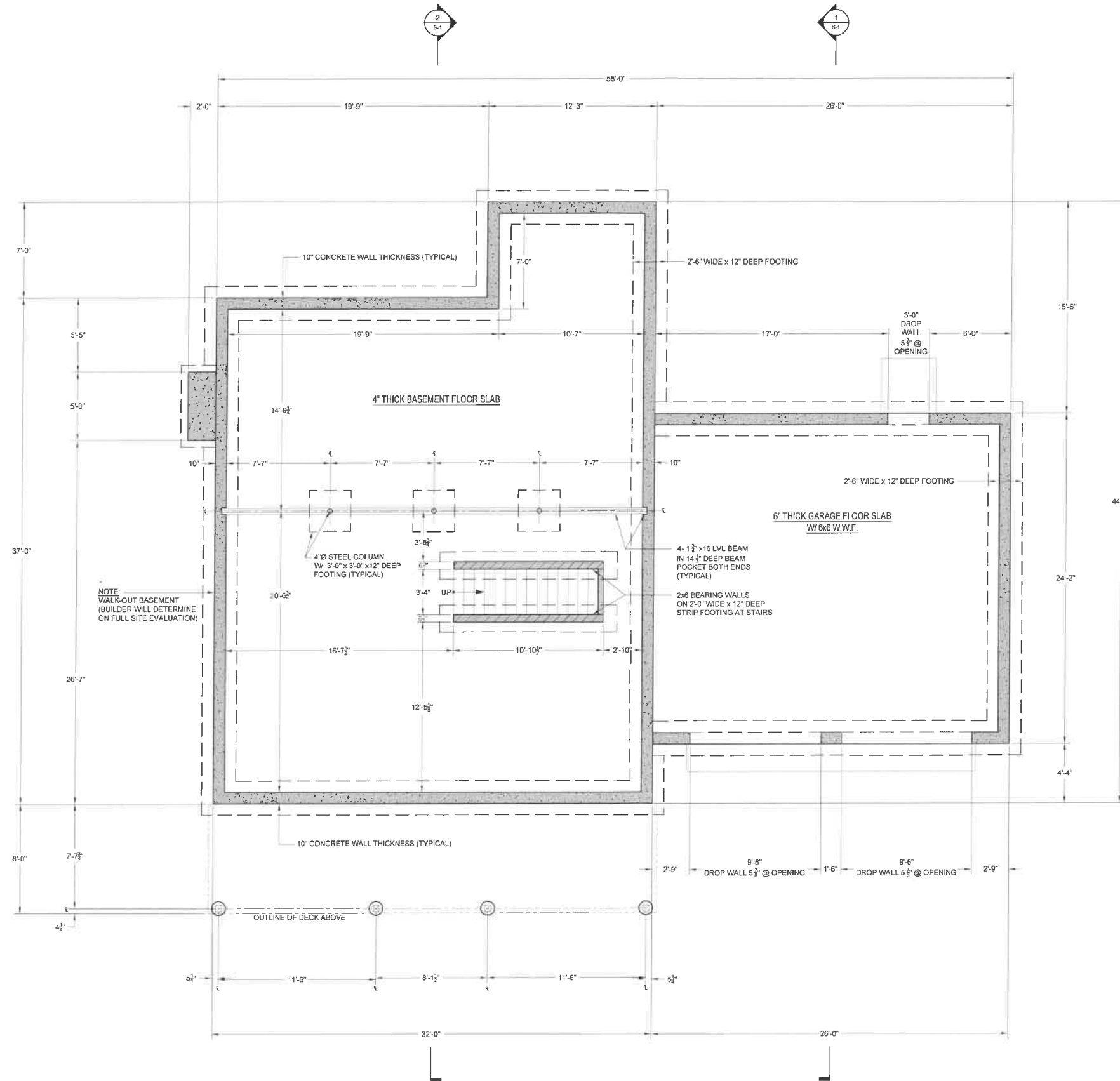
SHEET 8 OF 13

CLIENT: Jd SULLIVAN BUILDERS; PROJECT: McCULLOUGH RESIDENCE; DATE: 09-30-2020; INITIAL RELEASE DWG: 9/30/2020 @ 8:18 AM



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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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WEST DENNIS, MA 02670
Work: (508) 360-7506
Email: technicaldesignsimg@gmail.com
Web Page: http://draftmaster001.wix.com/~tdi

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- ALL WORK GUARANTEED -

DESIGN / DRAFTING EXPERIENCE:
* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

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	SEPTEMBER 30, 2020	INITIAL DRAWING RELEASE	G.A.M.

CLIENT:
JD SULLIVAN BUILDERS

McCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

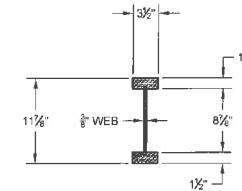
STRUCTURAL FOUNDATION PLAN

PLAN

DRAWING NUMBER
S-2
SHEET 9 OF 13

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DRAWING BY T.D.I.

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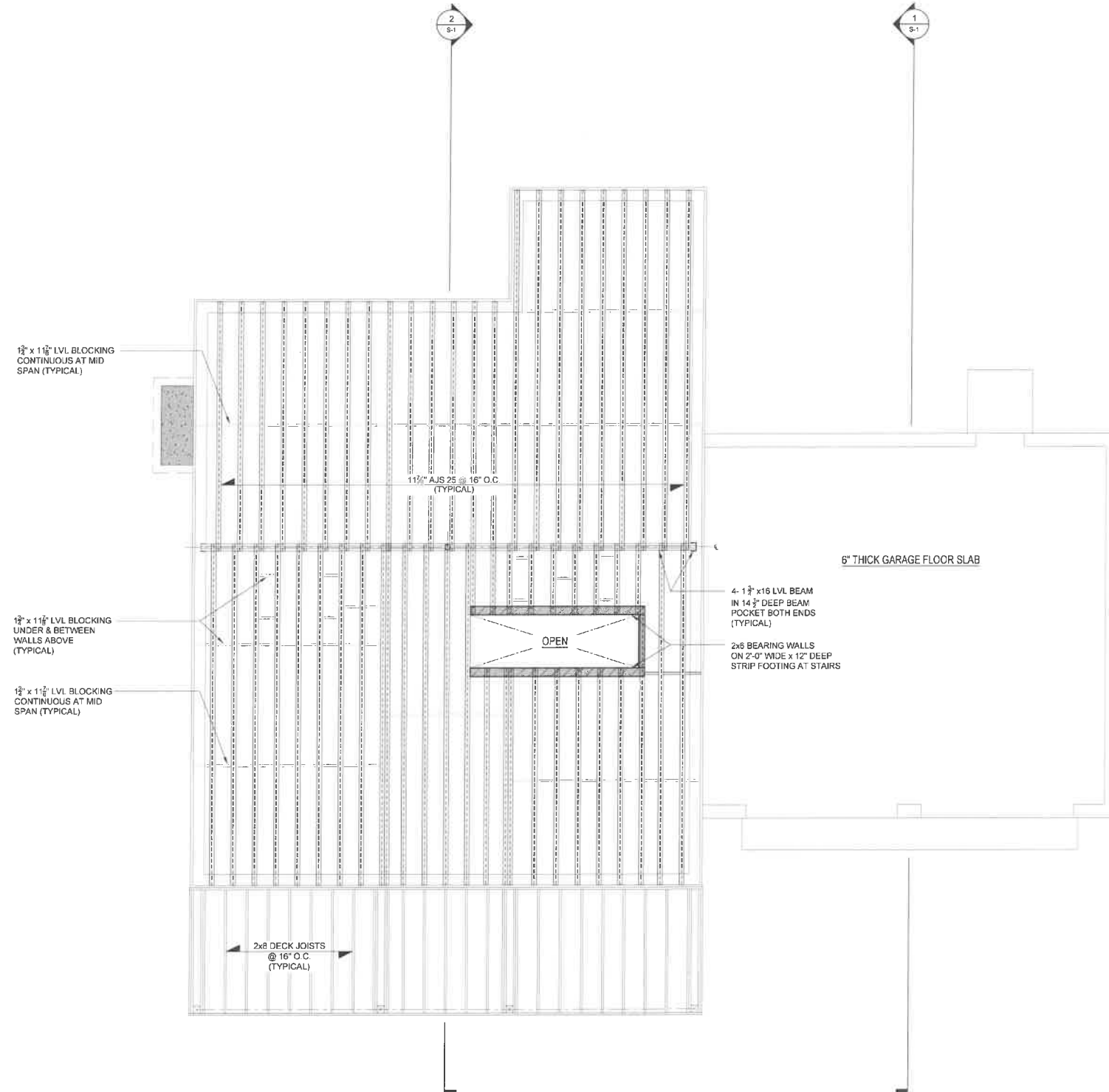


ALL JOIST - AJS 25

(22'-9" MAXIMUM LENGTH)
DO NOT SCALE

NOTE:

USE RECOMMENDED ALL JOIST, VERSA-LAM RIM BOARDS, VERSA-LAM COLUMN, VERSA-LAM BEAM & ALL RECOMMENDED HARDWARE
(SEE SHEET S-6 OR ALL JOIST MANUFACTURER WEB SITE FOR INSTALLATION REQUIREMENT)



FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

T.D.I.

TECHNICAL DESIGNS IMAGING
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WEST DENNIS, MA 02670
Work: (508) 360-7506

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- ALL WORK GUARANTEED -

DESIGN / DRAFTING EXPERIENCE:

* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

REVISIONS

No.	DATE	BY	DESCRIPTION
	SEPTEMBER 30, 2020	G.A.M.	INITIAL DRAWING RELEASE

CLIENT:

JD SULLIVAN BUILDERS

McCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

STRUCTURAL FIRST FLOOR FRAMING PLAN

PLAN

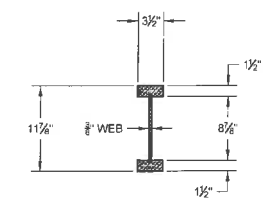
DRAWING NUMBER

S-3

SHEET 10 OF 13

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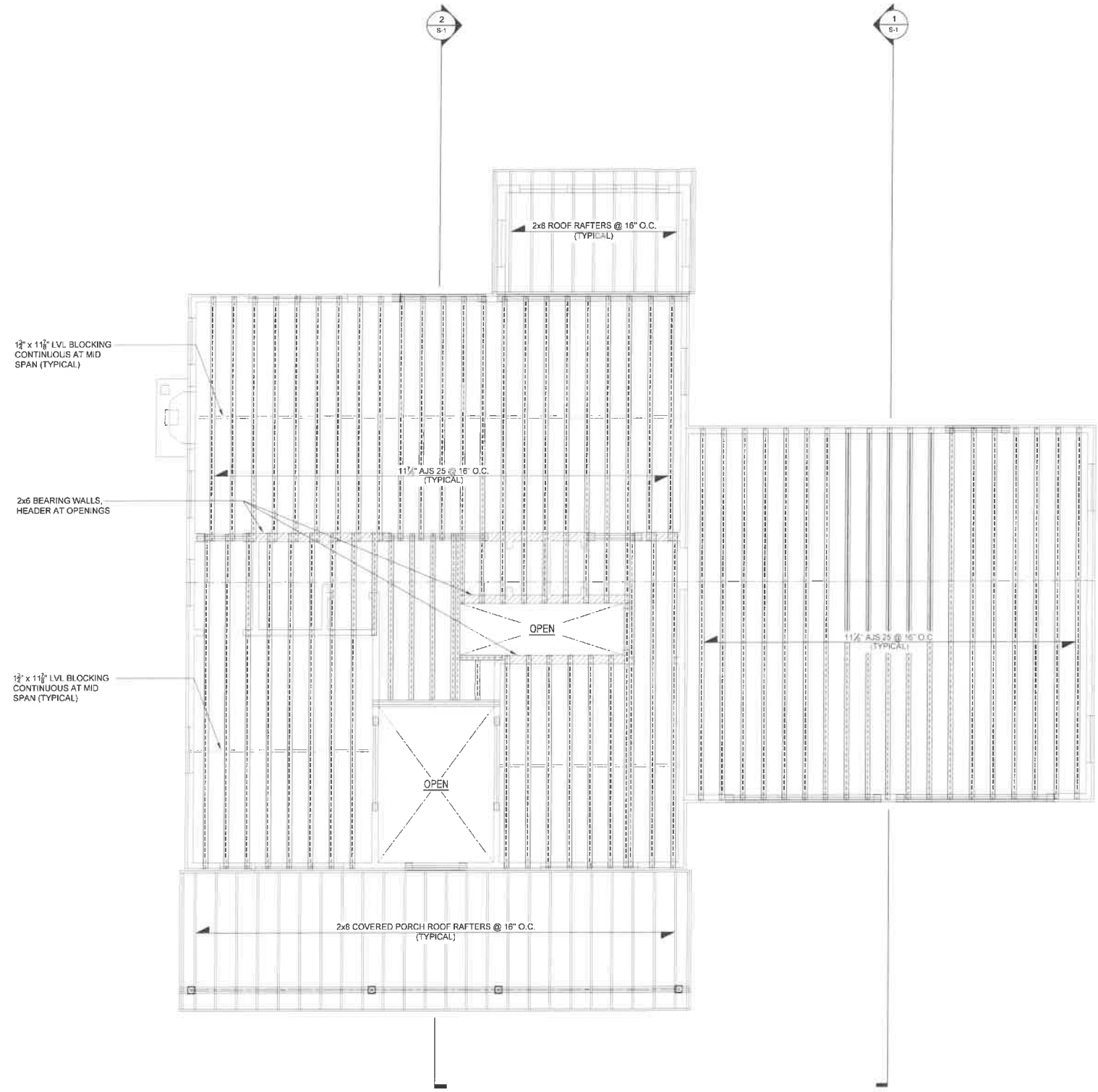


ALL JOIST - AJS 25

(22'-9" MAXIMUM LENGTH)
DO NOT SCALE

NOTE:

USE RECOMMENDED ALL JOIST, VERSA-LAM RIM BOARDS, VERSA-LAM COLUMN, VERSA-LAM BEAM & ALL RECOMMENDED HARDWARE.
(SEE SHEET S-6 OR ALL JOIST MANUFACTURER WEB SITE FOR INSTALLATION REQUIREMENT)



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

T.D.I.

TECHNICAL DESIGNS IMAGING
Computer Aided Designs

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775 MAIN STREET (Route 28), SUITE A2
WEST DENNIS, MA 02670
Work: (508) 360-7506

Email: technicaldesignsimg@gmail.com
Web Page: http://tdi-master001.wor.com/tdi

* CERTIFIED DRAFTSMAN @ 1978 *
- 12 YEARS EXPERIENCE -
- ALL WORK GUARANTEED -

DESIGN / DRAFTING EXPERIENCE:
* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

REVISIONS

No.	DATE	DES. BY
	SEPTEMBER 30, 2020	G.A.M.
	INITIAL DRAWING RELEASE	

CLIENT:

Jd SULLIVAN BUILDERS

McCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

STRUCTURAL
SECOND FLOOR
FRAMING
PLAN

PLAN

DRAWING NUMBER

S-4

SHEET 11 OF 13

" 2020 ARCHITECTURAL & STRUCTURAL DRAWINGS "
DRAWING BY T.D.I.

T.D.I.

TECHNICAL DESIGNS IMAGING
Computer Aided Designs

Glenn A. Mitchell

775 MAIN STREET (Route 2B), SUITE A2
WEST DENNIS, MA 02670

Work: (508) 360-7506

Email: technicaldesignsimging@gmail.com
Web Page: http://draftmaster001.ws.com/~tdi

* CERTIFIED DRAFTSMAN @ 1976 *
- 42 YEARS EXPERIENCE -
- ALL WORK GUARANTEED -

DESIGN / DRAFTING EXPERIENCE:

* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

REVISIONS

No.	DATE	BY	DESCRIPTION
-	SEPTEMBER 30, 2020	G.A.M.	- INITIAL DRAWING RELEASE -

CLIENT:

Jd SULLIVAN
BUILDERS

McCULLOUGH
RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

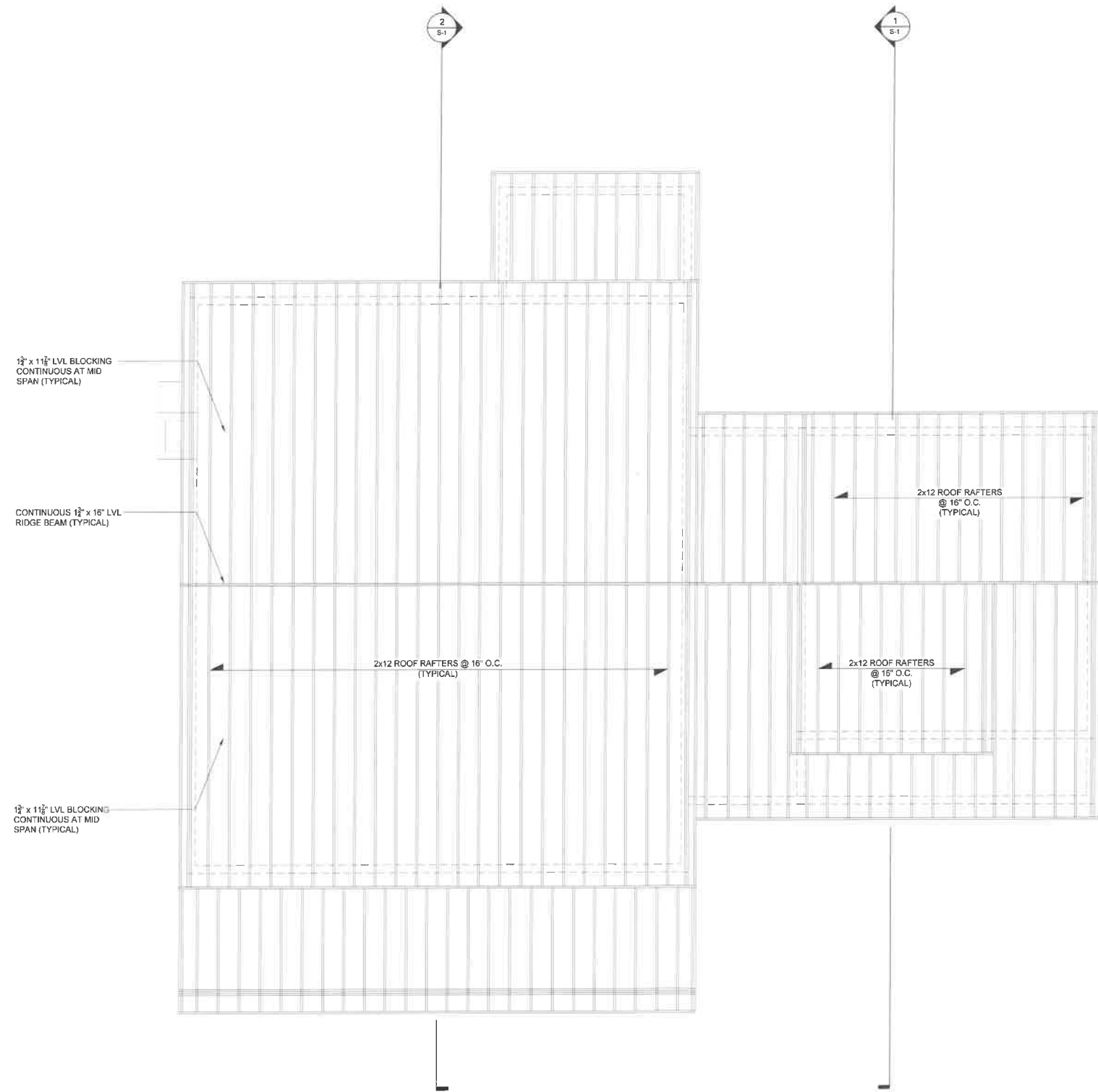
STRUCTURAL
ROOF
FRAMING
PLAN

PLAN

DRAWING NUMBER

S-5

SHEET 12 OF 13



ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

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" 2020 ARCHITECTURAL & STRUCTURAL DRAWINGS "
DRAWING BY T.D.I.

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ___ other _____
Material: red cedar ___ white cedar ___ other _____ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood _____ other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood _____ other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: solid black solar panels with black frame

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) Neal Holmgren Print Name Neal Holmgren

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matte or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) Neal Holmgren Print Neal Holmgren

Date: 10/23/2020 Tel. Phone no's: 508-744-6284
Email info@solarising.net

NOTE: *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

APPEAL PERIOD

APPROVED PLANS

PLAN PICK UP

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787

APPROVED PLANS



Property Owner Consent Form

Owner: James Jensen

Address: 353 Willow Street

Town: W Barnstable

State: MA

Zip: 02668

Phone: 508-648-7661

I hereby give permission to **Solar Rising llc.** and their representatives to pull the required permits for a solar installation on my property.

DocuSigned by:

James Jensen

369E00847E80430...

Property Owner

10/18/2020

Date

Neal Holmgren

Solar Rising

10/22/20

Date

Grid Tied Photovoltaic System
 DC Rating 7.03kW
 Diane Philos-Jensen
 353 Willow Street
 West Barnstable, MA 02668

Site Details:

Solar Rising shall install a 7.03kW grid-tied Photovoltaic system comprised of (19) Solaria 370 watt Modules with (19) Microinverters. The Modules will be flush mounted to the asphalt roof.

All Work To be in Compliance with:

2020 National Electrical Code (NEC)
 2015 International Residential Code (IRC) with MA Amendments
 2009 International Building Code (IBC)
 2012 International Fire Code (IFC)
 MA 780 CMR 9th Edition
 ASCE/ANSI 7-05 Minimum Design Loads for Buildings and other Structures.

Equipment Specifications:

Modules: (19) Solaria 370
 Inverters: (19) Enphase Microinverters IQ 7+
 Racking: Unirac Solar Mount
 Attachments: L-Foot

Roof Specifications:

Roof Structure:
 Asphalt
 2x6" Rafters 16" O/C
 Pitch: 35° Azimuth: 145°

Site Specifications:

Occupancy: II
 Design Wind Speed: 110 MPH
 Ground Snow Load: 30 PSF



Solar Rising LLC
 508-744-6284
 759 Falmouth Rd Unit 8
 Mashpee, MA 02649

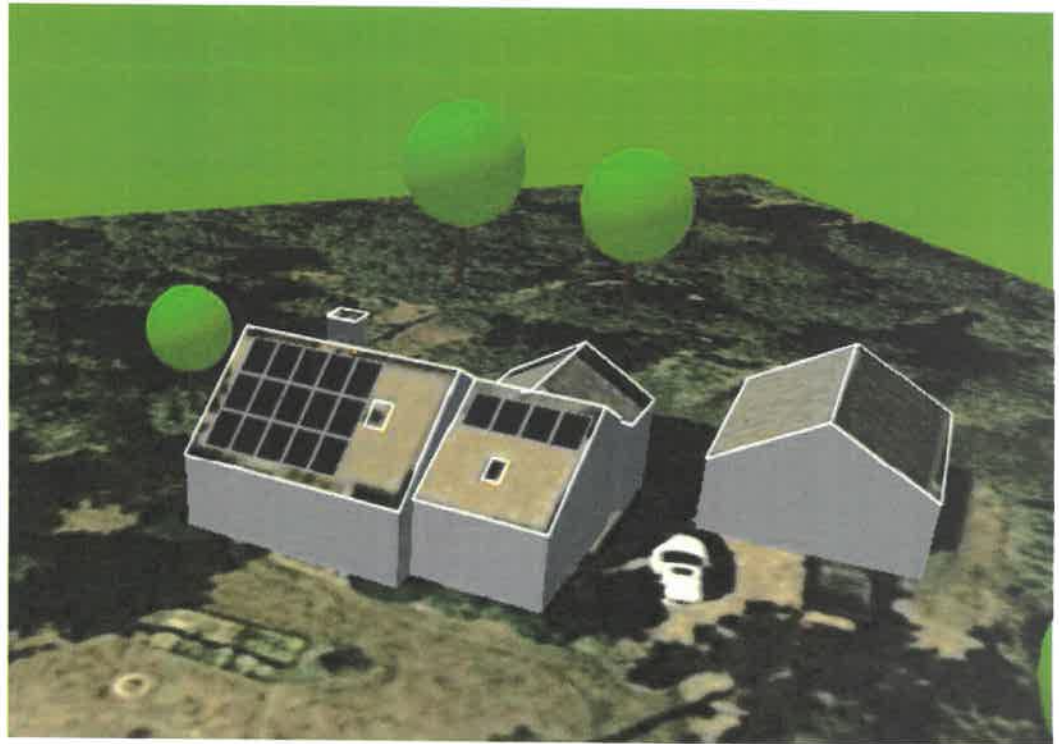
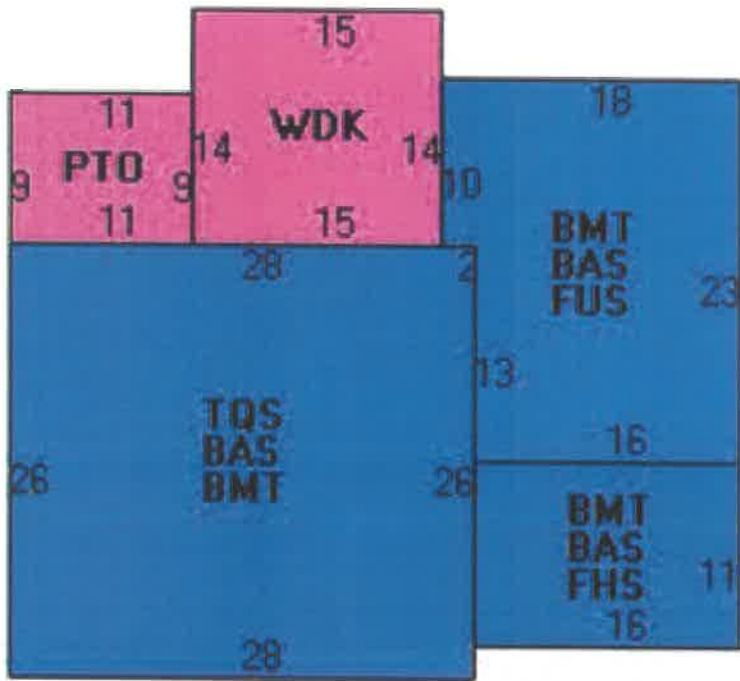
Project: Diane Philos-Jensen
 353 Willow Street
 West Barnstable, MA 02668

Solar Rising Building Permit Plan

Revision: 10/23/2020

Scale: None

Drawn By: Angela Hemmila



- Quantity of attachments = 38@ 48" O.C.
- Maximum UniRac Rail span = 48"O.C.
- Maximum Allowable Cantilever = 16"
- Racking and Attachment: UniRac Solar Mount with lag screw, Hex Head, 18-8 SS 5/16" x 4" Length
- Array Installed According to the UniRac Solar Mount Code-Compliant Installation Manual.



Solar Rising LLC
 508-744-6284
 759 Falmouth Rd Unit 8
 Mashpee, MA 02649

Project **Diane Philos-Jensen**
 353 Willow Street
 West Barnstable, MA 02668

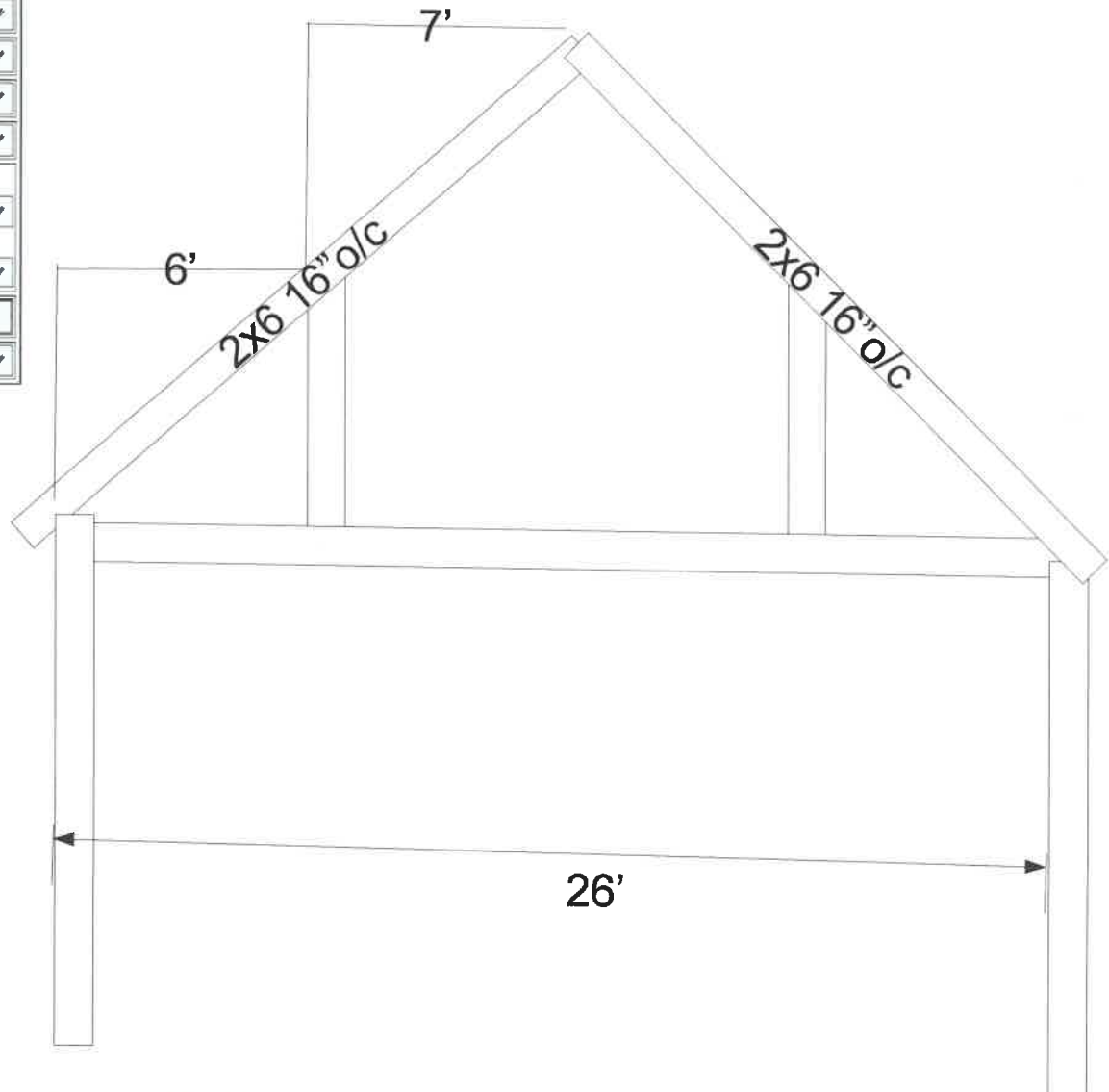
Solar Rising Building Permit Plan

Revision: 10/23/2020

Scale: None

Drawn By: Angela Hemmila

Species	Spruce-Pine-Fir	▼
Size	2x6	▼
Grade	No. 2	▼
Member Type	Rafters (Snow Load)	▼
Deflection Limit	L/180	▼
Spacing (in)	16	▼
Exterior Exposure	Wet service conditions?	
	No	▼
	Incised lumber?	
No	▼	
Snow Load (psf)	30	▼
Dead Load (psf)	10	▼



The Maximum Horizontal Span is:

11 ft. 11 in.

with a minimum bearing length of **0.5 in.** required at each end of the member.

Property	Value
Species	Spruce-Pine-Fir
Grade	No. 2
Size	2x6
Modulus of Elasticity (E)	1400000 psi
Bending Strength (F_b)	1504.34 psi
Bearing Strength (F_{cp})	425 psi
Shear Strength (F_v)	155.25 psi



Solar Rising LLC
508-744-6284
759 Falmouth Rd Unit 8
Mashpee, MA 02649

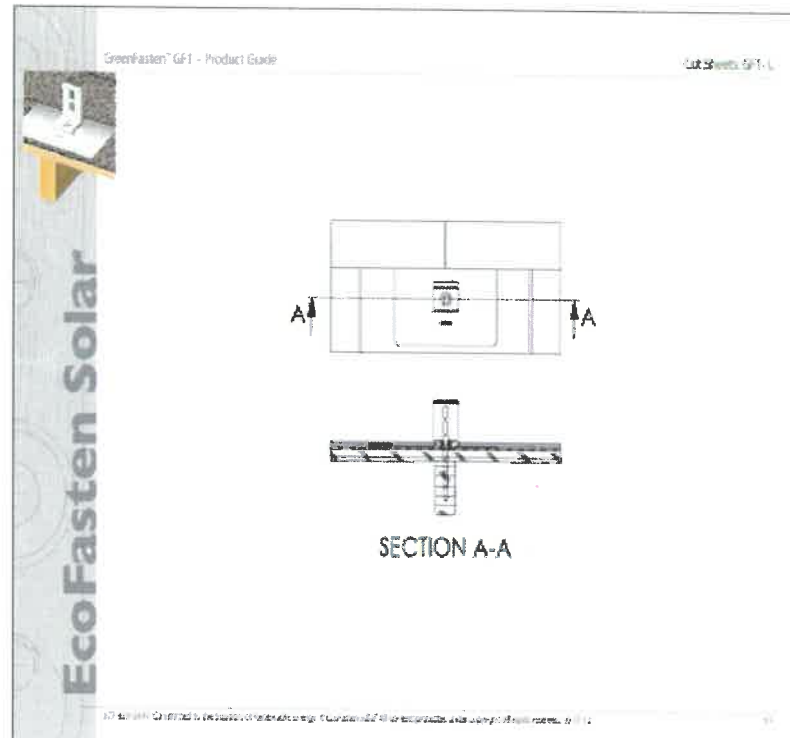
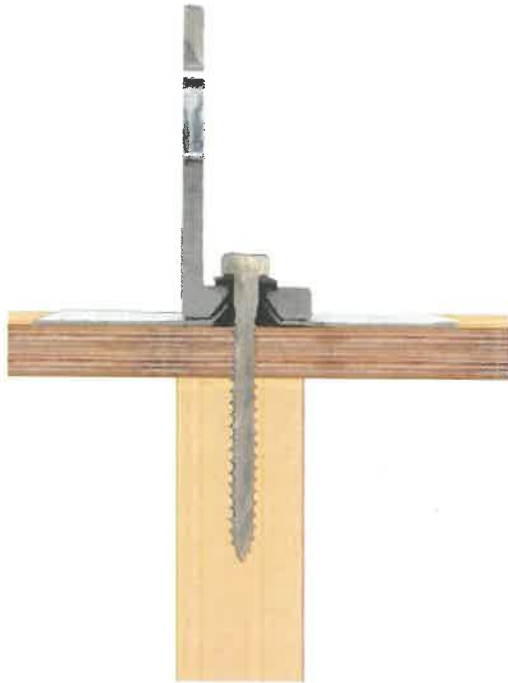
Project **Diane Philos-Jensen**
353 Willow Street
West Barnstable, MA 02668

Solar Rising Building Permit Plan

Revision: 10/23/2020

Scale:

Drawn By: Angela Hemmila



Solar Modules to be flush mounted to existing roof structure and set above roof 4"



Solar Rising LLC
508-744-6284
759 Falmouth Rd Unit 8
Mashpee, MA 02649

Project: Diane Philos-Jensen
353 Willow Street
West Barnstable, MA 02668

Solar Rising Building Permit Plan

Revision: 10/23/2020

Scale: None

Drawn By: Angela Hemmila

Panels to be located on front roof of main house



Panels to be mounted on existing front roof



View from entrance of driveway

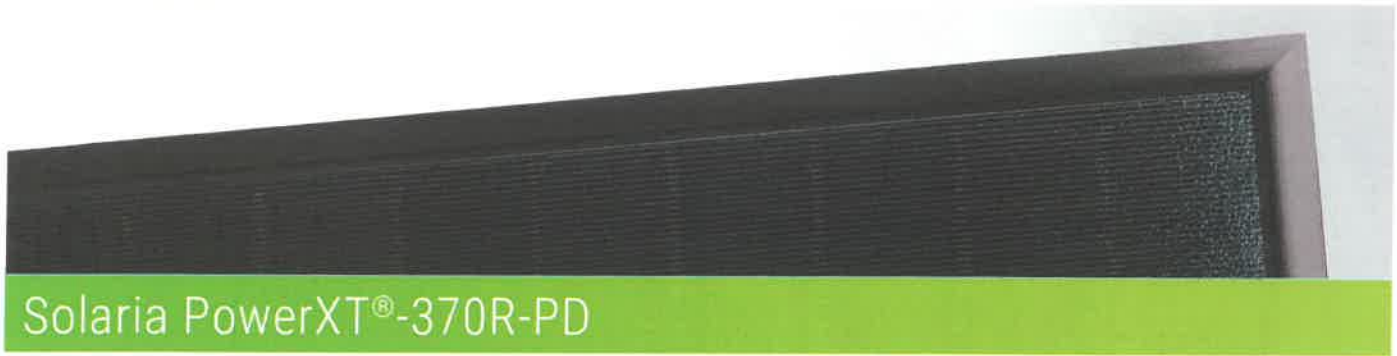


View from the street



View from street





Solaria PowerXT®-370R-PD

Achieving 20% efficiency, Solaria PowerXT solar panels are one of the highest power panels in the residential and commercial solar market. Compared to conventional panels, Solaria PowerXT panels have fewer gaps between the solar cells; this leads to higher power and superior aesthetics. Solaria PowerXT Pure Black™ panels are manufactured with black backsheet and frames, enhancing a home or building's architectural beauty.

Developed in California, Solaria's patented cell cutting and panel assembly takes processed solar wafers and turns them into PowerXT solar panels. The process starts by creating a highly reliable PowerXT cell where busbars and ribbon interconnections are eliminated. Solaria then packages the cells into the PowerXT solar panel, reducing inactive space between the cells. This process leads to an exceptionally cost effective and efficient solar panel.

Higher Efficiency, Higher Power

Solaria PowerXT panels achieve up to 20% efficiency; conventional panels achieve 15% – 17% efficiency. Solaria PowerXT panels are one of the highest power panels available.

Lower System Costs

Solaria PowerXT panels produce more power per square meter area. This reduces installation costs due to fewer balance of system components.

Improved Shading Tolerance

Sub-strings are interconnected in parallel, within each of the four panel quadrants, which dramatically lowers the shading losses and boosts energy yield.

Improved Aesthetics

Compared to conventional panels, Solaria PowerXT panels have a more uniform appearance and superior aesthetics.

Durability and Reliability

Solder-less cell interconnections are highly reliable and designed to far exceed the industry leading 25 year warranty.



About Solaria

Established in 2000, The Solaria Corporation has created one of the industry's most respected IP portfolios, with over 65 patents encompassing materials, processes, applications, products, manufacturing automation and equipment. Headquartered in Oakland, CA, Solaria has developed a technology platform that unlocks the potential of solar energy.



Performance at STC (1000W/m², 25° C, AM 1.5)

Solaria PowerXT-		360R-PD	370R-PD
Max Power (P _{max})	[W]	360	370
Efficiency	[%]	19.9	20.5
Open Circuit Voltage (V _{oc})	[V]	47.7	48.3
Short Circuit Current (I _{sc})	[A]	9.56	9.60
Max Power Voltage (V _{mp})	[V]	39.5	40.2
Max Power Current (I _{mp})	[A]	9.13	9.20
Power Tolerance	[%]	-0/+3	-0/+3

Performance at NOCT (800W/m², 20°C Amb, Wind 1 m/s, AM 1.5)

Max Power (P _{max})	[W]	265	272
Open Circuit Voltage (V _{oc})	[V]	44.8	45.4
Short Circuit Current (I _{sc})	[A]	7.71	7.74
Max Power Voltage (V _{mp})	[V]	36.3	37.0
Max Power Current (I _{mp})	[A]	7.30	7.35

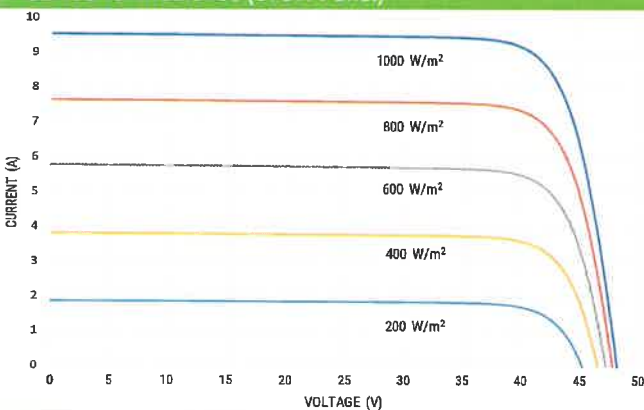
Temperature Characteristics

NOCT	[°C]	45 +/-2
Temp. Coeff. of P _{max}	[% / °C]	-0.39
Temp. Coeff. of V _{oc}	[% / °C]	-0.29
Temp. Coeff. of I _{sc}	[% / °C]	0.04

Design Parameters

Operating temperature	[°C]	-40 to +85
Max System Voltage	[V]	1000
Max Fuse Rating	[A]	15
Bypass Diodes	[#]	4

IV Curves vs. Irradiance (370W Panel)



Mechanical Characteristics

Cell Type	Monocrystalline Silicon
Dimensions (L x W x H)	1621mm x 1116mm x 40mm
Weight	21 kg / 46 lbs
Glass Type / Thickness	AR Coated, Tempered / 3.2mm
Frame Type	Black Anodized Aluminum
Cable Type / Length	12 AWG PV Wire (UL) / 1000mm
Connector Type	MC4
Junction Box	IP67 / 4 diodes
Front Load	5400 Pa / 113 psf*
Rear Load	3600 Pa / 75 psf*

* Refer to Solaria Installation Manual for details

Certifications / Warranty

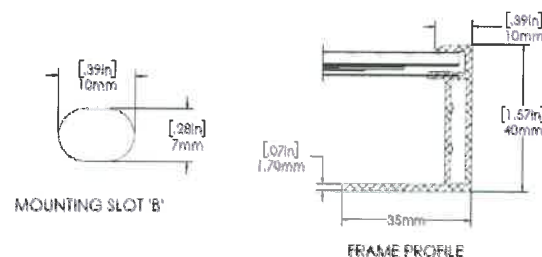
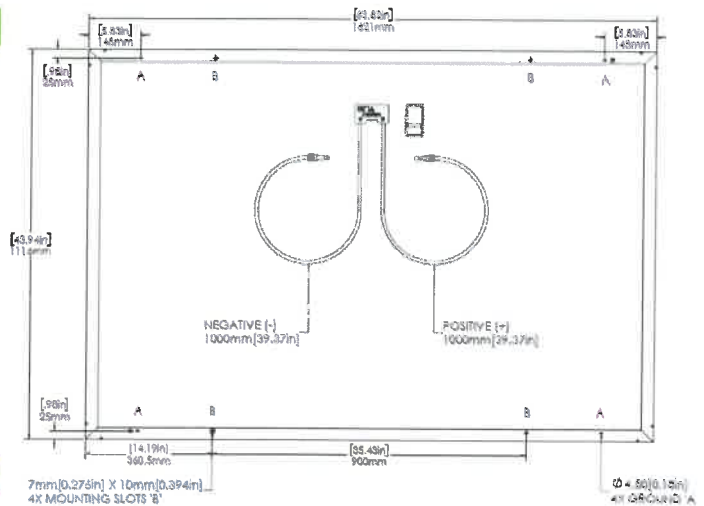
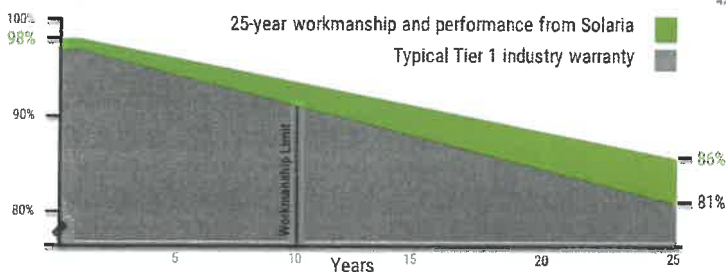
Certifications	UL 1703/IEC 61215/IEC 61730/CEC CAN/CSA-C22.2
Fire Type (UL 1703)	1
Power & Product Warranty	25 years*

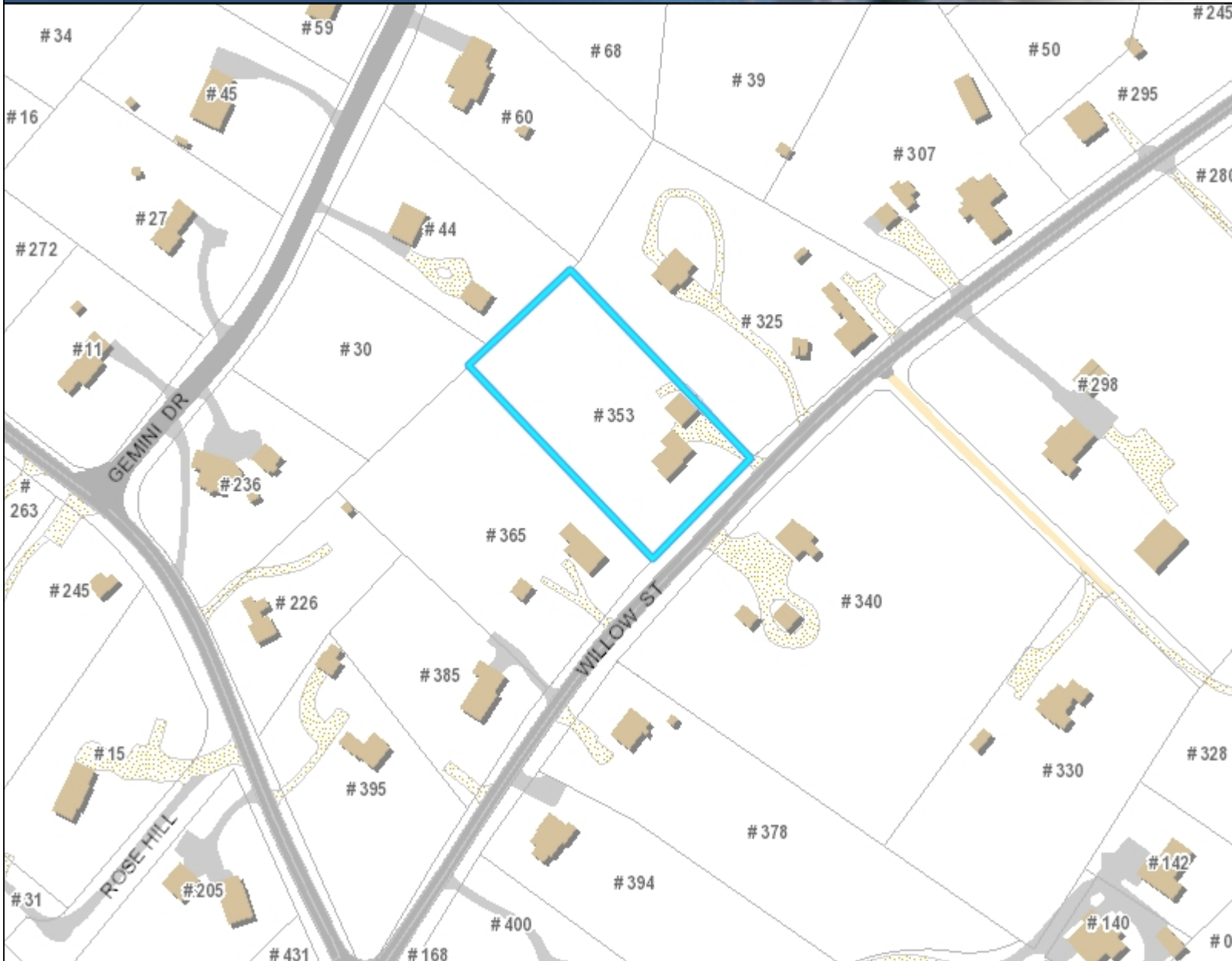
* Warranty details at www.solaria.com

Packaging

Stacking Method	Horizontal / Palletized
Pcs / Pallet	25
Pallet Dims	1668 x 1150 x 1230 mm
Pallet Weight	590 kg / 1300 lbs
Pallets / 40-ft Container	28
Pcs / 40-ft Container	700

Comprehensive 25-Year Warranty

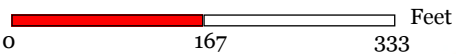




Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- ▭ Parking Lots
- ▭ Paved
- ▭ Unpaved
- ▭ Driveways
- ▭ Paved
- ▭ Unpaved
- Roads
- ▭ Paved Road
- ▭ Unpaved Road
- ▭ Bridge
- ▭ Paved Median
- Streams
- ▭ Marsh
- ▭ Water Bodies

Map printed on: 11/10/2020



Approx. Scale: 1 inch = 167 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

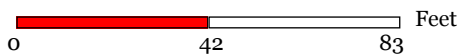
gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 11/10/2020



Approx. Scale: 1 inch = 42 feet



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Town of Barnstable GIS Unit

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gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 131032

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
131018	JOSEPH, MELVIN L & HOWES-JOSEPH, PRUDENCE		365 WILLOW ST		WEST BARNSTABLE	MA	02668
131019	DOLAN, E PATRICK & THEA		325 WILLOW STREET		WEST BARNSTABLE	MA	02668
131026	JENSEN, JAMES N III		353 WILLOW STREET		WEST BARNSTABLE	MA	02668
131032	JENSEN, JAMES N & DIANE P		353 WILLOW ST		WEST BARNSTABLE	MA	02668
131052	VENERI, MICHAEL J & ELIZABETH J		44 GEMINI DRIVE		WEST BARNSTABLE	MA	02668
131053	BARRY, G CURTIS & PAULINE T TRS	BARRY REVOCABLE TRUST	44 CRESTVIEW CIRCLE		CENTERVILLE	MA	02632



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 10/29/2020

NOTE: All applications must be signed by the current owner

Owner (print): Mark & Nancy Freeman Telephone #: 508-361-0286
Address of Proposed Work: 44 Briggs Lane Village Barnstable Map Lot # 299 #058

Mailing Address (if different) _____

Owner's Signature [Signature] Nancy Freeman

Description of Proposed Work: Give particulars of work to be done: _____

Shed to be built with colors to match main house.
Size to be 16x24 and to be placed in regards to
all set backs. Shed will have a loft.

Agent or Contractor (print): Scott Peacock Telephone #: 508-428-7600

Address: 1046 Main St Suite 7, Osterville, Ma Email: scottpeacock@verizon.net

Contractor/Agent' signature: Scott Peacock 02655

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Cement

Siding Type: Clapboard ___ shingle other ___
Material: red cedar ___ white cedar other ___ Color: ___

Chimney Material: ___ Color: ___

Roof Material: (make & style) Asphalt Shingles Color: Black

Roof Pitch(s): (7/12 minimum) ___ (specify on plans for new buildings, major additions)

Window and door trim material: wood other material, specify ___

Size of cornerboards ___ size of casings (1 X 4 min.) ___ color ___

Rakes 1st member ___ 2nd member ___ Depth of overhang ___

Window: (make/model) Anderson material Wood or Vinyl color White
(Provide window schedule on plan for new buildings, major additions) will match main house.

Window grills (please check all that apply): To match house
true divided lights ___ exterior glued grills grills between glass ___ removable interior ___ None ___

Door style and make: Full View material Wood Color: Red

Garage Door, Style ___ Size of opening ___ Material ___ Color ___

Shutter Type/Style/Material: ___ Color: ___

Gutter Type/Material: ___ Color: ___

Deck material: wood ___ other material, specify ___ Color: ___

Skylight, type/make/model/: ___ material ___ Color: ___ Size: ___

Sign size: ___ Type/Materials: ___ Color: ___

Fence Type (max 6') Style ___ material: ___ Color: ___

Retaining wall: Material: ___

Lighting, freestanding ___ on building ___ illuminating sign ___

OTHER INFORMATION: ___

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer)  Print Name Mark Freeman

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) _____

Print Mark Freeman

Date: 10/29/2020

Tel. Phone no's: 508-361-0286

Email: mark-freeman@tjx.com

NOTE: The Old Kings Highway Historic District Committee **MAY DENY INCOMPLETE APPLICATIONS**

ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either **CONTINUED OR DENIED**

APPEAL PERIOD

APPROVED PLANS

PLAN PICK UP

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

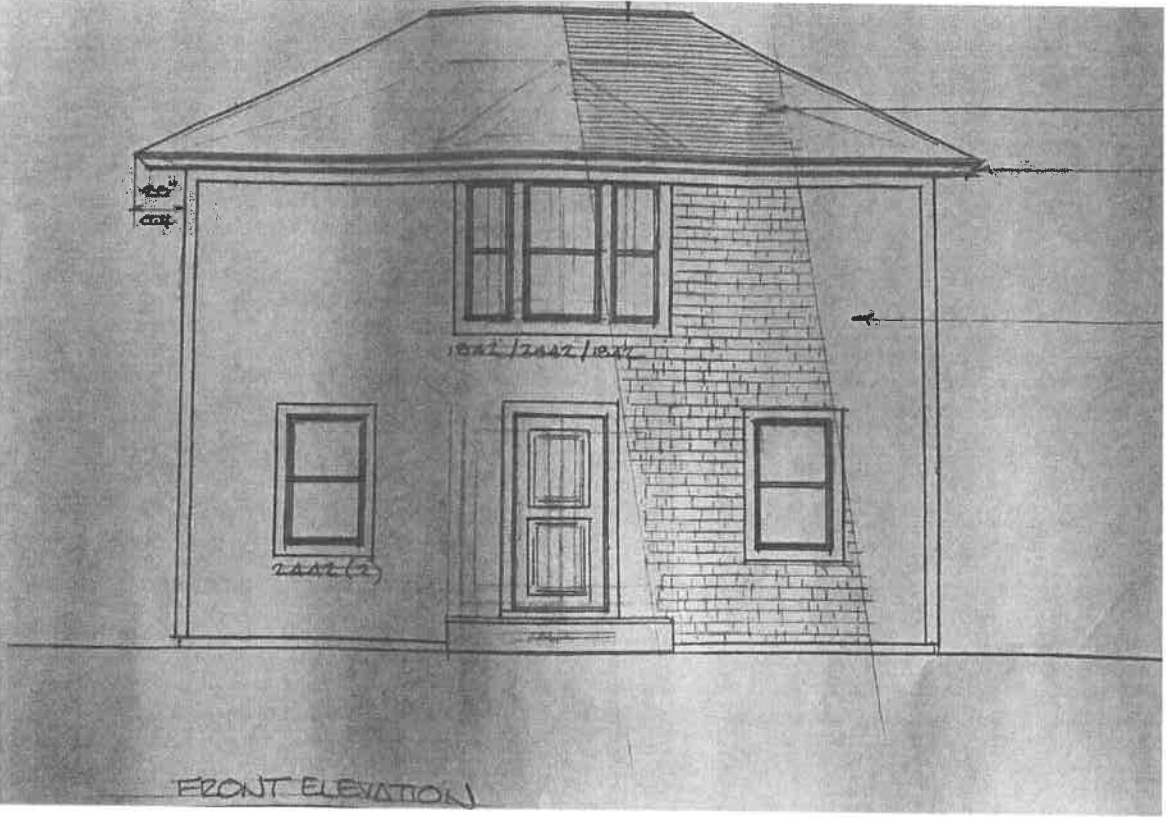
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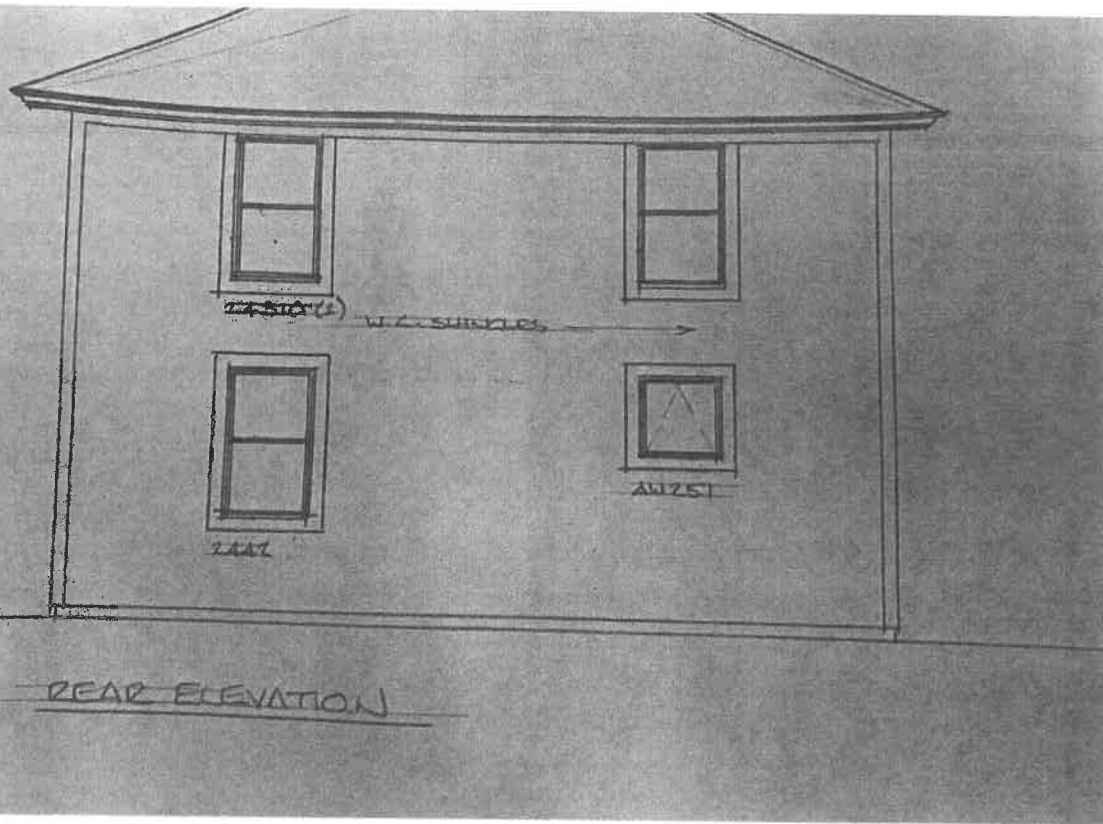
BUILDING PERMITS, OTHER AGENCY CONTACTS

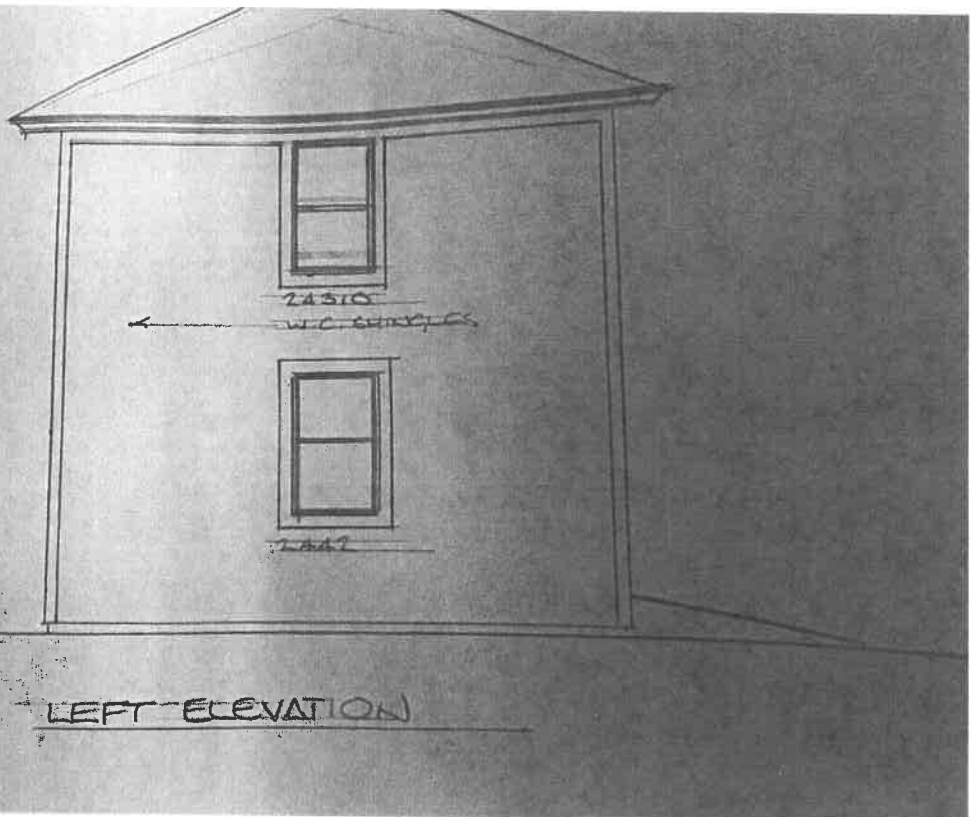
In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

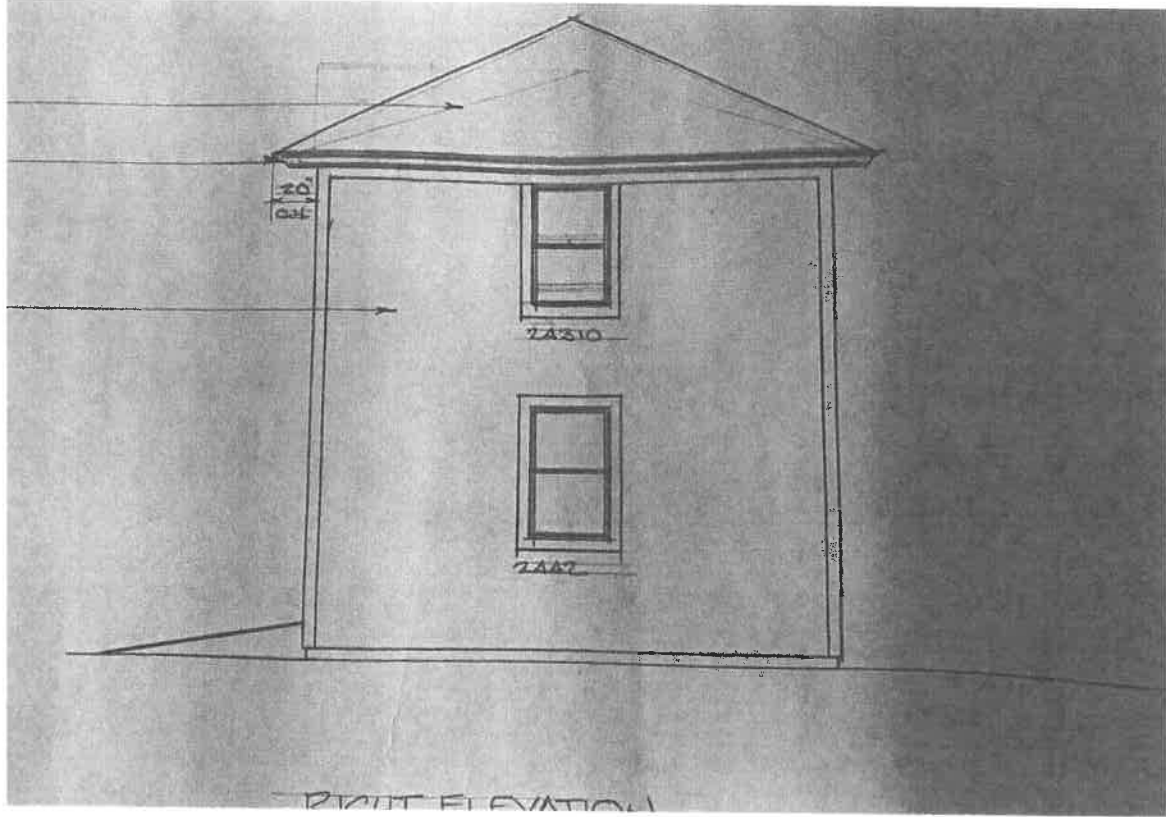
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QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787











Amberst Gray

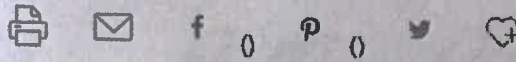
TRIM
white dove
I-06 >

DOOR
Heritage Red
HC-181 >

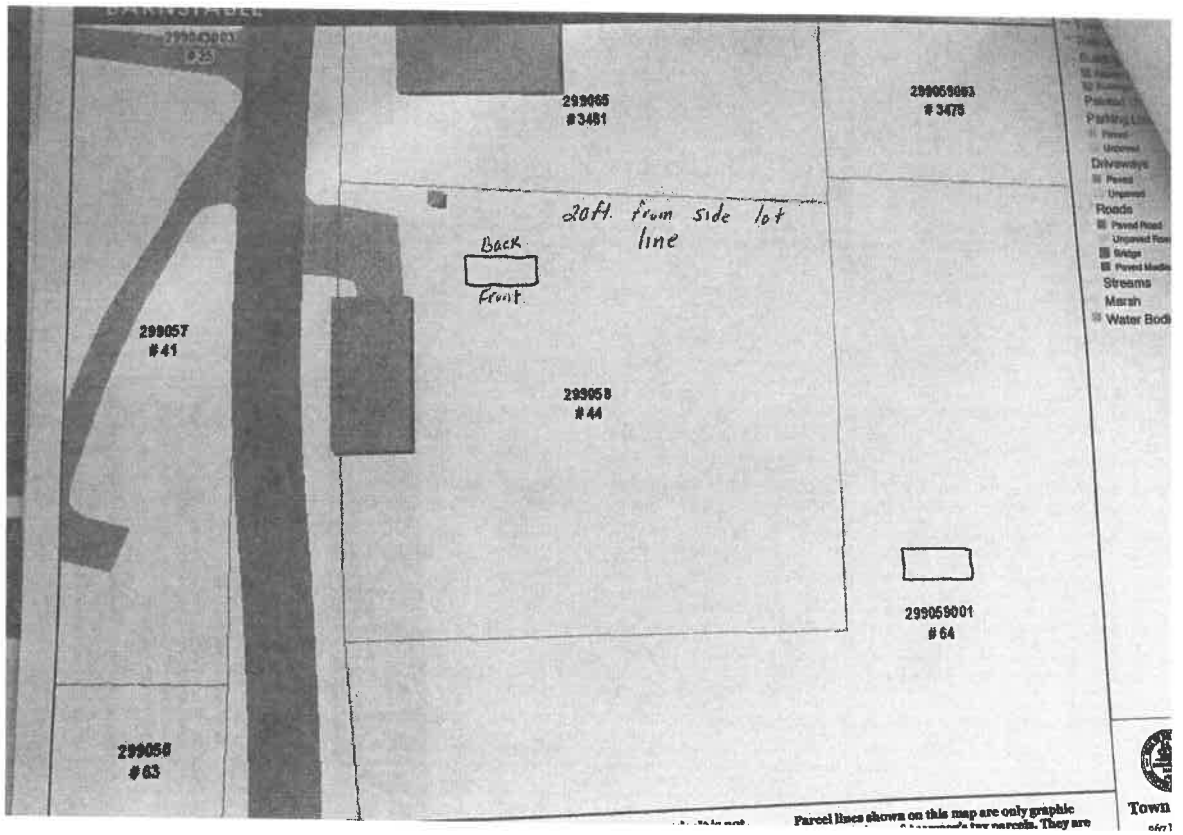


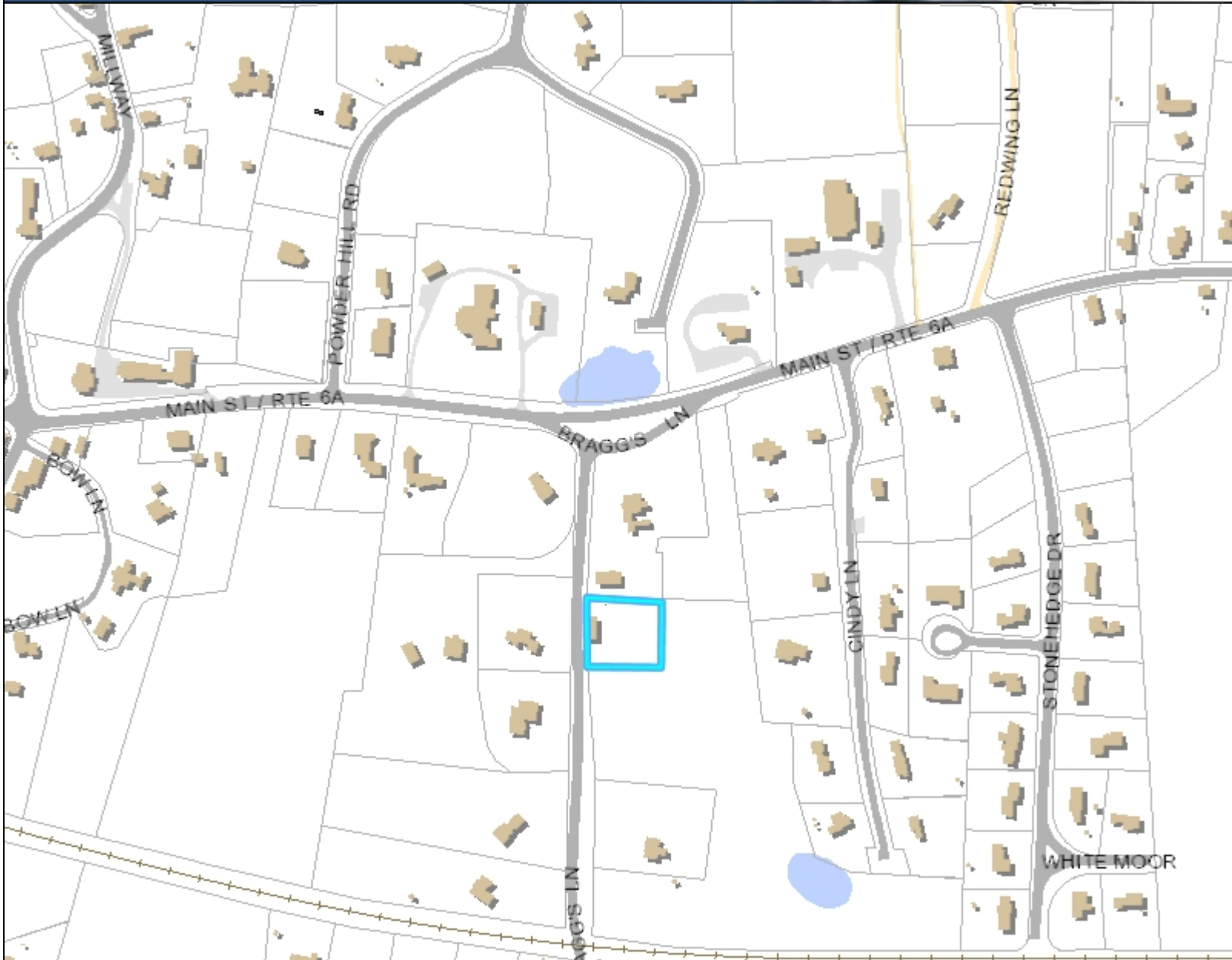
To find the best paint & finish for your project, talk with your local Benjamin Moore retailer.

To save this color palette, share it.



Ready to choose another color combination?





Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - ▨ Bridge
 - Paved Median
- Water Bodies

Map printed on: 11/10/2020



Approx. Scale: 1 inch = 333 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 11/10/2020



Approx. Scale: 1 inch = 42 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 299058

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
299057	ONEILL, W JAMES & MAUREEN G		41 BRAGGS LN		BARNSTABLE	MA	02630
299058	FREEMAN, MARK A & NANCY H		17 STONYBROOK LANE		SHREWSBURY	MA	01545
299059001	BARNSTABLE, TOWN OF (CON)	CONSERVATION COMMISSION	200 MAIN STREET		HYANNIS	MA	02601
299065	HIMSTEAD, JOAN S		3461 MAIN STREET		BARNSTABLE	MA	02630



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign : New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: _____ Date 10/23/20

NOTE: All applications must be signed by the current owner

Owner (print): Robert E. Kennedy Telephone #: 508-776-7316
 Address of Proposed Work: 3885 Main St. Village Barnstable Map Lot # 335-052

Mailing Address (if different) _____

Owner's Signature Robert E. Kennedy

Description of Proposed Work: Give particulars of work to be done: To install an 18' x 36' vinyl lined steel walled inground swimming pool.

Agent or Contractor (print): Swimming Pool and Spa Design Telephone #: 508-775-2433
 Address: 87 Enterprise Rd. Hyannis, MA 02601 Email: swimmingpoolandspadesign@gmail.com
 Contractor/Agent' signature: Steven Seama

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King’s Highway Office

SIGNED (plan preparer) Steven Senna Print Steven Senna

Date: 10/23/20 Tel. Phone no’s: 508 - 775-2433
 Email swimmingpoolandspadesign@gmail.com

NOTE: *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

APPEAL PERIOD	APPROVED PLANS	PLAN PICK UP
---------------	----------------	--------------

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BUILDING PERMITS, OTHER AGENCY CONTACTS
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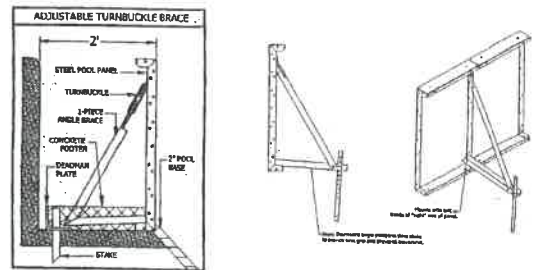
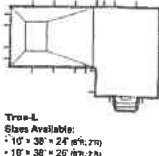
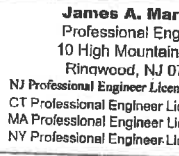
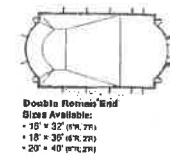
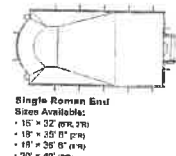
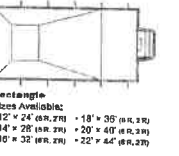
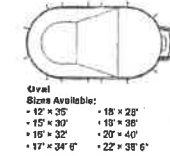
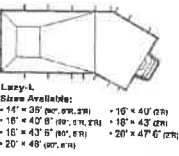
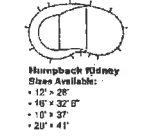
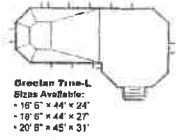
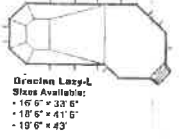
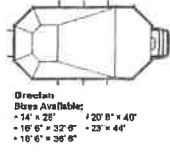
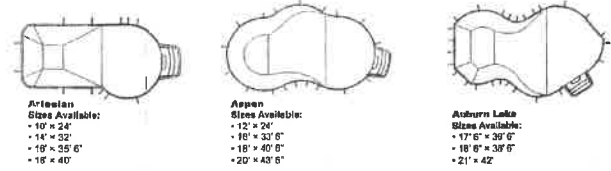
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QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787
--



Steel Panel Braces

Pool Depths



GENERAL NOTES:

- 1) POOL CLEARANCES TO BUILDINGS AND PROPERTY LINES SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.
- 2) THIS PLAN DOES NOT INCLUDE POOL LOCATION ON PROPERTY, GRADING, FENCING, WALLS OR OTHER SITE INFORMATION.
- 3) ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.
- 4) CONTRACTOR SHALL VERIFY BURIED UTILITIES WITHIN SURROUNDS OF INSTALLATION AREA.

CODE COMPLIANCE:

WHEN INSTALLED IN ACCORDANCE WITH THE BAYSIDE POOL SUPPLIES INSTALLATION PROCEDURES, THESE POOLS WILL COMPLY WITH APPLICABLE REQUIREMENTS OF THE FOLLOWING CODES:

- A. CONNECTICUT
 - 2018 STATE BUILDING CODE
- B. MASSACHUSETTS
 - COMMONWEALTH OF THE MASSACHUSETTS BUILDING CODE (9th ED.)
 - 780 CMR 420.0 SWIMMING POOLS APPENDIX 120.0 M
- C. NEW YORK
 - INTERNATIONAL RESIDENTIAL CODES - 2015
- D. NEW JERSEY
 - INTERNATIONAL RESIDENTIAL CODES - 2015 N.J.E.C.
 - INTERNATIONAL SWIMMING POOL & SPA CODE - 2015
- E. ELECTRICAL & PLUMBING

THE CONSTRUCTION AND INSTALLATION OF ELECTRIC WIRING, GROUNDING AND BONDING, AND EQUIPMENT ARE SUBJECT TO THE STATE CODE AND TO THE CURRENT ADOPTED NATIONAL ELECTRICAL CODE REQUIREMENTS. ALL PLUMBING MUST COMPLY WITH THE CURRENT ADOPTED STATE CODE.

INSTALLATION PROCEDURE:

1. INSTALLATION IS TO BE DONE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL BUILDING CODES AS WELL AS COMPLIANCE TO ANSIS/APSP-13 - STANDARD FOR RESIDENTIAL IN-GROUND SWIMMING POOLS.
2. THE POOL MAY BE INSTALLED WITHOUT A SOLE INVESTIGATION BY A REGISTERED DESIGN PROFESSIONAL, SUBJECT TO THE BUILDING OFFICIAL ACCEPTANCE, PROVIDED NONE OF THE FOLLOWING CONDITIONS ARE ENCOUNTERED AT THE SITE:
 - a) THE EXISTENCE OF UNCONTROLLED GROUNDWATER WITHIN THE DEPTH OF THE EXCAVATION.
 - b) THE EXISTENCE OF SOILS CONTAINING PEAT, HUMUS, Silt, OR HIGHLY EXPANSIVE SOILS OR SOILS THAT WOULD NOT HAVE A MINIMUM BEARING CAPACITY OF 1,500 PSF.
 - c) DANGER TO ADJACENT STRUCTURES CAUSED BY THE PROPOSED POOL.
 - d) THE EXISTENCE OF ANY SOIL TYPES WITH AN ANGLE OF REPOSE THAT WILL NOT SUPPORT WALLS OF THE EXCAVATION AT DESIRED SLOPES.
3. IF ANY OF THE CONDITIONS ABOVE IS ENCOUNTERED, THE EXCAVATION MUST CEASE IMMEDIATELY, THE SPECIFIED CORRECTIVE ACTION AT THE SITE MUST THEN BE REVIEWED AND RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER.
4. THE POOL EXCAVATION PROFILE SHALL COINCIDE WITH THE CONTOURS OF THE OF THE POOL, DIFFERENT CONDITIONS AND THIS IS TO BE DETERMINED BY AND IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE BACKFILL FOR THE POOL BOTTOM IS A LAYER OF 3" THICK BEDDING SAND MATCHING THE POOL PROFILE. THE SAND LAYER IS COMPACTED USING MANUAL TAMPING. THE WALLS ARE BACKFILLED WITH CLEAN, LEAN EARTH FREE OF ROOTS AND DEBRIS. INSTALLED IN LAYERS NOT EXCEEDING 8". EACH BACKFILL LAYER SHALL BE CAREFULLY TAMPED TO ELIMINATE Voids. Simultaneous WATERFILL AND BACKFILL DO NOT ALLOW THE HEIGHT OF BACKFILL TO EXCEED THE HEIGHT OF THE WATER BY MORE THAN 6" NOR THE WATER TO EXCEED THE BACKFILL BY MORE THAN 6".
6. POUR A 2" FEEK WIDE CONCRETE 2000 PSI FOOTING AND LIMIT THE ENTIRE PERIMETER, MINIMUM 8" DEEP.
7. DECKS OR FINISHED GRADES SHALL SLOPE AWAY FROM THE POOL AT A MINIMUM SLOPE OF 1/8" PER FOOT. CONCRETE DECKS ARE TO BE CONSTRUCTED OF 2,500 MINIMUM STRENGTH CONCRETE.

COMPONENT NOTES:

1. GAUGE STEEL IS FORMED FROM MATERIAL CONFORMING TO ASTM A-528 OR EQUIVALENT WITH A GALVANIZED COATING CLASS G-235.
2. ALL STEEL ANGLES (PANEL STIFFENERS AT FRAME BRACES) ARE TO BE GALVANIZED STEEL.
3. ALL BOLTS, THREADED COMPONENTS AND WASHERS ARE FROM MATERIAL CONFORMING TO ASTM A-307 AND ZINC PLATED.

ADDITIONAL NOTE:

IF POOL IS FURNISHED WITH DRAINS OR SUBMERGED SUCTION OUTLETS, THEN COMPLIANCE TO THE VIRGINIA GRAEBE BAKER POOL AND SAFETY ACT IS REQUIRED. DRAIN COVERS ASME A112.19.8.2007 AT 3"-0" MIN APART AND ENTRAPMENT AVOIDANCE MUST BE INSTALLED

Pool Shape / Size	3'	4'	5'	6'	7'	8'
Rectangle 12x24 (90°, 6"R, 2'R)						
Rectangle 14x28 (90°, 6"R, 2'R)	3'4"	6'	0			
Rectangle 16x32 (90°, 6"R, 2'R)	3'4"	8'	I			
Rectangle 18x36 (90°, 6"R, 2'R)	3'4"	8'	II			
Rectangle 20x40 (90°, 6"R, 2'R)	3'4"	8'	II			
Rectangle 22x44 (90°, 6"R, 2'R)	3'4"	8'	II			
Artesian 10x24	3'4"	8'	0			
Artesian 14x32	3'4"	8'	I			
Artesian 16x35-6	3'4"	8'	I			
Artesian 18x40	3'4"	8'	II			
Aspen 12x24	3'4"	8'	I			
Aspen 16x33-6	3'4"	8'	II			
Aspen 18x40-6	3'4"	8'	II			
Aspen 20x43-6	3'4"	8'	II			
Auburn Lake 17x36-6	3'4"	8'	II			
Auburn Lake 18-6x38-6	3'4"	8'	II			
Auburn Lake 21x42	3'4"	8'	II			
Baja 16x30-6	3'4"	8'	II			
Baja 18x38	3'4"	8'	II			
Baja 20x40	3'4"	8'	II			
Figure 8 12x24-5	3'4"	8'	I			
Figure 8 16x30	3'4"	8'	II			
Figure 8 18x33-6	3'4"	8'	II			
Figure 8 20x36	3'4"	8'	II			
Grecian 14x28	3'4"	7'	0			
Grecian 16-6x32-6	3'4"	8'	II			
Grecian 18-6x36-6	3'4"	8'	II			
Grecian 20-6x40	3'4"	8'	II			
Grecian 23x44	3'4"	8'	II			
Grecian Lazy-L 16-6x33-6	3'4"	6'	0			
Grecian Lazy-L 18-6x41-6	3'4"	6'	II			
Grecian Lazy-L 19-6x43	3'4"	8'	II			
Grecian True-L 16-6x44x24	3'4"	8'	II			
Grecian True-L 18-6x44x27	3'4"	8'	II			
Grecian True-L 20-6x45x31	3'4"	8'	II			
Humpback Kidney 12x26	3'4"	8'	I			
Humpback Kidney 16x32-6	3'4"	8'	II			
Humpback Kidney 18x37	3'4"	8'	II			
Humpback Kidney 20x41	3'4"	8'	II			
Lap Pool 10x40 (90°, 6"R, 2'R)	3'4"	4'6"	0			
Lazy-L 14x36 (90°, 6"R)	3'4"	8'	II			
Lazy-L 14x36 (2'R)	3'4"	7'	0			
Lazy-L 16x40 (2'R)	3'4"	7'	0			
Lazy-L 16x40-6 (90°, 6"R)	3'4"	8'	II			
Lazy-L 18x43 (2'R)	3'4"	8'	II			
Lazy-L 18x43-6 (90°, 6"R)	3'4"	8'	II			
Lazy-L 20x47-6 (2'R)	3'4"	8'	II			
Lazy-L 20x48 (90°, 6"R)	3'4"	8'	II			
Oval 12x36	3'4"	8'	I			
Oval 15x30	3'4"	7'	0			
Oval 16x32	3'4"	8'	II			
Oval 17x34-6	3'4"	8'	II			
Oval 18x28	3'4"	7'	0			
Oval 18x36	3'4"	8'	II			
Oval 20x40	3'4"	8'	II			
Oval 22x36-6	3'4"	8'	II			
Roman Double 16x32 (90°, 6"R, 2'R)	3'4"	8'	II			
Roman Double 18x36 (90°, 6"R, 2'R)	3'4"	8'	II			
Roman Double 20x40 (90°, 6"R, 2'R)	3'4"	8'	II			
Roman Single 16x32 (90°, 6"R, 2'R)	3'4"	8'	II			
Roman Single 18x35-6 (2'R)	3'4"	8'	II			
Roman Single 18x36-6 (90°, 6"R)	3'4"	8'	II			
Roman Single 20x40 (90°, 6"R)	3'4"	8'	II			
Roman Single 20x40-6 (2'R)	3'4"	8'	II			
True-L 16x38x24 (90°, 6"R, 2'R)	3'4"	8'	II			
True-L 18x38x26 (90°, 6"R, 2'R)	3'4"	8'	II			
True-L 20x44x30 (90°, 6"R, 2'R)	3'4"	8'	II			

James A. Marx Jr.
 Professional Engineer
 10 High Mountain Road
 Ringwood, NJ 07456
 NJ Professional Engineer License # GE 25179
 CT Professional Engineer License # 17349
 MA Professional Engineer License # 36365
 NY Professional Engineer License # 56467

Drawing
P-2



MA PROFESSIONAL ENGINEER LIC. 36365

CLIENT NAME

Fort Wayne
POOLS
 Steel Wall Pools

alpha3
 manufacturing corp.

Baystate Pool Supplies
 1360 Blue Hill Ave.
 Bloomfield, CT 06002
 860.286.9282 • Fax 860.769.5599









ASSESSORS MAP 335 PARCEL 52

ROUTE 6A - MAIN STREET
STATE HIGHWAY VARIABLE WIDTH

MARY DUNN ROAD

OT AREA
2.24 ACRES
MAP 335
52
3885

BENCHMARK: FIRST FLOOR ELEV. 37.67 AT EXISTING ENTRANCE

ASSESSORS MAP 335 PARCEL 52
DEED REFERENCE BOOK 14729 PAGE 328
PLAN BOOK 187 PAGE 45
OWNER: MARY P. McSWEENEY & MICHAEL D. BROWNE
#3885 MAIN STREET P.O. BOX 246
CUMMAQUID, MA 02637
PH. 1-508-362-6187
LEGAL: JOHN W. KENNEY ESQ.
1550 ROUTE 28
CENTERTVILLE, MA 02632
PH. 1-508-771-8300
FAX 1-508-775-6029
ENGINEERING: DANIEL A. OJALA PLS
DOWN CAPE ENGINEERING, INC.
339 RT 6A YARMOUTHPORT, MA 02675
PH. 1-508-362-4541
FAX 1-508-362-9880
ZONING CLASSIFICATION: RF-2
GROUNDWATER PROTECTION OVERLAY DISTRICT: AP
BUILDING SETBACKS: 30' FRONT, 15' SIDE, 15' REAR
FLOOD ZONE: C
SITE IS IN OLD KINGS HIGHWAY HISTORIC DISTRICT
SITE IS NOT IN AN A.C.E.C.

EXISTING USE: SINGLE FAMILY RESIDENCE (FORMER BED & BREAKFAST)
PROPOSED USE: SINGLE FAMILY RESIDENCE WITH ART STUDIO/GALLERY FOR THE CREATION, DISPLAY AND SALE OF THE OWNERS ART WORK.

PARKING CALCULATIONS:
SINGLE FAMILY RESIDENCE: 1 DWELLING UNIT (1.5/UNIT) = 1.5 REQ.
ART GALLERY: 388 SF (1/200 SF/RETAL) = 1.84 REQ.
TOTAL: 3.34 SPACES REQUIRED
6 SPACES PROVIDED (INCLUDING 2 IN GARAGE)

SEPTIC CALCULATIONS:
(NO PUBLIC RESTROOMS ARE TO BE AVAILABLE)
4 BEDROOM RESIDENCE (110 GPD/BEDROOM) = 440 GPD
USE EXISTING 1500 GALLON SEPTIC TANK AND 450 GPD LEACHING SYSTEM.
REFERENCE PLANS ON FILE WITH THE HEALTH DEPT.

LEGEND:

	TEST BORING
	CATCH BASIN
	EXISTING TREE
	UTILITY POLE
	EXISTING TREE
	WATER LINE
	TREE LINE
	EXISTING LIGHT
	EXISTING CONTOUR
	FIRE HYDRANT

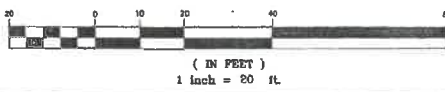
--- Fence
--- Gate

NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN IS APPROXIMATE. PRIOR TO ANY EXCAVATION ON THIS SITE, THE EXCAVATING CONTRACTOR SHALL MAKE THE REQUIRED 72 HOUR NOTIFICATION TO DIG SAFE (1-888-344-7233) AND ANY OTHER UTILITIES WHICH MAY HAVE CABLE, PIPE OR EQUIPMENT IN THE CONSTRUCTION AREA FOR VERIFICATION OF LOCATIONS.
2. ALL CONSTRUCTION MATERIALS, COMPONENTS, AND METHODS EMPLOYED ON THIS PROJECT WORK SHALL CONFORM TO THE TOWN OF BARNSTABLE SUBDIVISION REGS. AND/OR THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR BRIDGES AND HIGHWAYS AS AMENDED TO PRESENT. ANY SEPTIC WORK AND MATERIALS TO CONFORM TO 310 CMR 15.00 TITLE 5, AND BARNSTABLE HEALTH REGULATIONS.
3. VERTICAL DATUM IS ASSUMED FROM GIS. (NVD) MUNICIPAL WATER IS AVAILABLE.
4. OFF-SITE BUILDING LOCATIONS AND TOPO ETC. FROM TOWN OF BARNSTABLE G.I.S. DATA AND IS APPROXIMATE, SHOWN FOR INFORMATIONAL PURPOSES ONLY.

MAP 335
53
1512

GRAPHIC SCALE



SITE PLAN

OF LAND IN
CUMMAQUID (BARNSTABLE) MA
PREPARED FOR:
MARY McSWEENEY

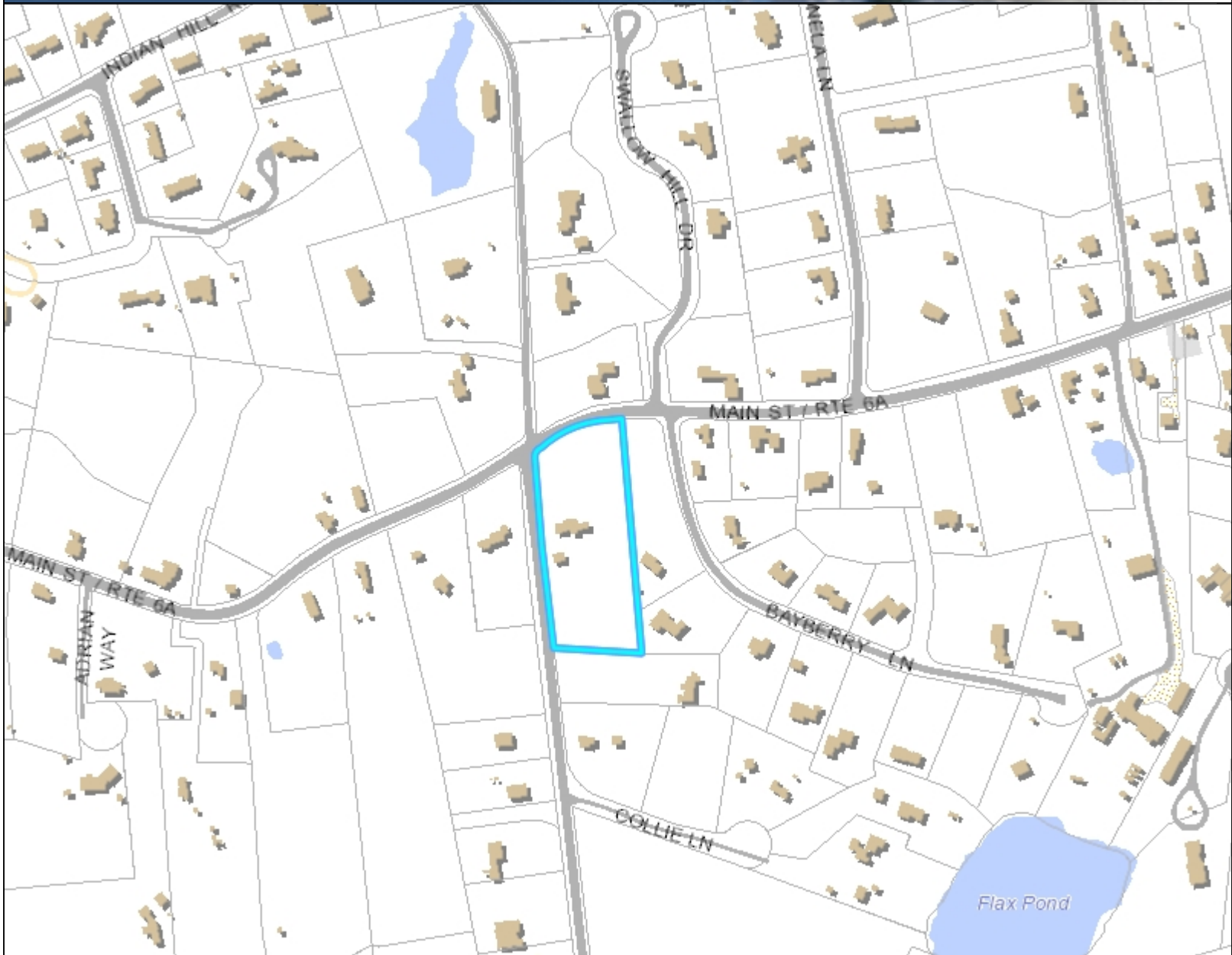
DRAFTER: DAO	DATE: 05-07-02
CHKD BY: AHO	
SCALE 1" = 20'	



down cape engineering, inc.
CIVIL ENGINEERS
LAND SURVEYORS
939 Main Street - YARMOUTHPORT, MASS.

off 508-362-4541
fax 508 362-9880

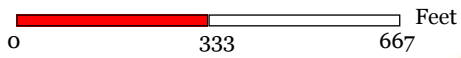
02-102



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Parking Lots
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Water Bodies

Map printed on: 11/10/2020



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

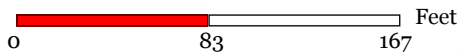
gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 11/10/2020



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 335052

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
335008001	BURROWS, JAMES A		P O BOX 322		CUMMAQUID	MA	02637
335008002	MCCULLOUGH, E TIMOTHY & LAURA G TRS	MCCULLOUGH FAMILY TRUST	4926 INDIAN DEER ROAD		WINDERMERE	FL	34786
335019	WEBB, GRANT & HOWITT, SARAH K		216 TRINITY PASS ROAD		POND RIDGE	NY	10576
335021	JUAN, YU WEN & MCCABE, JASON		320 MADISON STREET		BROOKLYN	NY	11216
335043	KILROY, JOHN E TR	JOHN E KILROY 2019 TRUST	38 BAYBERRY LANE		BARNSTABLE	MA	02630
335044	DEAL, KYLE R & COTE, ASHLEY M	%ALBANESE, DAVID F & JILL L DRUHAN-	25 BAYBERRY LANE		CUMMAQUID	MA	02637
335052	BROWNE, MICHAEL & MCSWEENEY MARY TRS	%KENNEDY, ROBERT E & CHRISTINA R MENDEZ-	3885 MAIN STREET		BARNSTABLE	MA	02630
335053	BLAKELY, GEORGE W	%BLAKELY, GEORGE W TR	PO BOX 206		BARNSTABLE	MA	02630



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. **Building construction:** New Addition Alteration
- 2. **Type of Building:** House Garage/barn Shed Commercial Other
- 3. **Exterior Painting, roof** new roof color/material change, of trim, siding, window, door
- 4. **Sign :** New Sign Existing Sign Repainting Existing Sign
- 5. **Structure:** Fence Wall Flagpole Retaining wall Tennis court Other
- 6. **Pool** Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 10/30/2020

NOTE: All applications must be signed by the current owner

Owner (print): McCullough Family Trust Telephone #: 407-719-3303
 Address of Proposed Work: 3861 Main St. (Route 6A) Village Barnstable Map Lot # 335/008/002
 Mailing Address (if different) 4926 Indian Deer Rd, Mindermere, FL 34786
 Owner's Signature Laura McCullough, Trustee EM Trustee
 Description of Proposed Work: Give particulars of work to be done: Add a two car garage and a laundry/connector to the house

Agent or Contractor (print): Owner E Timothy McCullough Trustee Telephone #: 407-719-3303
 Address: 3861 Main St., Barnstable, MA 02630 email: _____
 Contractor/Agent' signature: Owner E.M. Trustee, Laura McCullough, Trustee

For committee use only This Certificate is hereby **APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) concrete

Siding Type: Clapboard shingle other
Material: red cedar white cedar other Color: Cape Cod Grey

Chimney Material: stucco Color: white

Roof Material: (make & style) Certain teed landmark Architectural asphalt shingles Color: dark gray

Roof Pitch(s): (7/12 minimum) 12/12, 3/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood other material, specify PVC

Size of cornerboards 1x5/1x6 size of casings (1 X 4 min.) 1x5 color white

Rakes 1st member 1x6 2nd member 1x2 Depth of overhang no overhang

Window: (make/model) Andersen Andersen material vinyl color white
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights exterior glued grills grills between glass removable interior None

Door style and make: 6 panel material fiberglass Color: _____

Garage Door, Style see elevation Size of opening 9'x7' Material wood Color light gray

Shutter Type/Style/Material: match existing Color: black

Gutter Type/Material: K-style aluminum Color: white

Deck material: wood other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name Marijona Radonic

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade; roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.
- Landscaping plan, 5 copies drawn on a certified perimeter plan containing the following information:
 - Name of applicant, street address, assessor's map and parcel number.
 - Name address and telephone number of the plan preparer, plan date, & dates of revisions
 - The location of existing and proposed buildings and structures, and lot lines.
 - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
 - Existing buffer areas to remain.
 - Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
 - The location, number, size and name of proposed new trees and plants.
 - Driveway, parking areas, walkways, and patios indicating materials to be used.
 - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
 - All proposed exterior lighting and signs.
- Sketch or photos of adjacent properties, (1 copy only)

A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- Photographs of all sides of existing buildings to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 1617 sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

Building 1 2159 sq. ft. Building 2 _____

New building or addition, foot print:

Building 1 684 sq. ft. Building 2 _____

New Building or addition, gross floor area, including area of finished basement:

Building 1 1172 sq. ft. Building 2 _____

5. SIGNS


- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer)		Print	<u>Mariana Radonic</u>
Date:	<u>10/30/2020</u>	Tel. Phone no's:	<u>508 308 8614</u>
		Email:	<u>lacajadr@outlook.com</u>
NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS			
ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED			

APPEAL PERIOD	APPROVED PLANS	PLAN PICK UP
----------------------	-----------------------	---------------------

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS
--

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787
--

(no subject)
1 message

4077193202@pm.sprint.com <4077193202@pm.sprint.com>
To: lgmccullough5@gmail.com

Fri, May 29, 2020 at 12:19 PM

Sent from my mobile.



*Neighbor's
Home across
Mary Dunn Rd*

<https://mail.google.com/mail/u/072k=58cdfd8377&view=pt&search=all&permthid=thread-f%3A1668046171759477026&siml=msg-f%3A1668046171759477026>

1/2



Side
View of
abutter from
side yard
of 3861 Mainst.
Barnstable, 02630

<https://mail.google.com/mail/u/0/#inbox?projector=1>



Laurie McCullough <lgmccullough5@gmail.com>

(no subject)

1 message

4077193202@pm.sprint.com <4077193202@pm.sprint.com>
To: lgmccullough5@gmail.com

Fri, May 29, 2020 at 12:20 PM

Sent from my mobile.



Front of
Abutter's
Home
(seen from
Route 6A -
Main Street)

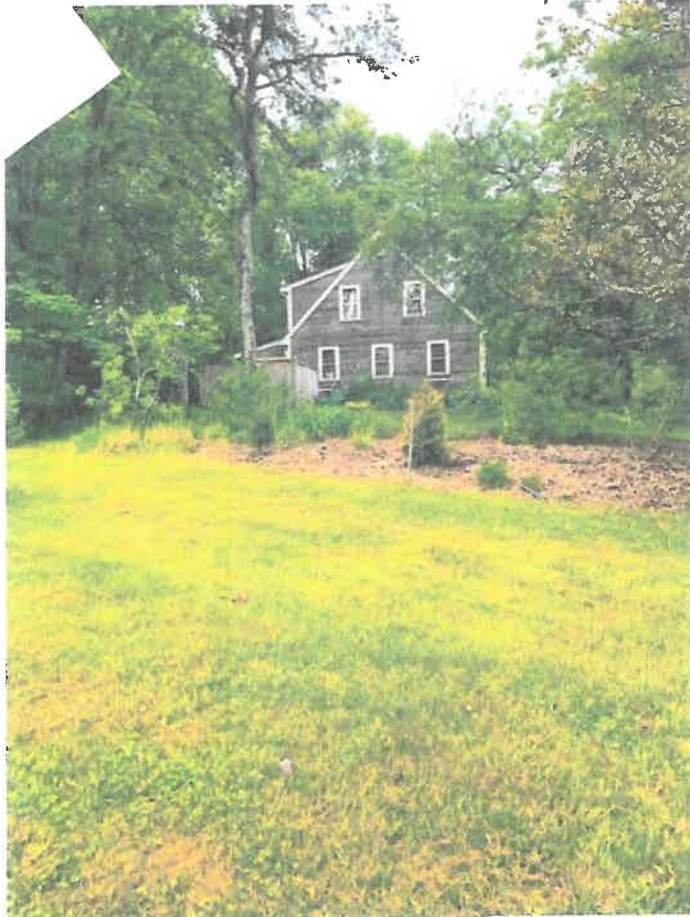
<https://mail.google.com/mail/u/0?ik=58cdfd8377&view=pt&search=all&permthid=thread-f%3A1668046187917892938&siml=msg-f%3A1668046187917892938>

1/2



House & Neighbor
Across Route 6A
(Main St.)
(As seen from 6A &
Indian Trail)

<https://mail.google.com/mail/u/0/#inbox/FMfcgwxhNgWwcZwpPJHkJFhVGMXvhdvZ?projector=1>



Side
View of
a buffer from
side yard
of 3861 Main St.
Barnstable, 02630

<https://mail.google.com/mail/u/0/#inbox?projector=1>

1/2

3861 Main St. (Route 6A)
McCollough

Thank you Erin!

M

Home - Front
Across 6A
(Main St.)



No H
cor
E
SOL



<https://mail.google.com/mail/u/0/#inbox/FMfcgwhNgWvcZwgPwTlftjFNQqZZXfj>



Mary
Dunn Rd.,
Abutting
3861 Main St.
Barnstable











TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS



400 Series
Tilt-Wash Double-Hung
Full-Frame Windows

SECTION REFERENCE

Tables of Sizes	78-81
Specifications	79-83
Custom Sizing	84
Grille Patterns	85
Window Details	85-86
Joining Details.....	86
Narroline® Conversion Kit.....	87
Combination Designs	181
Product Performance.....	194

CUSTOM SIZING

in 1/8" (3) increments



Dimensions in parentheses are in millimeters.

TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

FEATURES

Frame

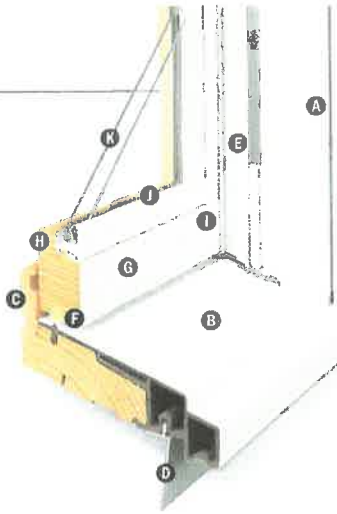
A Exterior outer frame members are covered with a Perma-Shield® rigid vinyl cladding, minimizing maintenance and providing an attractive appearance.

B For exceptional long-lasting* performance, sill members are constructed with a wood core and a Fibrex® material exterior. Sill ends are protected and sealed with weather-resistant covers.

C Natural wood stops are available in pine and prefinished white, dark bronze and black.** A new, taller sill stop increases performance to PG40 while still maintaining egress on our most popular sizes.

D A factory-applied rigid vinyl anchoring flange on the head, sill and sides of the outer frame helps secure the unit to the structure.

E An extruded rigid vinyl jamb liner and fin provide a protective seal against the outer frame members. Exclusive slide wash assists make it easy to tilt sash into wash mode position.



Sash

Wash assists make it easy to tilt the sash into wash mode.

H Wood sash members are treated with a water-repellent preservative for long-lasting* protection and performance. Interior surfaces are unfinished pine. Low-maintenance prefinished white interiors are also available.

G A polyester-stabilized coat with a Flexacron® finish is electrostatically applied to penetrate all exterior surfaces for maximum protection and a lustrous finish.

I Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.

Glass

J Silicone bed glazing provides superior weathertightness and durability.

K High-Performance glass options include:

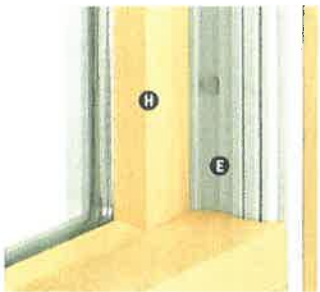
- Low-E4® glass
- Low-E4 HeatLock® glass
- Low-E4 Sun glass
- Low-E4 SmartSun™ glass
- Low-E4 SmartSunHeatLock glass

Tempered glass and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

Patterned Glass

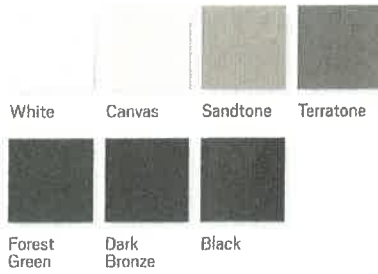
Patterned glass options are available. See page 12 for more details.



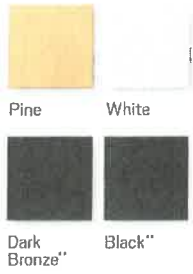
Unique block-and-tackle balancers feature sized-to-the-unit, rust-resistant springs that require no adjustment. Glass-reinforced nylon balancer shoes provide smooth, reliable sash operation. Sash can be removed, without tools, for drywall pass-through. Jamb liners are available in white or gray and must be specified when ordering. Contact your Andersen supplier for details.

F Weatherstrip throughout the unit provides a long-lasting, energy-efficient, weather-resistant seal. For the top and bottom rails, an encased foam material is used. The head jamb liner and sill have a rigid vinyl rib that the weatherstrip material compresses against. At the meeting rail, compressible vinyl bulb material is used. Side jamb liners use leaf-type weatherstrip with foam inserts.

EXTERIOR



INTERIOR



Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a prefinished option is specified.

HARDWARE FINISHES



Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

DOUBLE-HUNG HARDWARE

STANDARD

Lock & Keeper



Black | Gold Dust | **Stone** | White
Stone is standard with natural interior units. White comes with prefinished white interiors. Other finishes optional.

OPTIONAL DOUBLE-HUNG HARDWARE**

ESTATE™

Lock & Keeper



Optional ESTATE lock & keeper reduces the clear opening height by 1/16" (14). Check with local building code officials to determine compliance with egress requirements.

CONTEMPORARY

Bar Lift



Antique Brass | Black | Bright Brass
Brushed Chrome | Distressed Bronze
Distressed Nickel | Gold Dust
Oil Rubbed Bronze | Polished Chrome
Satin Nickel | Stone | White

TRADITIONAL

Bar Lift

Hand Lift

Finger Lifts



Antique Brass | Black | Bright Brass | Brushed Chrome | Distressed Bronze | Distressed Nickel
Gold Dust | **Oil Rubbed Bronze** | Polished Chrome | Satin Nickel | Stone | White

Bold name denotes finish shown.

* Visit andersenwindows.com/warranty for details.

** Dark bronze and black interiors are only available with dark bronze and black exteriors, respectively.

† Flexacron® is a registered trademark of PPG Industries, Inc.

Dimensions in parentheses are in millimeters.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.



TECHNICAL DATA SHEET

Project Name Catalog #
 Comments Date

42W Wall-Mounted LED Barn Light

Benefits

- Over 50,000+ Hours L70 Rated, Save on maintenance, and Electricity Cost
- Easy installation, Comes with a Secure Wall-Mounting Plate, 54in. Wire
- Instant-On, No Humming, No Flickering
- Rated Operating Temperature -40°F + 122°F
- ETL/cETL & Energy Star Rated
- May Order With or Without Photocell
- Suitable for Outdoor and Wet Locations
- 5 Year HTM Lighting Solutions Warranty



Specifications

SKU	HTM-BS14-GN15-42W-30ZZ-BLK/BZ
Power	42W
Voltage Input	100-277VAC
Lumen Output	3800 lm
Color Temperature	3000K
CRI	>80
Operating Temperature	-40°F + 122°F
Warranty	5 Year Warranty
Lumen Maintenance (L70)	50,000+ Life Hours Rated
Product Dimensions	15.70" x 14.20" x 13.20" (LxWxH)



Applications



HTM Lighting Solutions
 6420 Benjamin Road,
 Tampa, FL 33634

sales@htm-lighting.com
 Rev: V0717

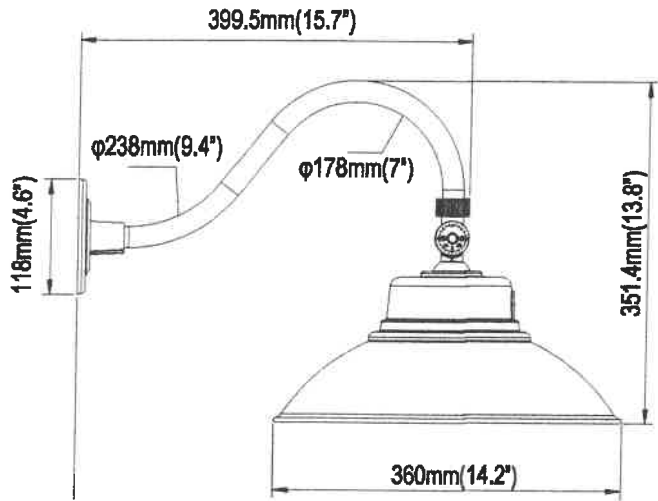
Tel: +1 (813) 649-8899
 Fax: +1 (813) 425-9007
 www.htm-lighting.com

TECHNICAL DATA SHEET

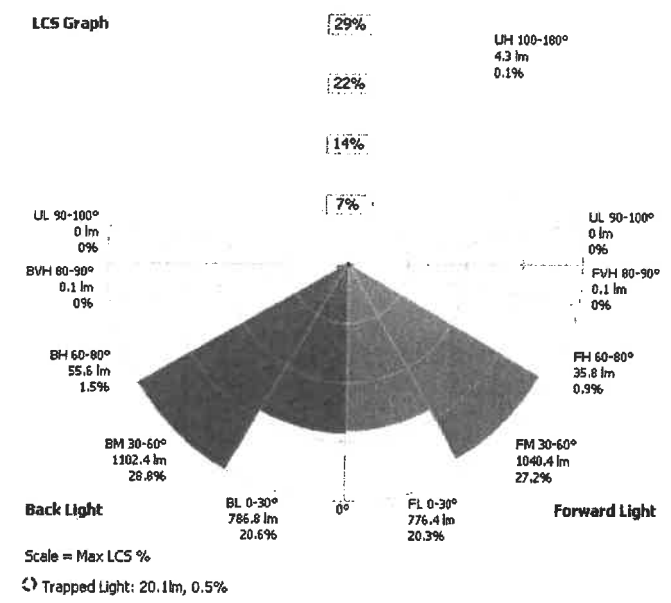
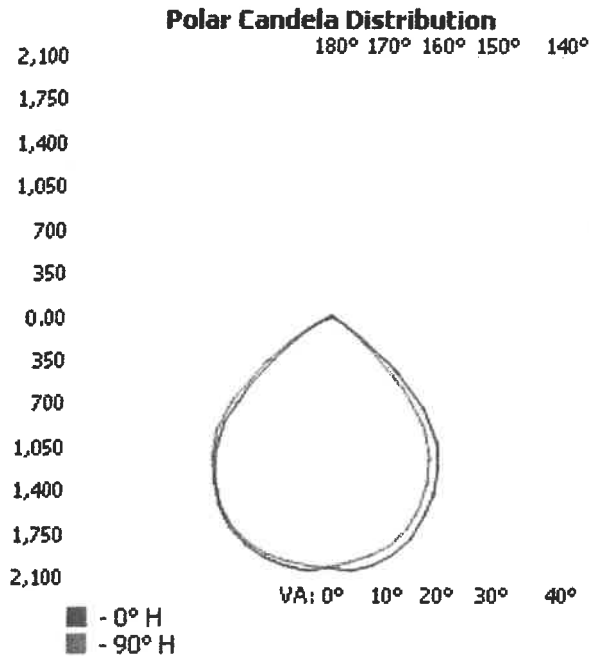
Project Name Catalog #
 Comments Date

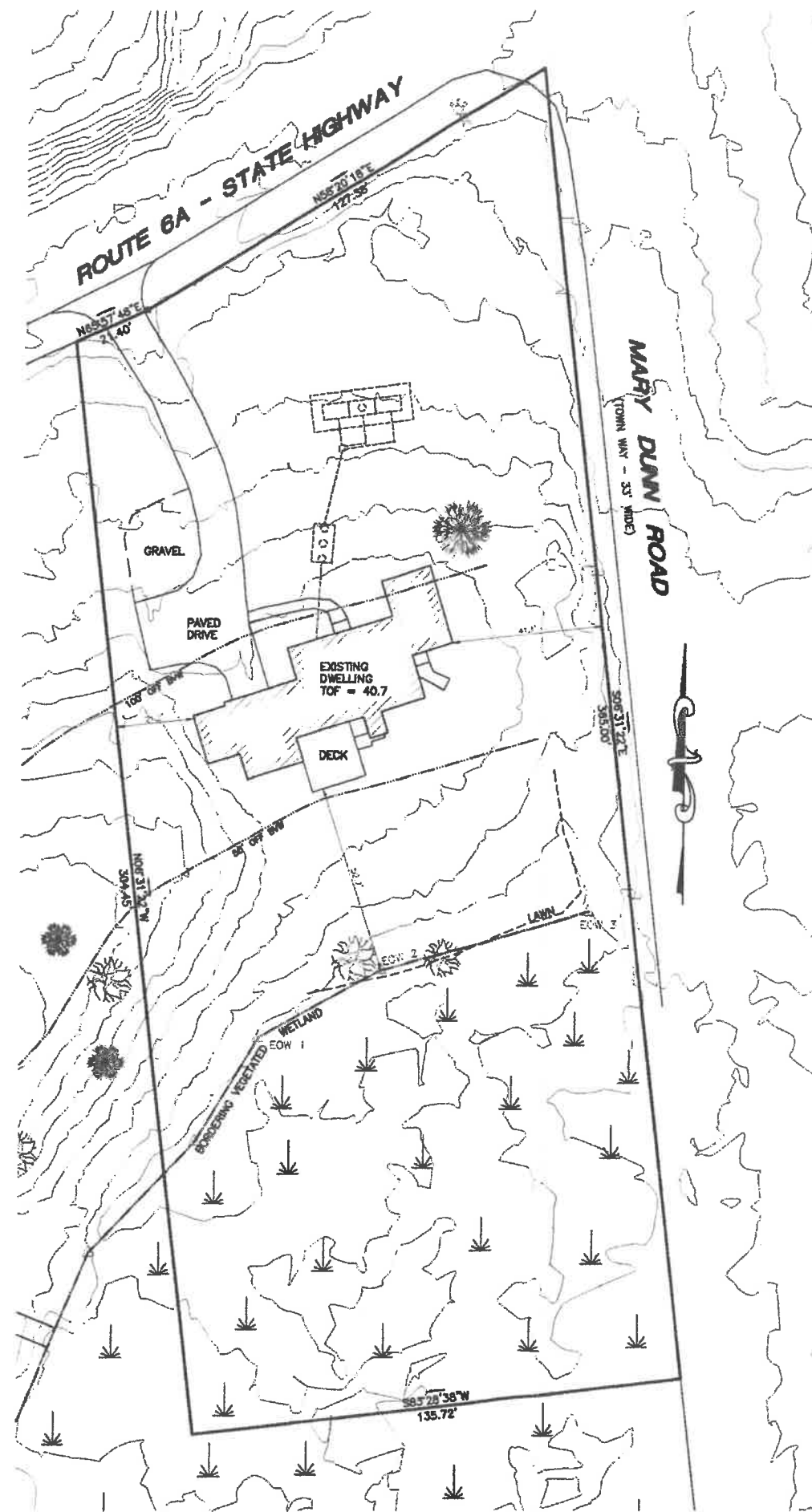
42W Wall-Mounted LED Barn Light

Dimensions



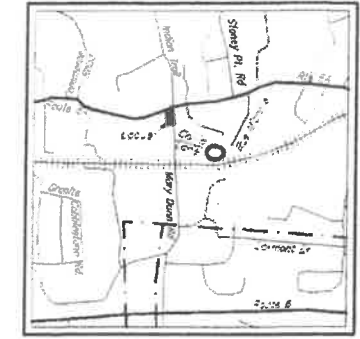
Photometries





NOTES

1. DATUM IS NAVD83.
2. THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DIGSAFE (1-888-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.
4. EXISTING SEPTIC LOCATION PER TIC-CARD ON FILE WITH TOWN.



LOCUS MAP
SCALE 1"=2000'±
ASSESSORS MAP 335 PARCEL 8-2

ZONING SUMMARY

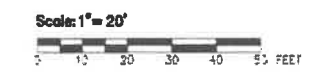
ZONING DISTRICT: RF-2 DISTRICT

MIN. LOT SIZE	43,560 S.F.
MIN. LOT FRONTAGE	20'
MIN. LOT WIDTH	150'
MIN. FRONT SETBACK	30'
MIN. SIDE SETBACK	15'
MIN. REAR SETBACK	15'
MAX. BUILDING HEIGHT	30'

SITE IS LOCATED WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT

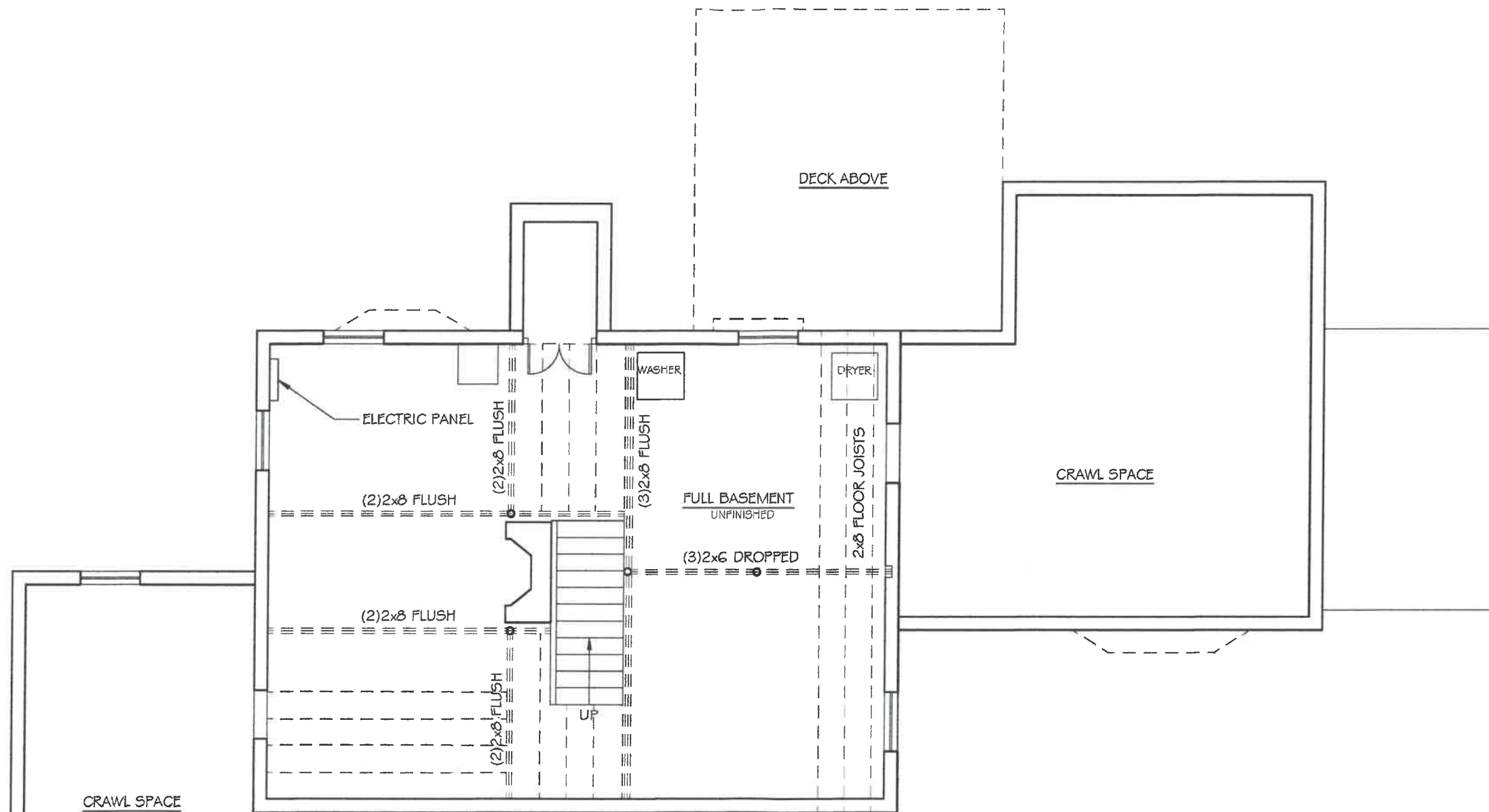
SITE PLAN
OF
#3861 ROUTE 6A
BARNSTABLE, MA
PREPARED FOR
TIMOTHY McCULLOUGH

DATE: MAY 14, 2020



DATE DANIEL A. GWALA, P.E., P.L.S.



off 508-362-4541
 fax 508-382-9800
 downcape.com ©
down cape engineering, inc.
 civil engineers
 land surveyors
 939 Main Street (Rte 6A)
 YARMOUTHPORT MA 02875






EXISTING BASEMENT PLAN

SCALE: 1/4"=1'-0"

LEGEND

-  - EXISTING WALL TO REMAIN
-  - EXISTING WALL TO BE REMOVED



- ALARM LEGEND - EXISTING**
-  — EXISTING SMOKE DETECTOR
 -  — EXISTING CARBON MONOXIDE DETECTOR
 -  — EXISTING HEAT DETECTOR

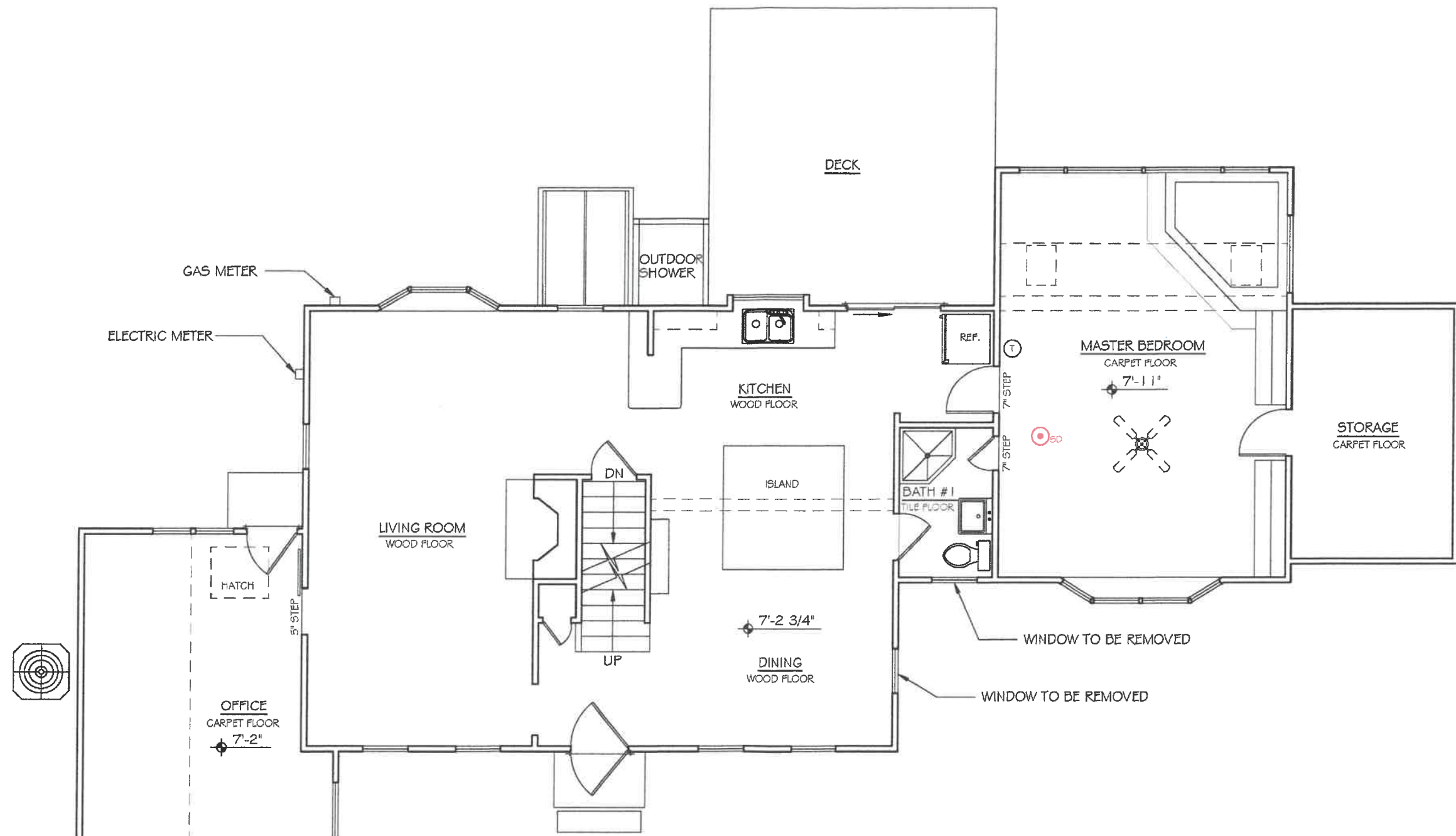
Existing Basement Plan

McCullough Residence
3861 Main St., Barnstable, MA 02630

EX-1

Date: 07.20.2020

La Casa Studio
PO Box 1106 - Harwich, MA 02645
Phone: (508)-308-8614



EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED



ALARM LEGEND - EXISTING

- ⊙_{SD} — EXISTING SMOKE DETECTOR
- ⊙_{CO} — EXISTING CARBON MONOXIDE DETECTOR
- ⊙_{HD} — EXISTING HEAT DETECTOR

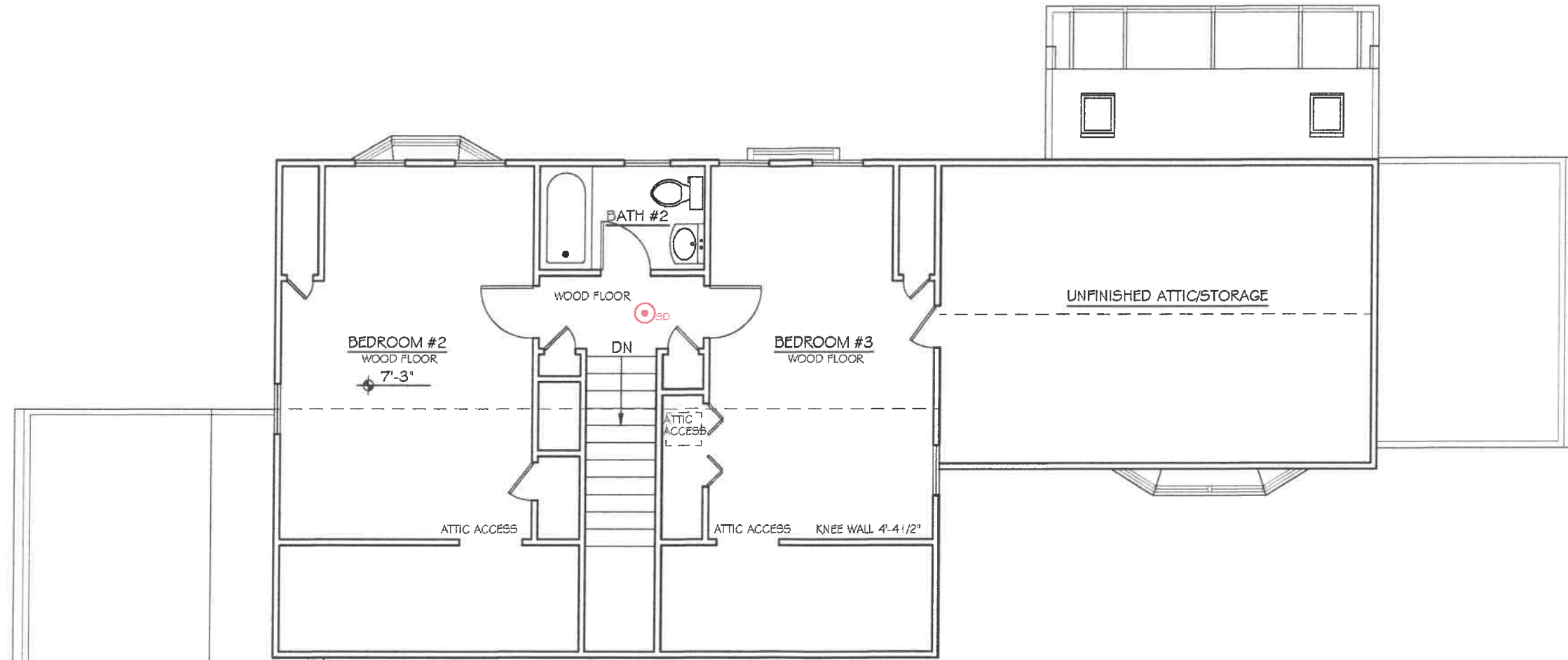
Existing First Floor Plan

McCullough Residence
3861 Main St., Barnstable, MA 02630

Date: 07.20.2020

La Casa Studio
PO Box 1106 - Harwich, MA 02645
Phone: (508)-308-8614

EX-2



EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED



ALARM LEGEND - EXISTING

- _{SD} — EXISTING SMOKE DETECTOR
- _{CO} — EXISTING CARBON MONOXIDE DETECTOR
- _{HD} — EXISTING HEAT DETECTOR

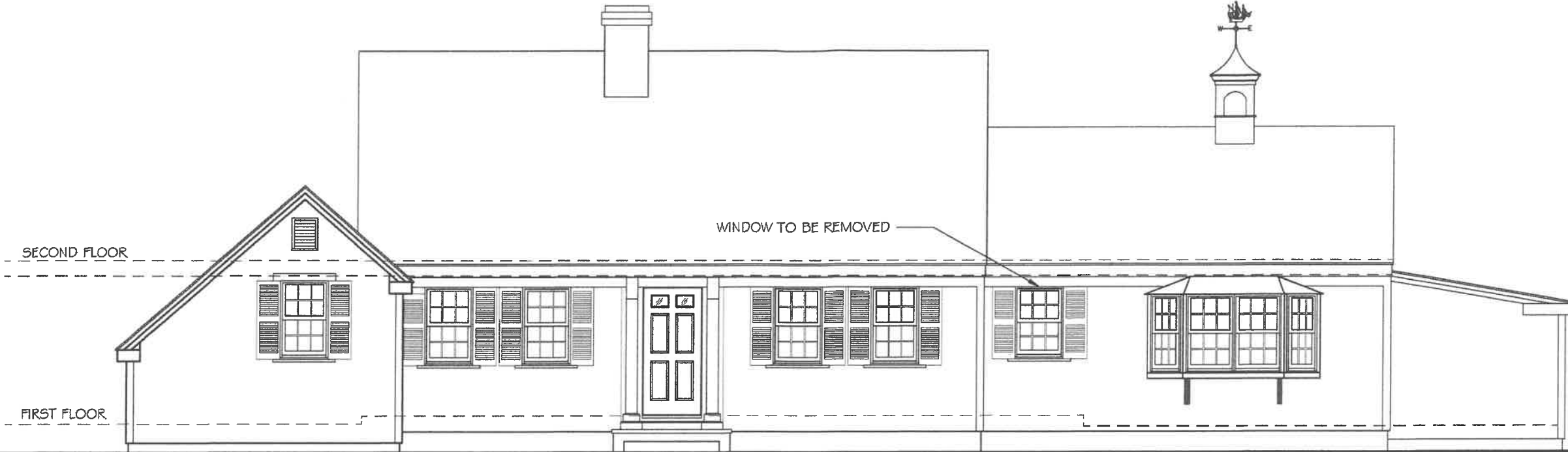
La Casa Studio
 PO Box 1106 - Harwich, MA 02645
 Phone: (508)-308-8614

Date: 07.20.2020

Existing Second Floor Plan

McCullough Residence
 3861 Main St., Barnstable, MA 02630

EX-3



EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"

La Casa Studio
PO Box 1106 - Harwich, MA 02645
Phone: (508)-308-8614

Date: 07.20.2020

Existing Elevations

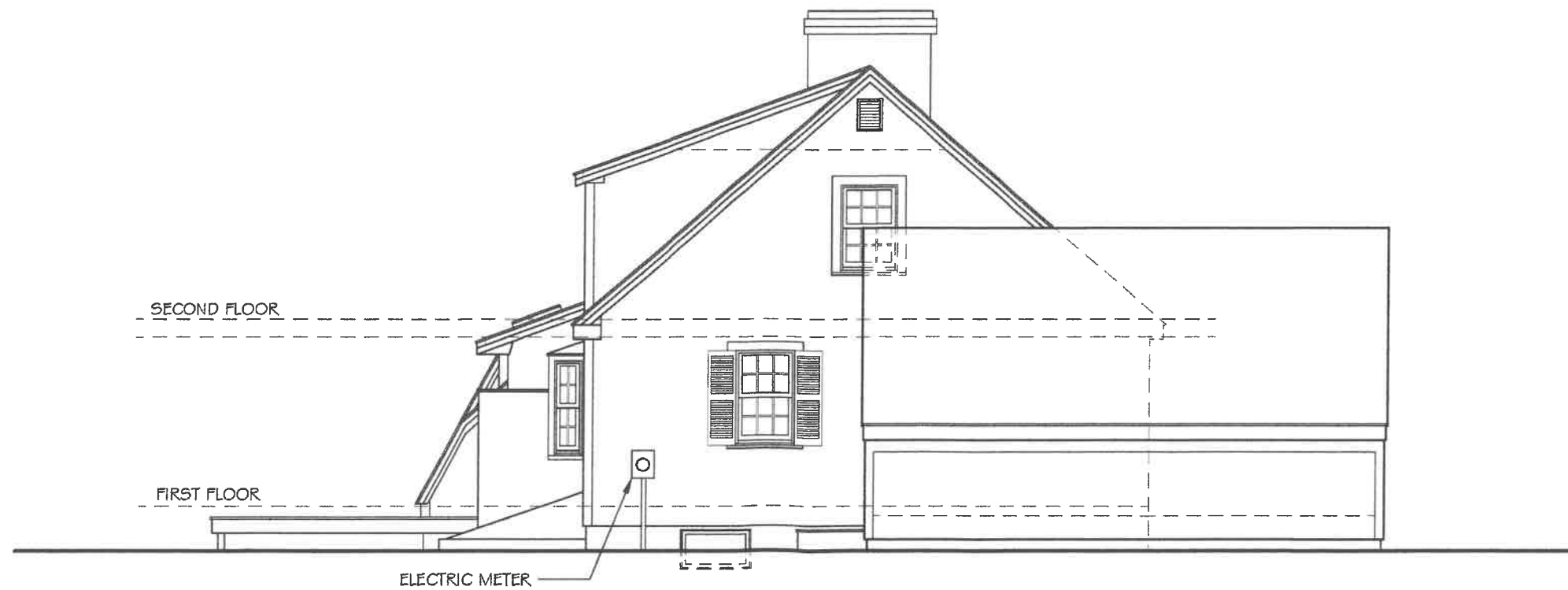
McCullough Residence
3861 Main St., Barnstable, MA 02630

EX-4



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"

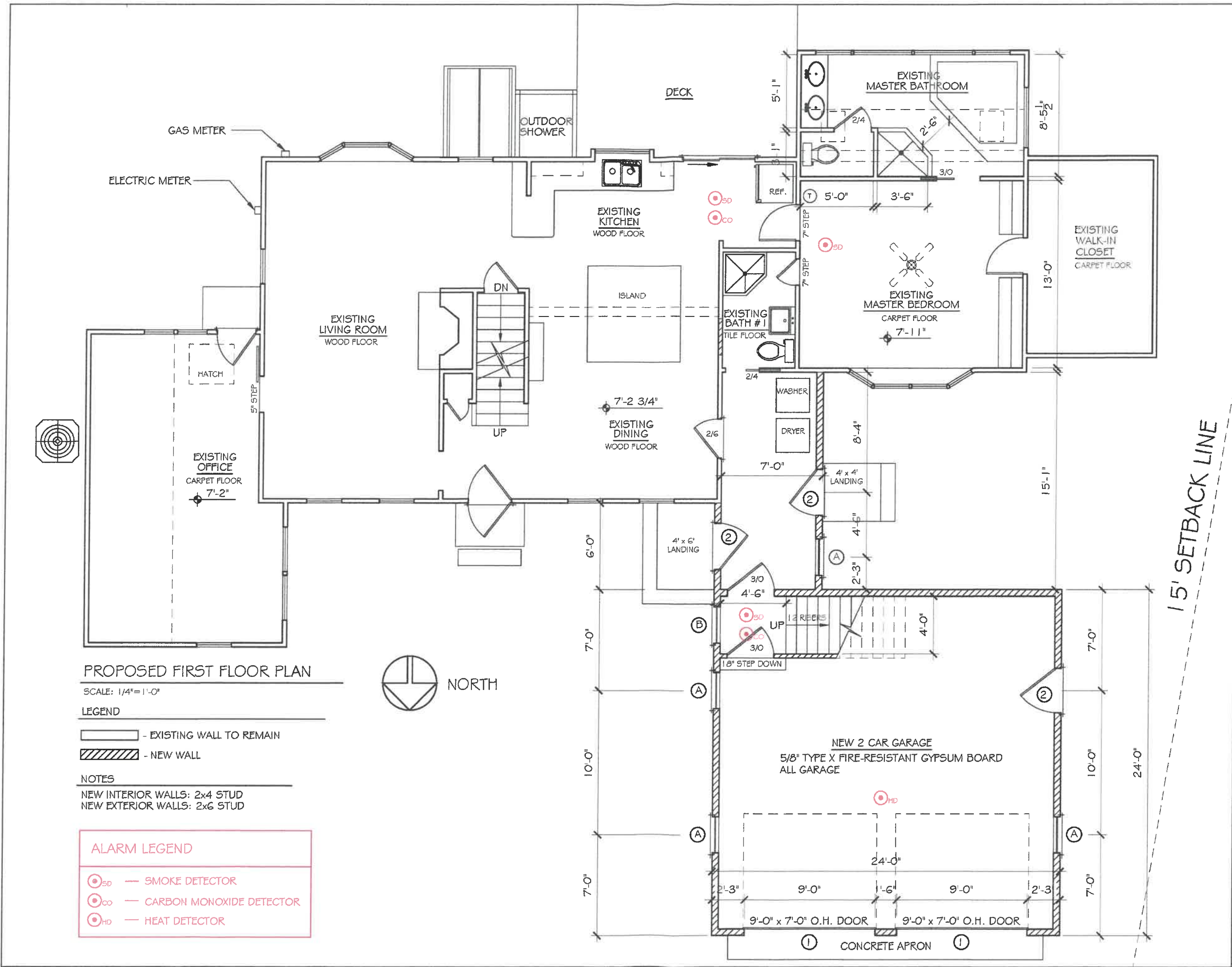
La Casa Studio
 PO Box 1106 - Harwich, MA 02645
 Phone: (508)-308-8614

Date: 07.20.2020

Existing Elevations

McCullough Residence
 3861 Main St., Barnstable, MA 02630

EX-5



La Casa Studio
 PO Box 1106 - Harwich, MA 02645
 Phone: (508)-308-8614

Date: 10.28.2020

Proposed First Floor Plan

McCullough Residence
 386 I Main St., Barnstable, MA 02630

A-2



NORTH


PROPOSED SECOND FLOOR PLAN

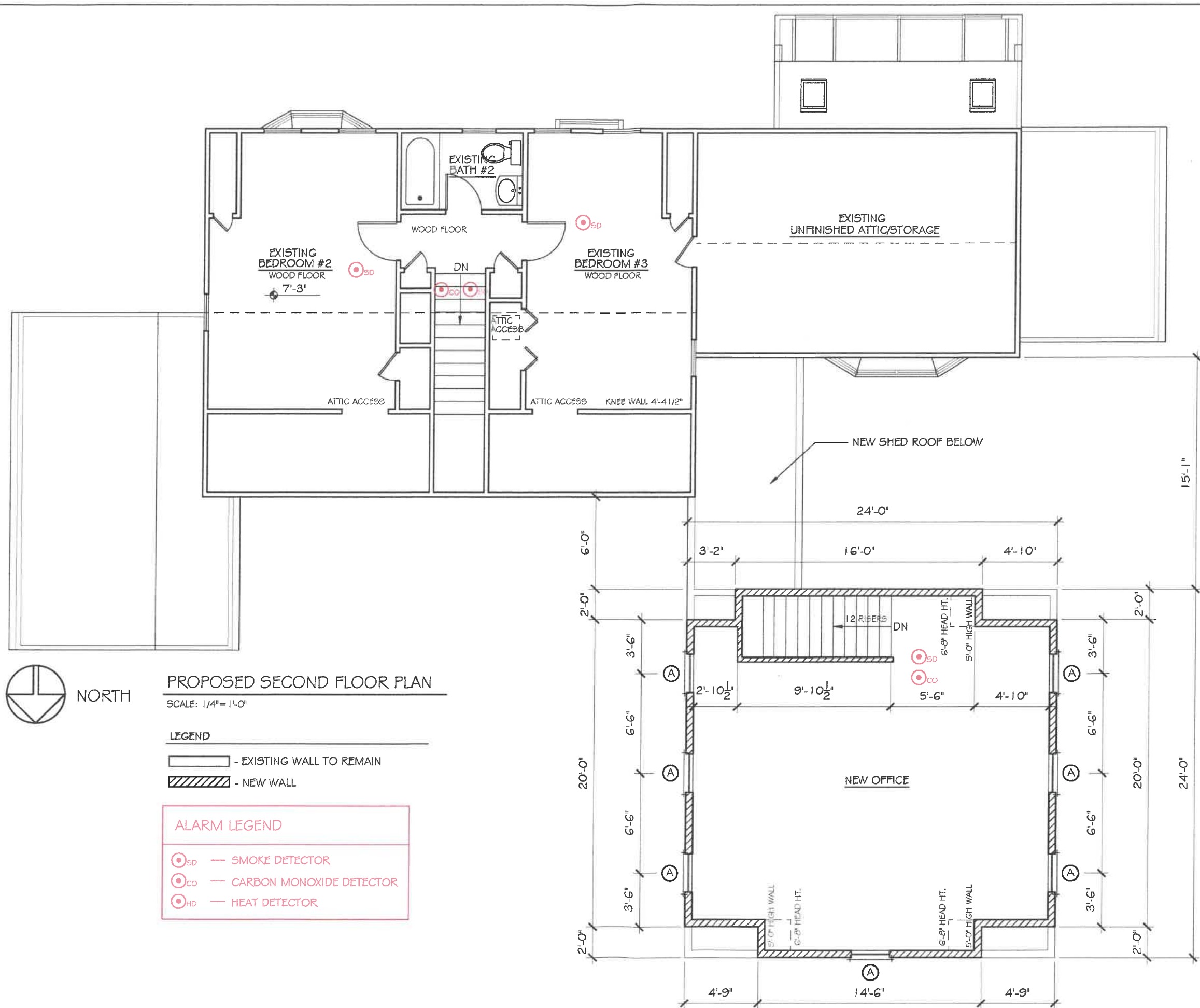
SCALE: 1/4" = 1'-0"

LEGEND

-  - EXISTING WALL TO REMAIN
-  - NEW WALL

ALARM LEGEND

-  — SMOKE DETECTOR
-  — CARBON MONOXIDE DETECTOR
-  — HEAT DETECTOR



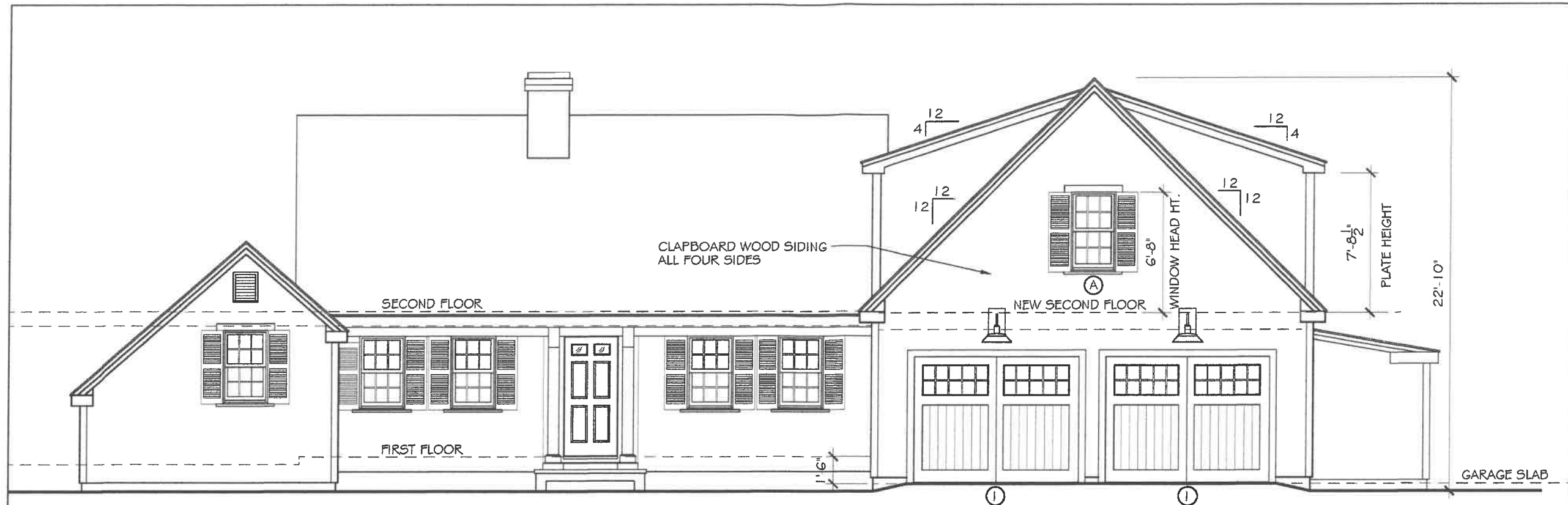
La Casa Studio
 PO Box 1106 - Harwich, MA 02645
 Phone: (508)-308-8614

Date: 10.28.2020

Proposed Second Floor Plan

McCullough Residence
 3861 Main St., Barnstable, MA 02630

A-3



PROPOSED NORTH ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4"=1'-0"

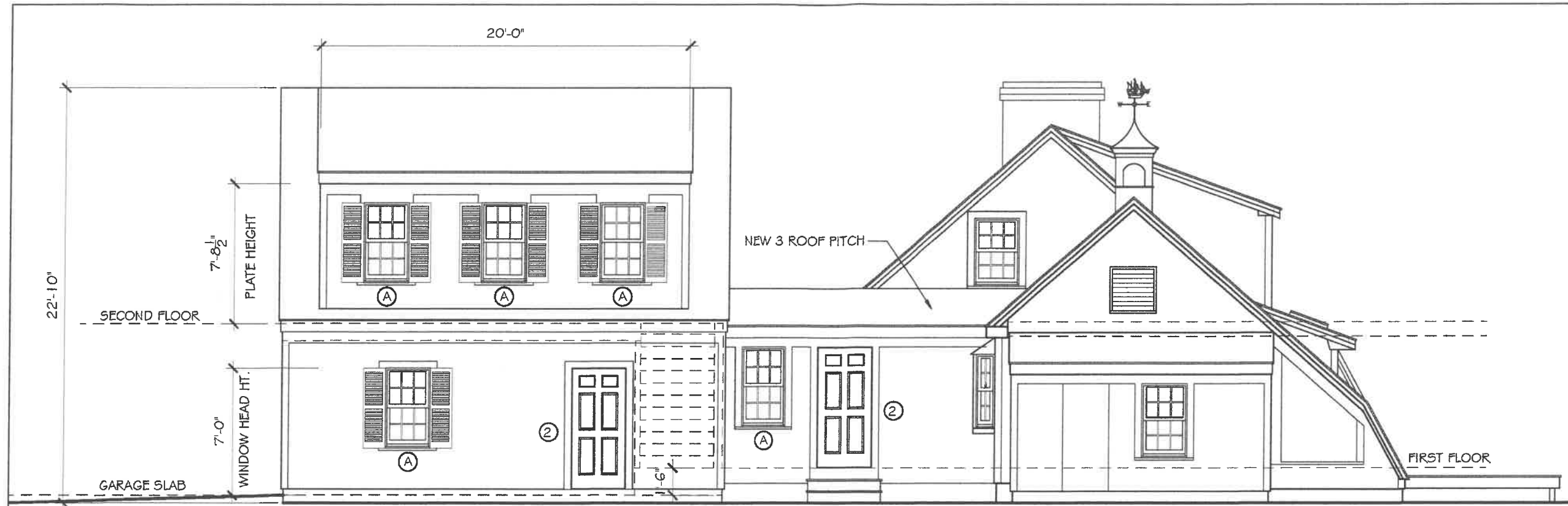
La Casa Studio
 PO Box 1106 - Harwich, MA 02645
 Phone: (508)-308-8614

Date: 10.28.2020

Proposed Elevations

McCullough Residence
 3861 Main St., Barnstable, MA 02630

A-4



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

La Casa Studio
 PO Box 1106 - Harwich, MA 02645
 Phone: (508)-308-8614

Date: 07.20.2020

Proposed Elevations

McCullough Residence
 3861 Main St., Barnstable, MA 02630

A-5

WINDOW SCHEDULE				
ID	MANUF.	UNIT	TYPE	ROUGH OPENING W x H
Ⓐ	ANDERSEN 400 SERIES	TW2442	TILT-WASH DOUBLE-HUNG	2'-6 1/8" x 4'-4 7/8"
Ⓑ	ANDERSEN 400 SERIES	A21	AWNING	2'-0 5/8" x 2'-0 5/8"
<p>NOTES: BUILDINGS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH AMENDMENTS. CLIMATE ZONE: 5A FENESTRATION REQUIREMENTS: WINDOW U-FACTOR ≤ 0.32 WINDOW SHGC: NO REQUIREMENT</p> <p>GLASS OPTION: HIGH-PERFORMANCE LOW-E4 WITH ARGON GRILLES: "FINELIGHT" BETWEEN THE GLASS WINDOW FINISH (INTERIOR): WHITE; JAMB LINERS: WHITE WINDOW FINISH (EXTERIOR): WHITE DOUBLE-HUNG TILT-WASH 400 SERIES HARDWARE: STANDARD: WHITE AWNING HARDWARE: TRADITIONAL FOLDING: WHITE FULL CONVENTIONAL INSECT SCREENS FOR ALL OPERABLE UNITS</p> <p>ANDERSEN ROUGH OPENING DIMENSIONS ARE THE MINIMUM AMOUNT OF SPACE NEEDED BETWEEN THE WINDOW OR PATIO DOOR AND THE BUILDING STRUCTURE. LEAVE AT LEAST 1/4" SPACE AROUND THE WINDOW FOR FOAM INSULATION.</p> <p>FOR GRILLE PATTERS AND VENTING CONFIGURATIONS SEE ELEVATIONS.</p>				

EXTERIOR DOOR SCHEDULE					
ID	MANUF.	UNIT	TYPE	UNIT SIZE W x H	ROUGH OPENING W x H
①			OVERHEAD GARAGE DOOR	9'-0" x 7'-0"	
②			FIBERGLASS EXTERIOR DOOR	3'-0" x 6'-8"	3'-2 1/2" x 6'-10 1/2"

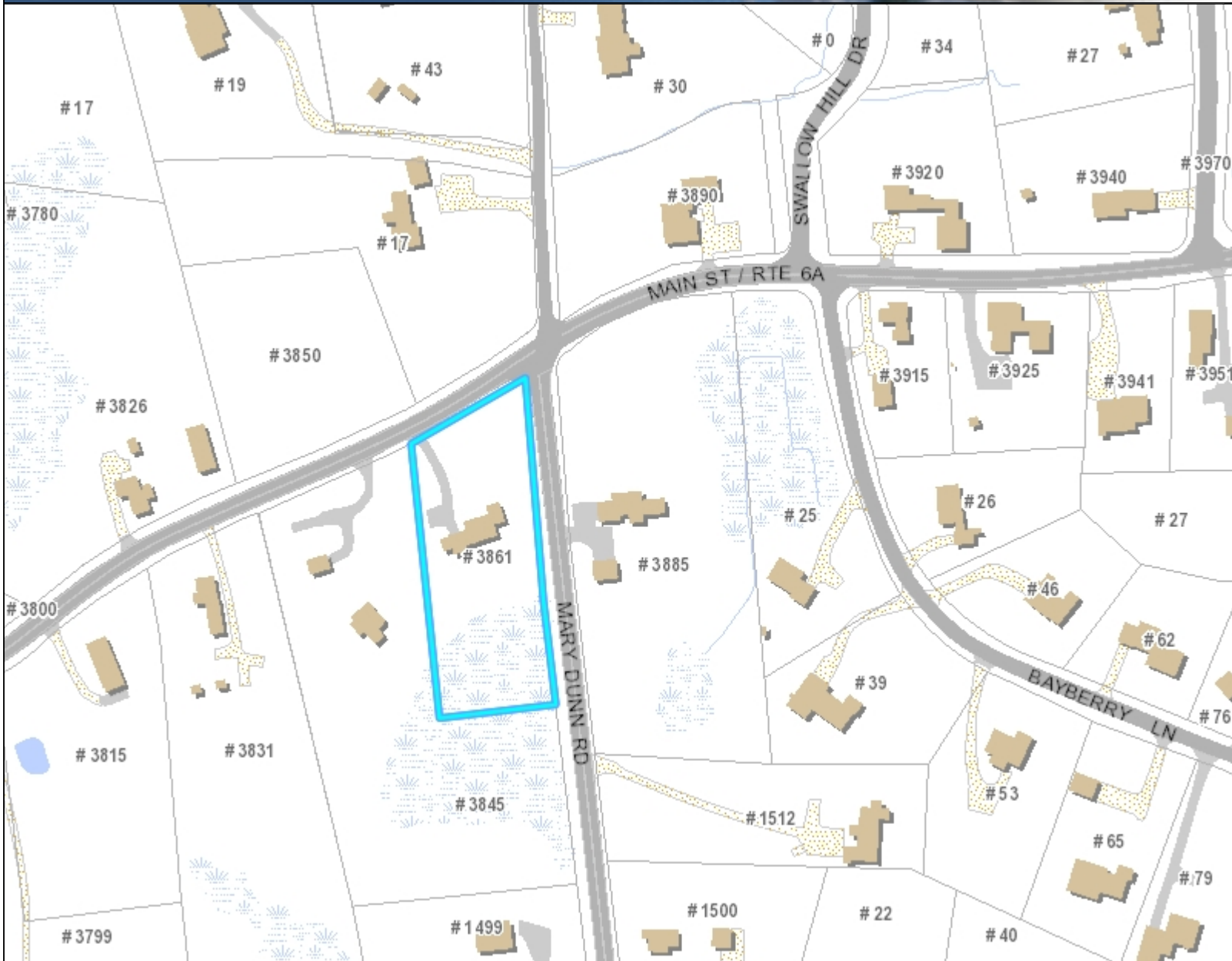
La Casa Studio
 PO Box 1106 - Harwich, MA 02645
 Phone: (508)-308-8614

Date: 10.28.2020

Window & Door Schedules

McCullough Residence
 3861 Main St., Barnstable, MA 02630

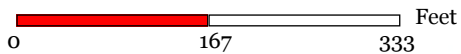
A-6



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 11/10/2020



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

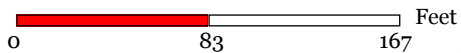
gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 11/10/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 335008002

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
335008001	BURROWS, JAMES A		P O BOX 322		CUMMAQUID	MA	02637
335008002	MCCULLOUGH, E TIMOTHY & LAURA G TRS	MCCULLOUGH FAMILY TRUST	4926 INDIAN DEER ROAD		WINDERMERE	FL	34786
335019	WEBB, GRANT & HOWITT, SARAH K		216 TRINITY PASS ROAD		POND RIDGE	NY	10576
335019001	ROCHE, DONALD P & LINDA L		186 PALOMINO DR		BARNSTABLE	MA	02630
335052	BROWNE, MICHAEL & MCSWEENEY MARY TRS	%KENNEDY, ROBERT E & CHRISTINA R MENDEZ-	3885 MAIN STREET		BARNSTABLE	MA	02630



Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

MINOR MODIFICATION TO PRIOR APPROVED PLAN

972 CMR Rules and Regulations, Section 1.03(2),
 1.03: General Procedures

(2.) (a.) Only minor changes may be approved by the Committee without the filing of a new application and a new hearing. Minor changes include alterations that can be done without a detrimental impact on the overall appearance of the project **such as altering a single window or door change or a minor change of colors.** All minor changes by amendment will require the local Committee's or its designee's approval.

Submit 2 copies of the application and supporting materials and documentation

10/3/20 Date JOHN & MARGREN HIGGINS Applicant (s), print name
Address of proposed work MAR 356 - PARCEL 006 Assessors Map and Parcel no.
50 House No. MERION WAY Street CUMMAQUID Village

Date of approved Certificate of Appropriateness _____

Proposed Minor Modification

CHANGE FRONT ROOF LINE TO
CONFORM WITH REMAINDER OF HOUSE
ALSO, ADD BANNER TO REAR - NOT VISIBLE
FROM FRONT

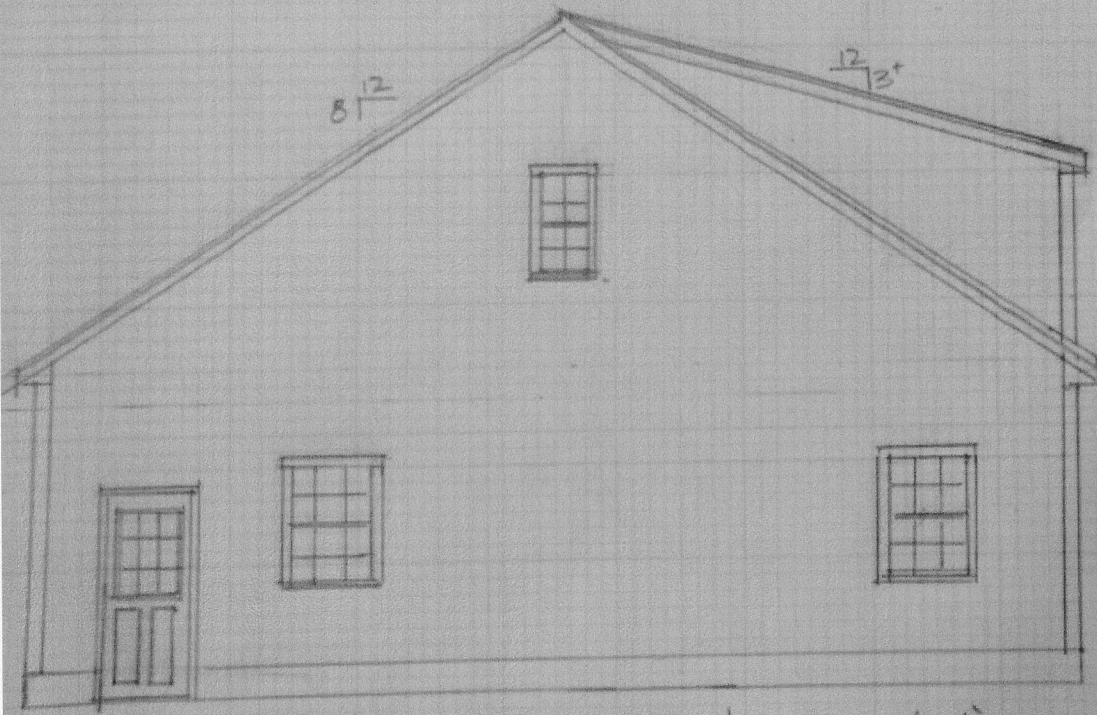
 Signature of applicant
 Applicant Phone 407 913-5060 Email jbheems@bellsouth.net

APPROVED / DENIED signed _____, **CHAIRMAN**
 _____ Date

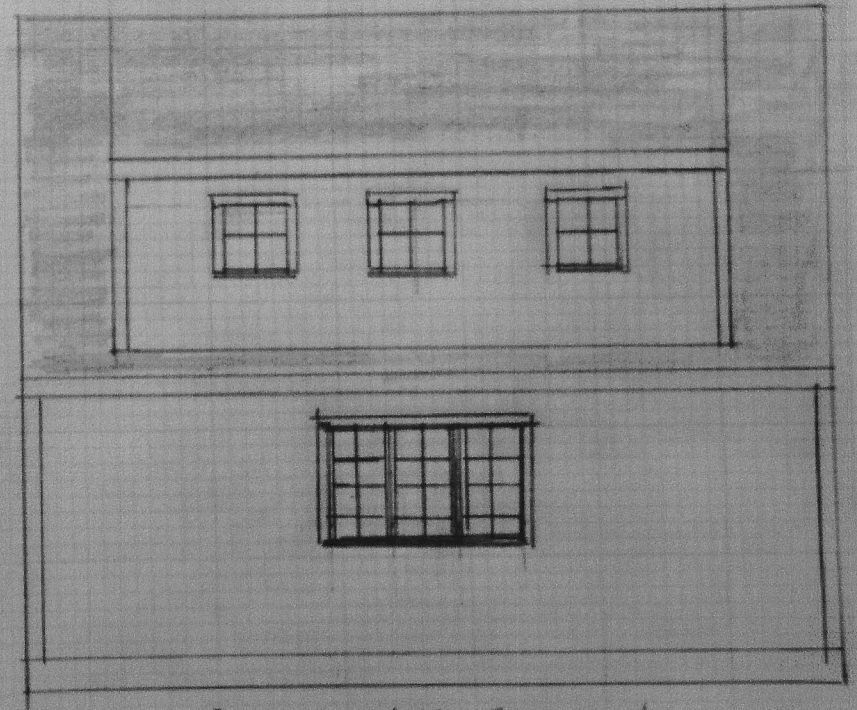
CC: BUILDING COMMISSIONER

HEARNS RESIDENCE REVISIONS

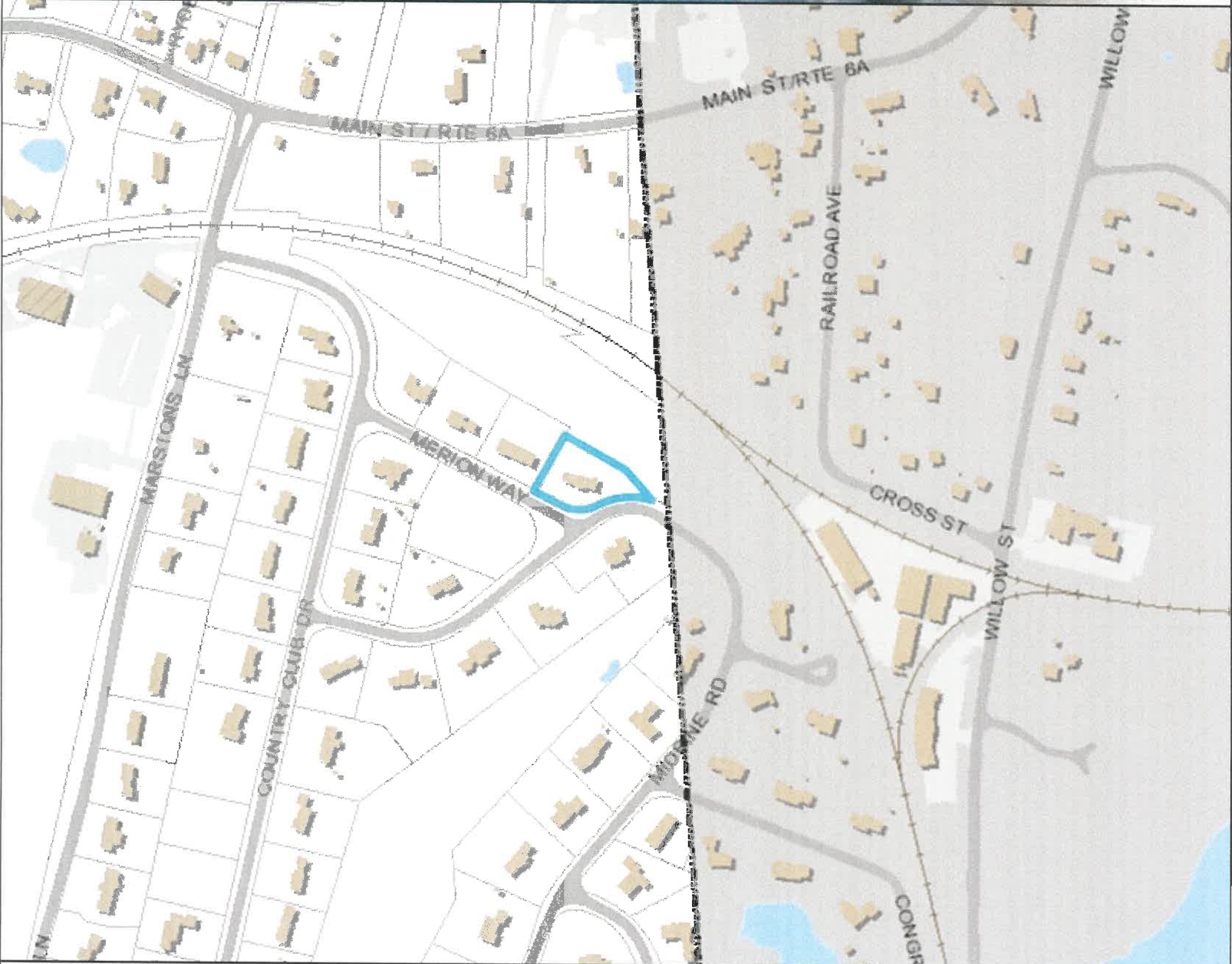
- PROPOSED REAR/SIDE ELEVATIONS
- REAR SHED DORMER 1/3 2ND ANN. WINDOWS
- NOTE GARAGE ENTRY DOOR MOVED TO SIDE + SHIFT WINDOW BACK
- GARAGE DOOR CENTERED ON FRONT & FAKE GABLE REMOVED FROM PLAN



R. SIDE GARAGE ELEVATION SCALE 1/4"=1'



REAR GARAGE ELEVATION



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings**
- Approx. Building
- Buildings
- Parking Lots**
- Paved
- Unpaved
- Roads**
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Water Bodies

Map printed on: 9/30/2019



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601
508-862-4624
gis@town.barnstable.ma.us

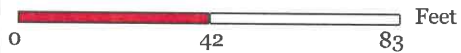


Legend

Road Names



Map printed on: 9/30/2019



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



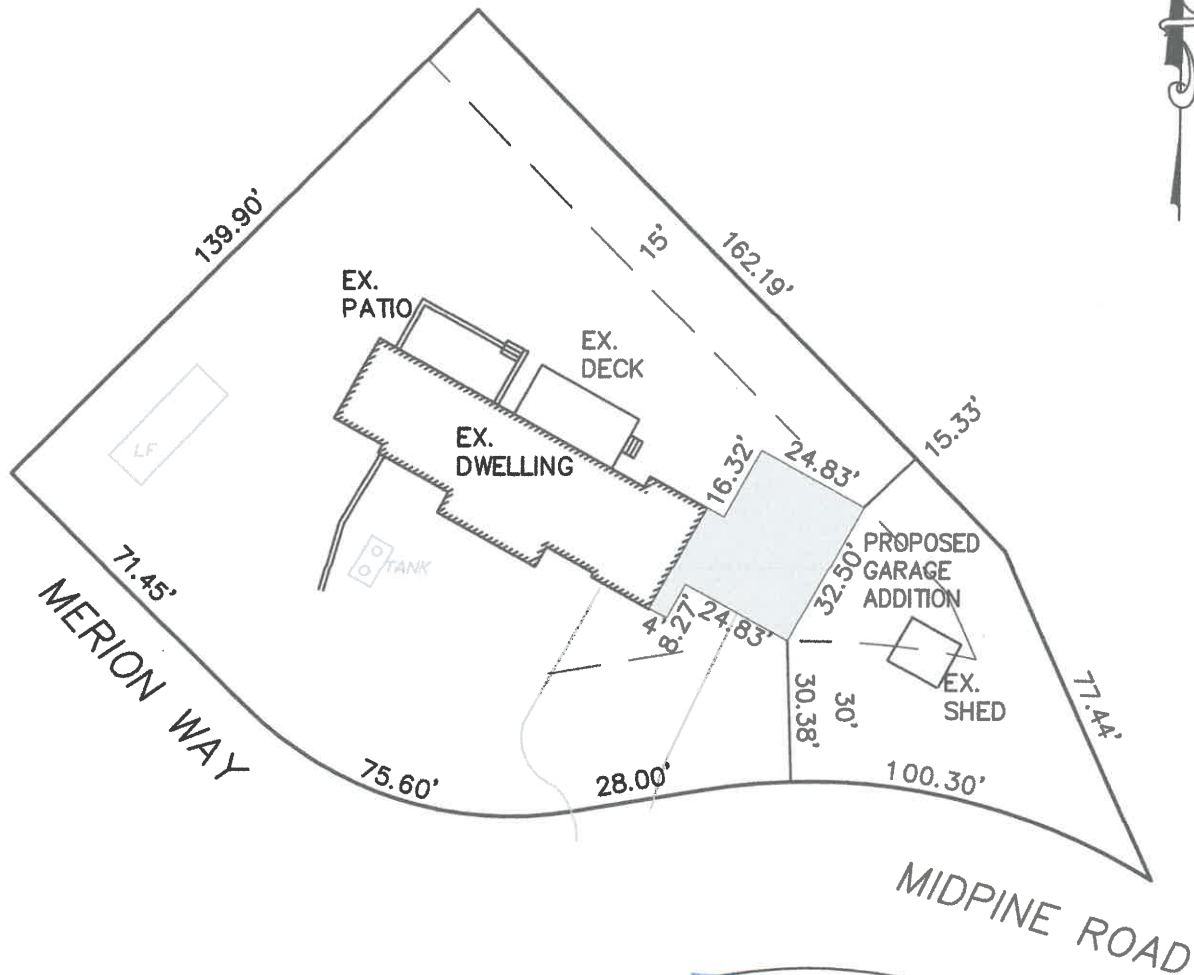
Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

OKH APPROVED ON 10/16/19

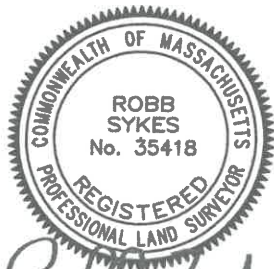


SEPTIC FROM ASBUILT
ON FILE AT THE TOWN
HEALTH DEPARTMENT
BUILDER TO CONFIRM



CERTIFIED PLOT PLAN

I CERTIFY THAT THE IMPROVEMENTS SHOWN
HAVE BEEN LOCATED BY A FIELD SURVEY.



MBLU 356-06
50 MERION WAY
BARNSTABLE, MA

DATE: 9-14-2019
SCALE: 1"=40'

DRAWN: RBS
JOB #: S612
DWG. CPP

Robb Sykes 9-14-19

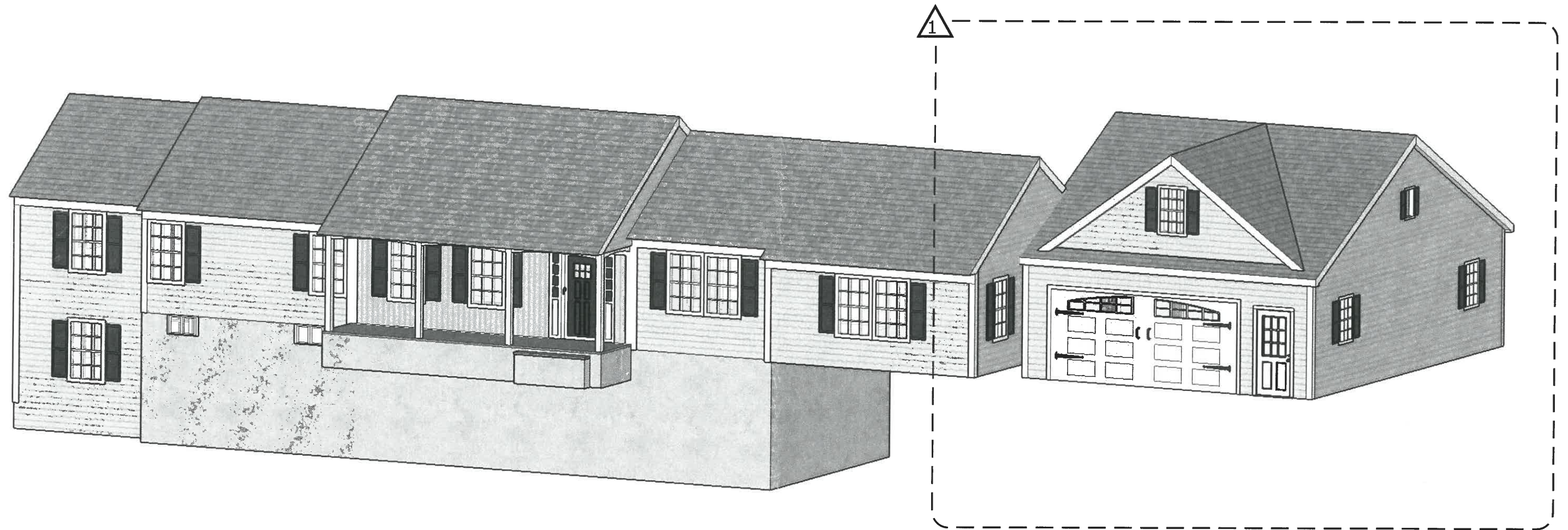
ROBB SYKES, P.L.S.

DATE

Robb Sykes

EASTBOUND
LAND SURVEYING, INC.
P.O. BOX 442
FORESTDALE, MA 02644
508-477-4511

1 NEW WORK



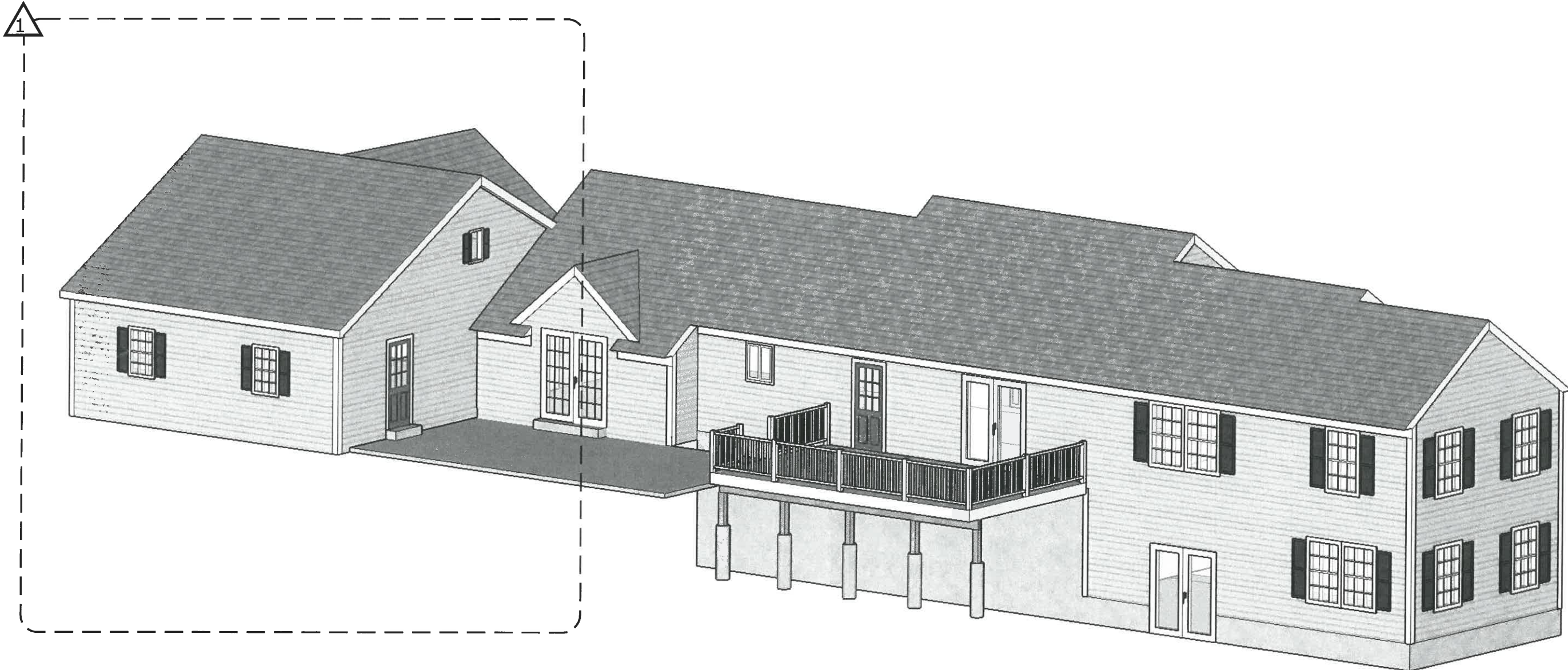
OKH APPROVED ON 10/16/19

RECEIVED
SEP 19 2019
PLANNING & DEVELOPMENT



Marisa Garrity
1621 Orleans Road
East Harwich, MA, 02645
508-945-0300
50 Merion Way
Barnstable, MA 02630

OKH APPROVED ON 10/16/19

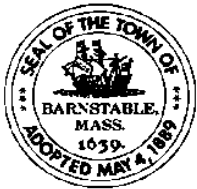


Patio View

1/8"=1'-0"

Marisa Garrity





Town of Barnstable
 Planning & Development Department
Old King's Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Phone 508.862.4787

www.townofbarnstable.us/planninganddevelopment



Committee Members

Paul Richard, Chair Carrie Bearse, Clerk George Jessop, AIA
 Lesley Wallace Bett McCarthy Jeff Goldstein, Alternate

Town Council Liaison: Gordon Starr

Administrative Assistant: Erin K. Logan

2021

HEARING DATE, <i>Wednesday</i>	SUBMISSION DEADLINE, <i>Wednesday</i>
January 13 th	<i>December 30th, 2020</i>
January 27 th	January 6 th
February 10 th	January 20 th
February 24 th	February 3 rd
March 10 th	February 17 th
March 24 th	March 3 rd
April 14 th	March 24 th
April 28 th	April 7 th
May 12 th	April 21 st
May 26 th	May 5 th
June 9 th	May 19 th
June 23 rd	June 2 nd
July 14 th	June 23 rd
July 28 th	July 7 th
August 11 th	July 21 st
August 25 th	August 4 th
September 8 th	August 18 th
September 22 nd	September 1 st
October 13 th	September 22 nd
October 27 th	October 6 th
November	October 27 th
December	November 24 th

All hearings begin at 6:30pm and will be held via Zoom Meetings until further notice

Certificates of Exemption are reviewed every Tuesday; deadline to submit is every Monday.

[Old King's Highway Historic District Committee Webpage](#)

[Guide – How to Submit an Application](#)

Planning & Development Department – Elizabeth Jenkins, Director

BARNSTABLE OLD KING'S HIGHWAY

Certificate of Exemption Summary

Date Submitted: 10/27, 11/3, & 11/10

ADDRESS	PROJECT	NOTES
1106 Main Street	Shed	Not visible
2875 Main Street	Shed	Not visible
101 Rue Michelle	Fenestration & railing	Not visible
805 Cedar Street	Solar	Not visible
1540 Main Street	Trail Kiosk	Not visible
1700 Main Street	Pool & Fence	Not visible
30 Ryder Lane	Window & Door change	Not visible
75 Boulder Road	Addition	Not visible