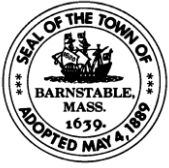


# OLD KINGS HIGHWAY – SEPTEMBER 9<sup>TH</sup> MEETING MATERIALS

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## Town of Barnstable

# Old King's Highway Historic District Committee

[www.town.barnstable.ma.us/OldKingsHighway](http://www.town.barnstable.ma.us/OldKingsHighway)

### AGENDA

**Wednesday, September 9, 2020, 6:30pm**

The Old King's Highway Historic District Committee will be held by remote participation methods as a result of the COVID-19 state of emergency in the Commonwealth of Massachusetts.

Alternative public access to this meeting shall be provided in the following manner:

1. Real-time access to the Old King's Highway Historic District meeting is available utilizing the Zoom link or telephone number and Meeting ID provided below. Public comment can be addressed to the Old King's Highway Historic District Committee by utilizing the Zoom link or telephone number and Meeting ID provided below:

**Link: Join Zoom Meeting <https://zoom.us/j/93752435355>**

**Phone: 1- 888-475-4499 and entering Meeting ID: 93752435355**

2. Following the meeting, a recording will be televised via Channel 18 and may be viewed via the Channel 18 website at <http://streaming85.townofbarnstable.us/CablecastPublicSite/>

3. Applicants, their representatives and individuals required or entitled to appear before the Old King's Highway Historic District Committee may appear remotely and are not permitted to be physically present at the meeting, and may participate through accessing the link or telephone number provided above. Documentary exhibits and/or visual presentations should be submitted in advance of the meeting to [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us) so that they may be displayed for remote public access viewing.

**Plans and applications may be reviewed by calling Erin Logan at 508.862.4787 or by emailing [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)**

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To all persons deemed interested or affected by the Town of Barnstable's Old King's Highway Historic District Act under Section 9 of Chapter 470, Acts of 1973 as amended. You are hereby notified that a hearing will be held on the following applications:

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#### **CONTINUED APPLICATIONS**

**McTague, Mary Ellen, 150 Country Club Drive, Barnstable, Map 350, Parcel 046/000, built 1972**

Install vinyl siding on the front elevation; color – sterling grey, replace trim and gutters

---

#### **APPLICATIONS**

**Mckenzie Betty, Keith & Margaret, 3280 Main Street, Barnstable, Map 299, Parcel 035/000, Heman Forster House, Hezekiah Doane House, built prior to 1834, contributing structure in the Old King's Highway Historic District**

Construct two-story addition including 2-car garage to the side/rear of the east elevation

---

**Thayer, Larry & Beth, 71 Doral Road, Cummaquid, Map 349, Parcel 033/000, built 1986**

Construct 12'X18' & 6'X14' porch to the side and rear (southwest) of the main structure

---

**Richard, Paul, 4022 Main Street, Cummaquid, Map 336, Parcel 044/000, Allen Howes House, built prior to 1844, Contributing structure in the Old King's Highway Historic District**

Replace four windows and exterior door on the barn; replace sign on lamppost at front of main structure

---

**Jason, Regan, 50 Plum Street, West Barnstable, Map 195, Parcel 025/000, built 1995**

Construct a 26'X36' detached garage structure including stone driveway

---

**Hearns, John & Maureen, 50 Merion Way, Cummaquid, Map 356, Parcel 06/000, built 1975**

Install pool in the rear with 4' black aluminum fencing; construct 10'X14' Shed on slab, with Everlast clapboard in Seaside grey and pre-dipped cedar shingles in Cape Cod grey

---

### **CERTIFICATE OF EXEMPTION**

**McKenna, Stacy & Andrew, 52 Maple Street, West Barnstable, Map 132, Parcel 021/003, built 1994**

Construct 16'X34' in-ground swimming pool including pool decks; install 4' black aluminum fencing

---

**Barber, Margaret & Mark, 17 Holway Drive, West Barnstable, Map 136, Parcel 040/000, built 1986**

Install 25 Solaria Power XT-370, all black solar panels on the rear elevation

---

**Burrage, Ryan, 675 Oak Street, West Barnstable, Map 215, Parcel 034/003, built 1982**

Replace doors, windows, trim, and siding. Change siding to cement clapboard (Evening blue); exterior trim to be Azek; windows to match existing

---

**Lyons, Kevin, 77 Bursley Path, West Barnstable, Map 110, Parcel 025/002, built 1997**

Increase rear deck to 12'X20' constructed of trex composite

---

**Prothero, Stephen, 28 Elmer's Way, West Barnstable, Map 195, Parcel 028/042, built 1985**

Remove and replace existing deck and sunroom; replacement deck and sunroom will be slightly larger than existing

---

**Manfredi, Richard, 109 Cove Lane, Cummaquid, Map 351, Parcel 006, built 1975**

Install storage shed; will not be visible

---

**Harris, Robert, 32 Old Toll Road, West Barnstable, Map 109, Parcel 066, built 1985**

Remove existing 12'X8' shed and replace with 12'X10' shed in the same location; grey clapboards; grey 3-tab roof shingles, black shutters, 3 sides board and batten

---

**Leclerc, David & Pamela, 3920 Main Street, Cummaquid, Map 335, Parcel 057, Captain Joseph Smith House, built 1820, contributing structure in the Old King's Highway Historic District**

Install a 12'X16' shed constructed of natural wood shingles, white trim, asphalt roof to match house; cement block foundation

---

**Welton, Anne, 2440 Main Street, Barnstable, Map 257, Parcel 001, Leander W. Jones House, built c.1858, contributing structure in the Old King's Highway Historic District**

Install approximately 10 linear feet of 36" high, split-rail fence along 6A; install approximately 90 linear feet of 36" high, split rail fence from south western most corner of the lot, along the western lot line

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**OTHER**

Matters not reasonably anticipated by Chair

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**APPROVAL OF MINUTES**

April 22, 2020

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**NEXT MEETING DATES**

September 23, 2020 &amp; October 14, 2020

Please Note: The list of matters, are those reasonably anticipated by the chair, which may be discussed at the meeting. Not all items listed may be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. It is possible that if it so votes, the Committee may go into executive session. The Committee may also act on items in an order other than they appear on this agenda. \* Public files are available for viewing during normal business hours at the Old King's Highway Historic District office located at 200 Main Street, Hyannis, MA



# Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

## APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

*Check all categories that apply;*

- 1. Building construction:  New  Addition  Alteration
- 2. Type of Building:  House  Garage/barn  Shed  Commercial  Other
- 3. Exterior Painting, roof:  new roof  color/material change, of trim, siding, window, door *(current pale yellow)*
- 4. Sign:  New Sign  Existing Sign  Repainting Existing Sign
- 5. Structure:  Fence  Wall  Flagpole  Retaining wall  Tennis court  Other
- 6. Pool:  Swimming  Other man-made pool  Solar panels  Other

Type or Print Legibly: \_\_\_\_\_ Date 6/30/20

*NOTE: All applications must be signed by the current owner*

Owner (print): Mary Ellen McTague Telephone #: 508-362-9317  
 Address of Proposed Work: 150 County Club Dr. Village BARNSTABLE Map Lot # \_\_\_\_\_  
 Mailing Address (if different) same

Owner's Signature: MEM  
 Description of Proposed Work: Give particulars of work to be done: Vinyl Siding in front, "MAIN ST" CERTAINTIFIED  
"STERLING- Grey" PVC window  
trim + gutters

Agent or Contractor (print): Roofing and Siding of Cape Cod Telephone #: 508-360-2749  
 Address: 68 Winslow Gray Rd. W. Yarmouth Email: RSOCC.ma@gmail.com  
 Contractor/Agent's signature: [Signature] 02672

<p><small>For committee use only</small></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p><b>This Certificate is hereby APPROVED / DENIED</b></p>
---	--

**CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies**

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) \_\_\_\_\_

Siding Type: Clapboard  shingle \_\_\_\_\_ other \_\_\_\_\_  
Material: red cedar \_\_\_\_\_ white cedar \_\_\_\_\_ other 4" Vinyl / CERTAINTEED Color: STERLING GREY

✓ APPROPRIATE  
WOOD GRAIN

Chimney Material: \_\_\_\_\_ Color: \_\_\_\_\_

Roof Material: (make & style) \_\_\_\_\_ Color: \_\_\_\_\_

Roof Pitch(s): (7/12 minimum) \_\_\_\_\_ (specify on plans for new buildings, major additions)

Window and door trim material: wood \_\_\_\_\_ other material, specify PVC white (Trim)

Size of cornerboards \_\_\_\_\_ size of casings (1 X 4 min.) \_\_\_\_\_ color \_\_\_\_\_

Rakes 1st member \_\_\_\_\_ 2nd member \_\_\_\_\_ Depth of overhang \_\_\_\_\_

Window: (make/model) \_\_\_\_\_ material \_\_\_\_\_ color \_\_\_\_\_  
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):  
true divided lights \_\_\_ exterior glued grills \_\_\_ grills between glass \_\_\_ removable interior \_\_\_ None \_\_\_

Door style and make: \_\_\_\_\_ material \_\_\_\_\_ Color: \_\_\_\_\_

Garage Door, Style \_\_\_\_\_ Size of opening \_\_\_\_\_ Material \_\_\_\_\_ Color \_\_\_\_\_

Shutter Type/Style/Material: \_\_\_\_\_ Color: \_\_\_\_\_

Gutter Type/Material: \_\_\_\_\_ Color: \_\_\_\_\_

Deck material: wood \_\_\_\_\_ other material, specify \_\_\_\_\_ Color: \_\_\_\_\_

Skylight, type/make/model/: \_\_\_\_\_ material \_\_\_\_\_ Color: \_\_\_\_\_ Size: \_\_\_\_\_

Sign size: \_\_\_\_\_ Type/Materials: \_\_\_\_\_ Color: \_\_\_\_\_

Fence Type (max 6' ) Style \_\_\_\_\_ material: \_\_\_\_\_ Color: \_\_\_\_\_

Retaining wall: Material: \_\_\_\_\_

Lighting, freestanding \_\_\_\_\_ on building \_\_\_\_\_ illuminating sign \_\_\_\_\_

OTHER INFORMATION: \_\_\_\_\_

**THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED**

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name Milly Loblekovich

# ***EXISTING CONDITIONS***

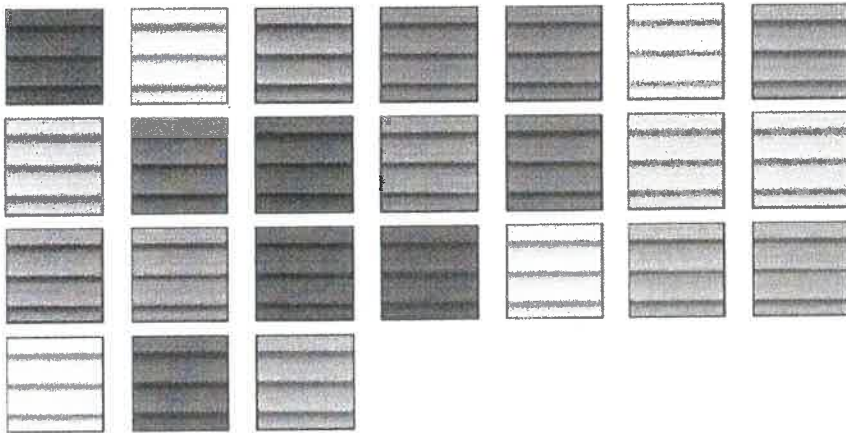




STERLING GRAY







## MAINSTREET™

[OVERVIEW](#)

[TECHNICAL INFO](#)

[INS](#)

### Design Flexibility to Meet Any Budget

MainStreet™ offers consistent quality, good looks and is the ideal choice for homeowners looking for value with the benefits of a premium panel.

#### Available in seven classic styles:

- Triple 3" Brushed Clapboard
- Double 4" Woodgrain Clapboard
- Double 5" Woodgrain Clapboard
- Double 4" Woodgrain Double Lap



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Double 5" Woodgrain Dutchlap  
Single 6 1/2" Brushed Beaded  
Single 8" Woodgrain Clapboard\*

#### MainStreet Offers:

- Natural woodgrain or brushed appearance
- Patented STUDfinder™ is designed for accurate and secure installation
- RigidForm™ 160 technology has been tested\* to withstand wind load pressures up to 160 mph
- DuraLock™ post-formed lock design 9/16" panel projection
- .042" thickness
- Virtually maintenance free, never needs painting
- Class 1(A) fire rating
- Lifetime limited warranty

NOTE:  
STERLING

i.e. ↓  
"Light grey"  
Gray / "Light grey"  
color chosen

\*Single 8" Woodgrain Clapboard only available in Colonial White

#### PRODUCT OVERVIEW

- [MainStreet™ Brochure](#)
- [Style & Color Chart](#)
- [Siding Selection Brochure](#)
- [Finishing Touches Brochure](#)
- ([More Info](#))

#### TECHNICAL SPECS

- [MainStreet Specifications](#)
- [3-Part Spec Sheet - PDF](#)
- [ICC Evaluation Report - ESR1066](#)
- [SDS - CertainTeed and Vytex Vinyl Siding](#)
- ([More Info](#))

#### INSTALLATION

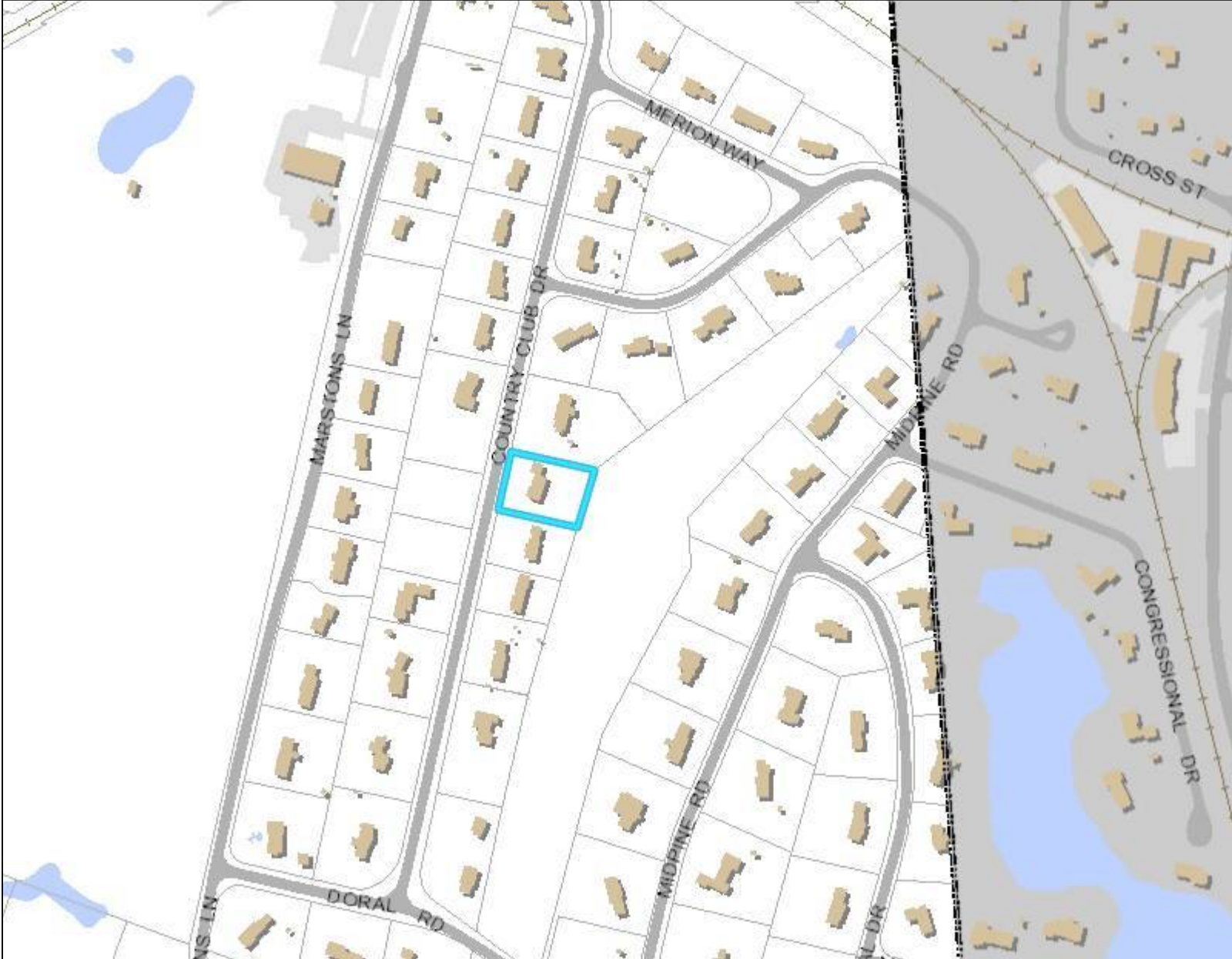
- [Vinyl Siding and Polymer Shakes Installation Manual](#)
- ([More Info](#))

#### WARRANTY

- [Vinyl Siding Warranty](#)
- ([More Info](#))

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**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Parking Lots
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - Bridge
  - Paved Median
- Water Bodies

Map printed on: 7/31/2020



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



**Town of Barnstable GIS Unit**

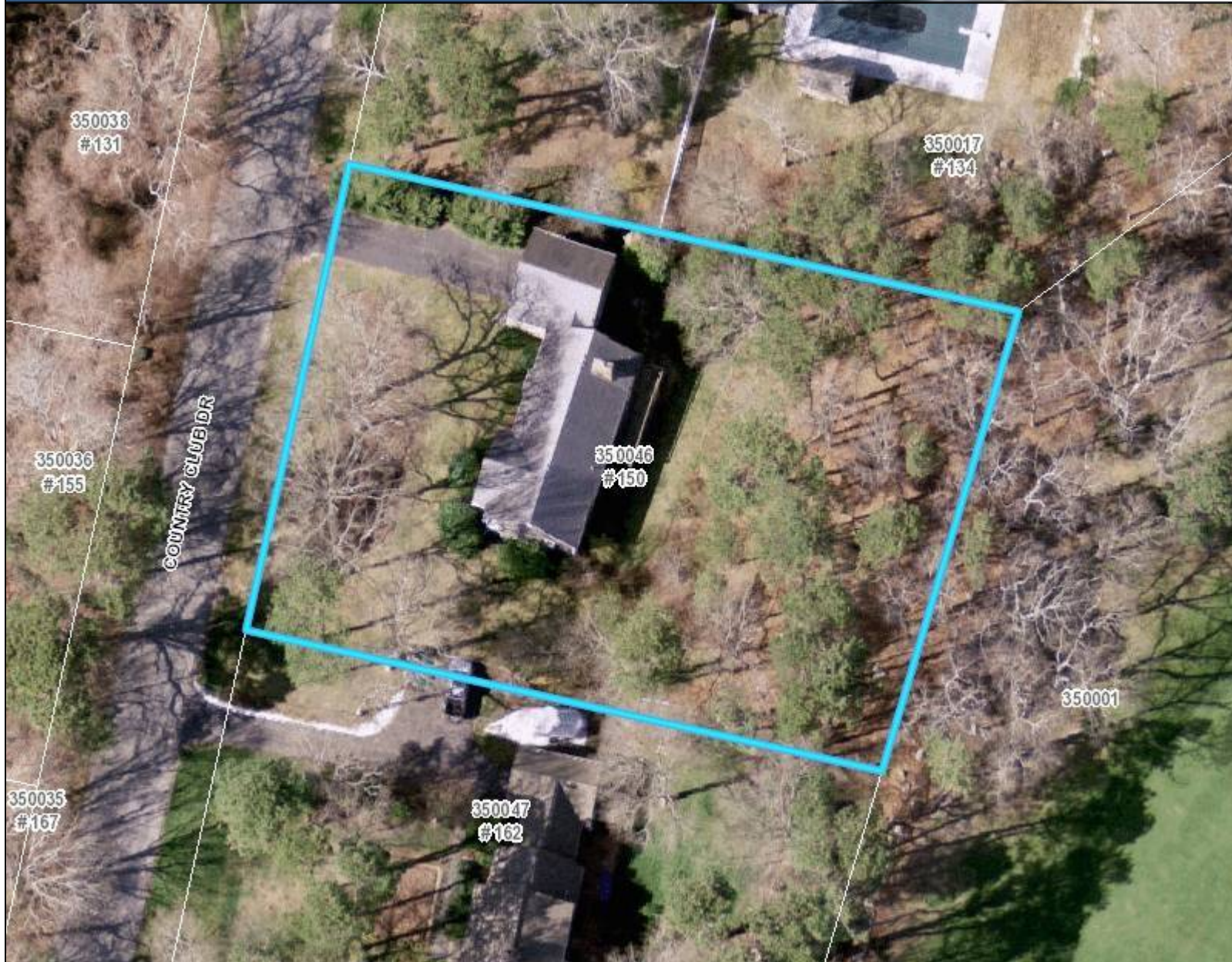
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

## Legend

Road Names



Map printed on: 7/31/2020



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

August 31, 2020

To: the Old King's Highway Historic District Committee

RE: my request to have vinyl siding replace current (deteriorating) wooden clapboards

Thank you for allowing me to present my request to replace the current (original) wooden clapboards on my house – located at 150 Country Club Drive in Cummaquid Heights – with vinyl siding.

I understand that vinyl “*tends*” (key word) not to be accepted; that is why I am sending the attached file to Erin Logan, as presently, there are *at least* five homes in Cummaquid Heights with vinyl exteriors (see pictures and also downloads from Town of Barnstable Property look-ups):

- 443 Marstons Lane
- 516 Marstons Lane
- 9 Wingfoot Drive
- 103 Wingfoot Drive
- 60 Oakmont Road

I look forward to presenting my request and to discussing this issue with you on September 9.

Thank you.

Mary Ellen McTague

**443 Marstons Lane**



## Owner Information

**Map/Block/Lot:** 348 / 033/

**Property Address**

443 MARSTONS LANE

**Village:** Barnstable

**Town Sewer At Address:** No

**GIS Zoning Value:** RF-1

**Owner Name as of 1/1/19:**

KOTOMSKI, EDNA E TR

194 OLD MAIN ROAD

EDNA E KOTOMSKI REVOCABLE TRUST  
NORTH FALMOUTH, MA. 02556

Co-Owner Name

## Construction Details

Building		Details		Land	
<b>Building value</b>	\$ 296,100	<b>Bedrooms</b>	3 Bedrooms	<b>USE CODE</b>	1010
<b>Replacement Cost</b>	\$365,508	<b>Bathrooms</b>	2 Full-1 Half	<b>Lot Size (Acres)</b>	1.25
<b>Model</b>	Residential	<b>Total Rooms</b>	7 Rooms	<b>Appraised Value</b>	\$ 156,900
<b>Style</b>	Ranch	<b>Heat Fuel</b>	Gas	<b>Assessed Value</b>	\$ 156,900
<b>Grade</b>	Average Plus	<b>Heat Type</b>	Hot Water		
<b>Year Built</b>	1985	<b>AC Type</b>	None		
<b>Effective depreciation</b>	19	<b>Interior Floors</b>	CarpetHardwood		
<b>Stories</b>	1 Story	<b>Interior Walls</b>	Drywall		
<b>Living Area sq/ft</b>	2,272	<b>Exterior Walls</b>	<i>Vinyl Siding</i>		
<b>Gross Area sq/ft</b>	5,292	<b>Roof Structure</b>	Gable/Hip		
		<b>Roof Cover</b>	Asph/F Gls/Cmp		

• 516 Marstons Lane





- **Map/Block/Lot:** 348 / 028/  
**Property Address**  
516 MARSTONS LANE  
**Village:** Barnstable  
**Town Sewer At Address:** No  
**GIS Zoning Value:** RF-1
- **Owner Name as of 1/1/19:**  
REYNOLDS, DONALD T JR & DEBORAH S  
516 MARSTONS LANE

CUMMAQUID, MA. 02637

**Co-Owner Name**

- 
- 
- **Construction Details**
- 

Building		Details		Land	
<b>Building value</b>	\$ 279,000	<b>Bedrooms</b>	3 Bedrooms	<b>USE CODE</b>	1010
<b>Replacement Cost</b>	\$316,999	<b>Bathrooms</b>	3 Full-1 Half	<b>Lot Size (Acres)</b>	1.01
<b>Model</b>	Residential	<b>Total Rooms</b>	6 Rooms	<b>Appraised Value</b>	\$ 152,100
<b>Style</b>	Cape Cod	<b>Heat Fuel</b>	Gas	<b>Assessed Value</b>	\$ 152,100
<b>Grade</b>	Average Plus	<b>Heat Type</b>	Hot Air		
<b>Year Built</b>	1998	<b>AC Type</b>	Central		
<b>Effective depreciation</b>	12	<b>Interior Floors</b>	HardwoodCarpet		
<b>Stories</b>	1 3/4 Stories	<b>Interior Walls</b>	Drywall		
<b>Living Area sq/ft</b>	1,789	<b>Exterior Walls</b>	<b>Vinyl Siding</b>		
<b>Gross Area sq/ft</b>	4,535	<b>Roof Structure</b>	Gable/Hip		
		<b>Roof Cover</b>	Asph/F Gls/Cmp		

## 60 Oakmont Road\*



\*Please note that 60 Oakmont Road, *which is clearly visible to passing traffic*, is on *the main route* for traffic cutting through Cummaquid Heights to get from Route 6A to Mary Dunn Road and Independence Park. Traffic would take Marstons Lane to Oakmont Road to Althea Drive to Mary Dunn Road and then to Independence Park.

## Owner Information

Map/Block/Lot: 349 / 054/

### Property Address

60 OAKMONT ROAD

Village: Barnstable

Town Sewer At Address: No

GIS Zoning Value: RF-1

### Owner Name as of 1/1/19:

LARocca, ANNETTE L

60 OAKMONT ROAD

CUMMAQUID, MA. 02637

### Co-Owner Name

## Construction Details

Building		Details		Land	
Building value	\$ 319,600	Bedrooms	3 Bedrooms	USE CODE	1010
Replacement Cost	\$367,398	Bathrooms	2 Full-1 Half	Lot Size (Acres)	1.02
Model	Residential	Total Rooms	5 Rooms	Appraised Value	\$ 152,200
Style	Cape Cod	Heat Fuel	Oil	Assessed Value	\$ 152,200
Grade	Average Plus	Heat Type	Hot Water		
Year Built	1997	AC Type	None		
Effective depreciation	13	Interior Floors	CarpetHardwood		
Stories		Interior Walls	Plastered		
Living Area sq/ft	2,384	Exterior Walls	<i>Vinyl Siding</i>		
Gross Area sq/ft	5,842	Roof Structure	Gable/Hip		
		Roof Cover	Asph/F Gls/Cmp		

•

- **103 Wingfoot Drive**



## Information

**Map/Block/Lot:** 349 / 067/

**Property Address**

103 WINGFOOT DRIVE

**Village:** Barnstable

**Town Sewer At Address:** No

**GIS Zoning Value:** RF-1

**Owner Name as of 1/1/19:**

SULLIVAN, DIANE H TR

103 WINGFOOT DRIVE

YARMOUTH PORT, MA. 02675

**Co-Owner Name**

DIANE H SULLIVAN TRUST

## Construction Details

### Building

**Building value** \$ 528,400  
**Replacement Cost** \$606,136  
**Model** Residential  
**Style** Ranch  
**Grade** Average Plus  
**Year Built** 1972  
**Effective depreciation** 15  
**Stories** 1 Story  
**Living Area sq/ft** 3,746  
**Gross Area sq/ft** 8,293

### Details

**Bedrooms** 4 Bedrooms  
**Bathrooms** 0 Full-0 Half  
**Total Rooms** 8  
**Heat Fuel** Gas  
**Heat Type** Hot Water  
**AC Type** Central  
**Interior Floors** HardwoodCarpet  
**Interior Walls** Drywall  
**Exterior Walls** *Vinyl Siding*  
**Roof Structure** Gable/Hip  
**Roof Cover** Asph/F Gls/Cmp

### Land

**USE CODE** 1010  
**Lot Size (Acres)** 1.09  
**Appraised Value** \$ 169,700  
**Assessed Value** \$ 169,700

**9 Wingfoot Drive**



ap/Block/Lot: 349 / 076/  
Property Address

iving Area sq/ft                      1,789                      Exterior Walls                      *Vinyl Siding*

9 WINGFOOT DRIVE  
Village: Barnstable  
Town Sewer At Address: No  
GIS Zoning Value: RF-1  
Owner Name as of 1/1/19:  
BABCOCK, DONALD D & SUSAN F  
9 WINGFOOT DR

YARMOUTH PORT, MA. 02675  
Co-Owner Name

### Construction Details

Building		Details		Land	
Building value	\$ 390,900	Bedrooms	4 Bedrooms	USE CODE	1010
Replacement Cost	\$482,587	Bathrooms	3 Full-1 Half	Lot Size (Acres)	0.84
Model	Residential	Total Rooms	10 Rooms	Appraised Value	\$ 154,400
Style	Ranch	Heat Fuel	Gas	Assessed Value	\$ 154,400
Grade	Average Plus	Heat Type	Hot Air		
Year Built	1984	AC Type	Central		
Effective depreciation	19	Interior Floors	CarpetHardwood		
Stories	1 Story	Interior Walls	Plastered		
Living Area sq/ft	2,980	Exterior Walls	<i>Vinyl Siding</i>		
Gross Area sq/ft	6,480	Roof Structure	Gable/Hip		
		Roof Cover	Asph/F Gls/Cmp		

**Gross Area sq/ft**

4,535

**Roof Structure**

Gable/Hip

**Roof Cover**

Asph/F GlS/Cmp



## Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 350046

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
350001	CUMMAQUID GOLF CLUB		PO BOX 182		YARMOUTH PORT	MA	02675
350017	ASACK, GORDON		134 COUNTRY CLUB DR		YARMOUTH PORT	MA	02675
350036	BARNSTABLE, TOWN OF (MUN)		367 MAIN STREET		HYANNIS	MA	02601
350038	LEEN, NORMAN E JR		131 COUNTRY CLUB DR		YARMOUTH PORT	MA	02675
350046	MCTAGUE, MARY ELLEN		P O BOX 315		CUMMAQUID	MA	02637
350047	ATKINSON, CHARLES F & SANDRA A TRS	ATKINSON NOMINEE TRUST	162 COUNTRY CLUB DRIVE		YARMOUTH PORT	MA	02675



# Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

## APPLICATION, CERTIFICATE OF APPROPRIATENESS

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*Check all categories that apply;*

- 1. Building construction:     New     Addition     Alteration
- 2. Type of Building:     House     Garage/barn     Shed     Commercial     Other
- 3. Exterior Painting, roof     new roof     color/material change, of trim, siding, window, door
- 4. Sign :     New Sign     Existing Sign     Repainting Existing Sign
- 5. Structure:     Fence     Wall     Flagpole     Retaining wall     Tennis court     Other
- 6. Pool     Swimming     Other man-made pool     Solar panels     Other

Type or Print Legibly:    Date 8 / 12 / 20

*NOTE: All applications must be signed by the current owner*

Owner (print): KEITH & MARGARET MACKENZIE BETTY Telephone #: 508 367 5900  
 Address of Proposed Work: 3280 MAIN ST Village BARNSTABLE Map Lot # 299 035

Mailing Address (if different) \_\_\_\_\_

Owner's Signature KMBetty

Description of Proposed Work: Give particulars of work to be done:  
NEW GARAGE AND CONNECTING REAR ALTERATION AND ADDITION

Agent or Contractor (print): \_\_\_\_\_ Telephone #: \_\_\_\_\_

Address: \_\_\_\_\_ Email: \_\_\_\_\_

Contractor/Agent' signature: \_\_\_\_\_

<p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p><b>This Certificate is hereby APPROVED / DENIED</b></p>
--	--

**CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies**

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) STONE / BLOCK

Siding Type: Clapboard  shingle  other \_\_\_\_\_  
Material: red cedar \_\_\_\_\_ white cedar \_\_\_\_\_ other \_\_\_\_\_ Color: \_\_\_\_\_

Chimney Material: BRICK Color: RED

Roof Material: (make & style) ASPHALT 50 YR Color: CEDAR

Roof Pitch(s): (7/12 minimum) 9/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood  other material, specify \_\_\_\_\_

Size of cornerboards 12X12 size of casings (1 X 4 min.) 1X5 color WHITE

Rakes 1st member 1X6 2nd member 1X10 Depth of overhang 6"

Window: (make/model) ANDERSEN material WOOD color WHITE  
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):  
true divided lights \_\_\_\_\_ exterior glued grills  grills between glass \_\_\_\_\_ removable interior \_\_\_\_\_ None \_\_\_\_\_

Door style and make: ANDERSEN FRENCH WOOD material WOOD Color: WHITE

Garage Door, Style OVERHEAD Size of opening 9'x8' Material ALUM Color WHITE

Shutter Type/Style/Material: \_\_\_\_\_ Color: \_\_\_\_\_

Gutter Type/Material: ALUM Ogee Color: WHITE

Deck material: wood  other material, specify \_\_\_\_\_ Color: \_\_\_\_\_

Skylight, type/make/model/: \_\_\_\_\_ material \_\_\_\_\_ Color: \_\_\_\_\_ Size: \_\_\_\_\_

Sign size: \_\_\_\_\_ Type/Materials: \_\_\_\_\_ Color: \_\_\_\_\_

Fence Type (max 6' ) Style \_\_\_\_\_ material: \_\_\_\_\_ Color: \_\_\_\_\_

Retaining wall: Material: \_\_\_\_\_

Lighting, freestanding \_\_\_\_\_ on building \_\_\_\_\_ illuminating sign \_\_\_\_\_

OTHER INFORMATION: \_\_\_\_\_

**THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED**

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) Keith Mackenzie Betty Print Name KEITH MACKENZIE BETTY

**Town of Barnstable, Old Kings Highway Historic District Committee**

**CHECKLIST -- CERTIFICATE OF APPROPRIATENESS**

*Please check the applicable categories; This check list must be completed and submitted with your application.*

**1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)**

- Application for Certificate of Appropriateness, 5 copies.
- Spec Sheet, 4 copies; brochures and color samples.
- Plans of building elevations/photographs, 5 copies, ONLY if there is a change to the location and size of the window (s) or door (s)

**2. MINOR ADDITIONS e.g. decks, shed (over 120 sq. feet)**

- Application for Certificate of Appropriateness, 5 copies.
- Spec Sheet, 5 copies; brochures and color samples.
- Site Plan, 5 copies, ONLY if there is a change to the building footprint.  
A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted, see requirements as applicable, see 4. Site Plan, below.
- Photographs of all building elevation affected by any proposed alterations.
- Plans: 5 copies plus 1 at reduced scale to fit 8.5 x 11 or 11 x 17 paper  
Company brochure of manufacturer's shed OR to-scale sketch of affected structure or building elevations.

**3. STRUCTURES, NEW/ALTERED (fences, new stonewalls or changes to, retaining walls, pools etc)**

- Application for Certificate of Appropriateness
- Spec Sheet, brochures or diagram.
- Site plan, see Instructions 2. Site Plan, above.
- Photographs of any existing structure that will be affected by change.

**4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING**

- Application for Certificate of Appropriateness (5 copies).
- Spec Sheet, 5 copies, brochures and samples of colors.
- Site Plan, 5 copies, at an appropriate scale. & 5 copies of site plans at reduced scaled to fit 8.5"X11 or 11X17 paper  
**Site Plans shall contain the following:**
  - Name of applicant, street location, map and parcel.
  - Name of architect, engineer or surveyor; original stamp and signature; date of plan and revision dates.
  - North arrow, written and drawn scale.
  - Changes to existing grades shown with one-foot contours.
  - Proposed and existing footprint of the building and/or structures, and distance to lot lines.
  - Proposed driveway location.
  - Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.
  - Retaining walls or accessory structures (e.g. pool, tennis court, cabanas, barn, garage etc.)
- Building Elevations:
  - o 5 copies of plans at a scale of 1/4" = 1 foot; a written and drawn scale.
  - o 5 copies of plans at a reduced scale to fit 8.5"x 11 or 11 x 17 paper.

**5. SIGNS**

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

**6. SOLAR PANELS**

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

**7. FEES**

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification  
*Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.*
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

**SIGNED** (plan preparer) KMBetty Print 8/14/20 KMBETTY  
 Date: 8/14/20 Tel. Phone no: 508 367 5900  
 Email \_\_\_\_\_

**NOTE:** The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS

**ATTENDANCE AT MEETINGS:** If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

<b>APPEAL PERIOD</b>	<b>APPROVED PLANS</b>	<b>PLAN PICK UP</b>
----------------------	-----------------------	---------------------

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14<sup>th</sup> day falls on a Saturday, your plans will be available the afternoon of the following business day.

<b>DENIALS</b>
----------------

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

<b>BUILDING PERMITS, OTHER AGENCY CONTACTS</b>
--

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

*All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.*

<b>QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787</b>
--

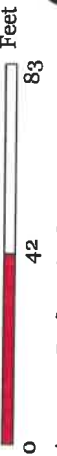
# TOWN OF BARNSTABLE PROPERTY MAPS

## Legend

Road Names



Map printed on: 9/1/2020



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



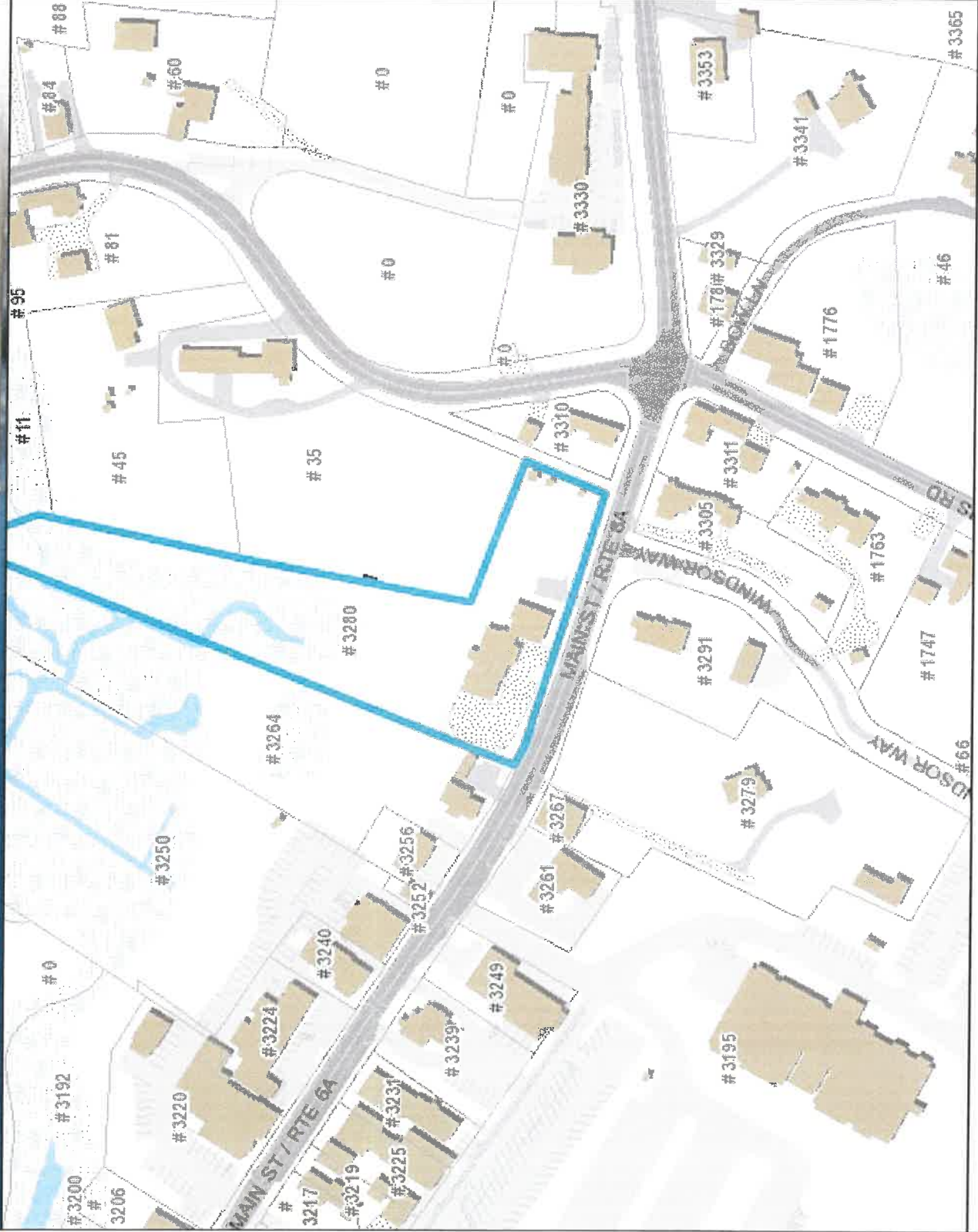
## Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601  
508-862-4624

gis@town.barnstable.ma.us



# TOWN OF BARNSTABLE PROPERTY MAPS



## Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies



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Map printed on: 9/1/2020



Approx. Scale: 1 inch = 167 feet



## Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 299035

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

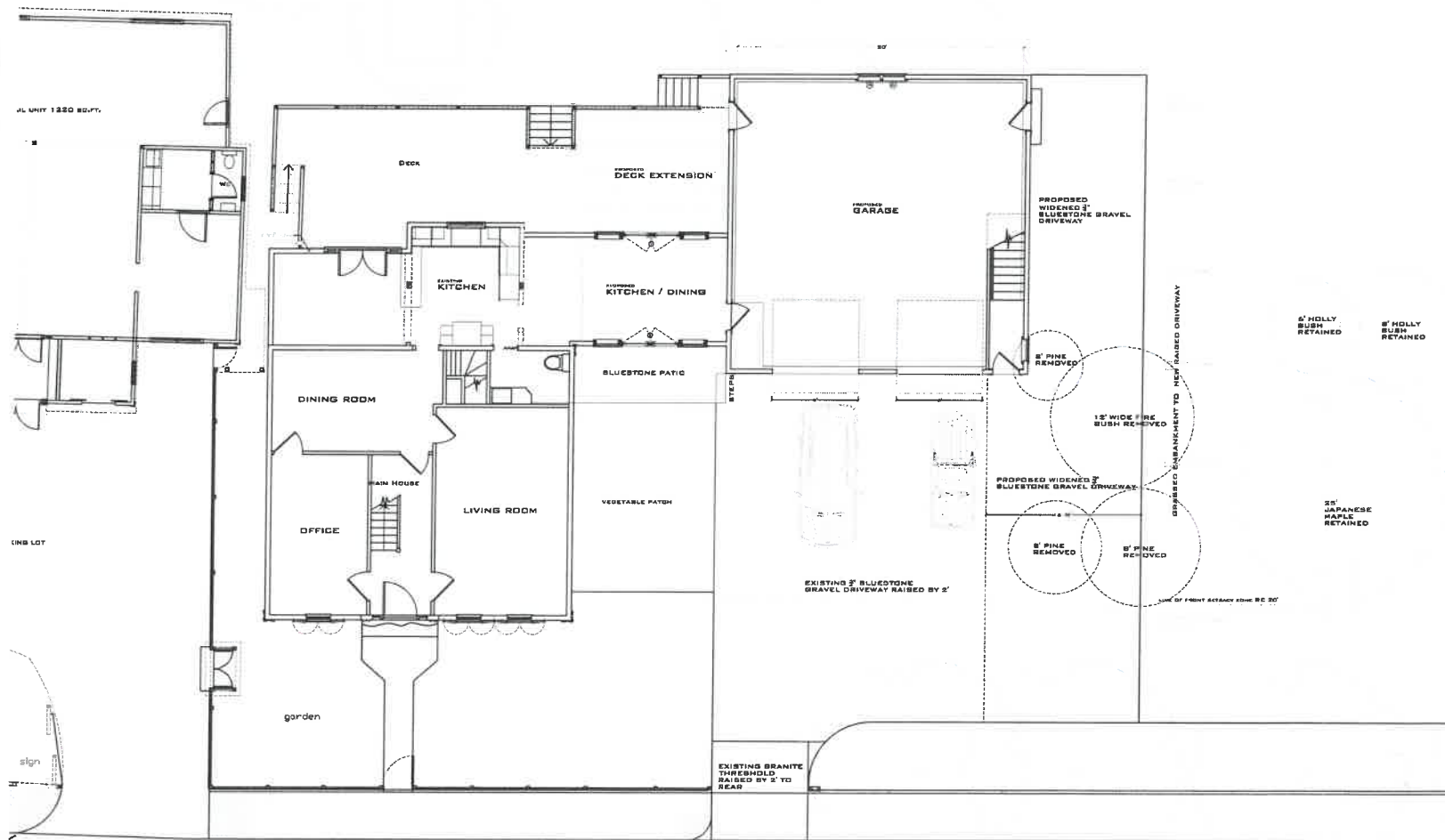
Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
299012	GLENNON, DORIS L		PO BOX 6		BARNSTABLE	MA	02630
299015	LEWIS, JON ROBERT TR	MATTAKEESE HILL REALTY TRUST	PO BOX 1196		BARNSTABLE	MA	02630
299016	WEIR, NANCY NEIL & KLUN, VICTORIA		PO BOX 222		BARNSTABLE	MA	02630
299034	HARDEN, CHARLES M & CARLA K		3264 MAIN ST.,PO BOX 82		BARNSTABLE	MA	02630
299035	MCKENZIE BETTY, KEITH & MARGARET		3286 MAIN ST	PO BOX 645	BARNSTABLE	MA	02630
299036	MURPHY, EDWARD J IV & CHRISTY A	%GOCKSCH, MICHAEL K & CLEARY, MEGHAN C	295 CENTRAL PARK W APT 9G		NEW YORK	NY	10024
299037001	KERR, MARY A	C/O BONNIE K HAASE	881 E. 2ND STREET #15		SOUTH BOSTON	MA	02127
299037002	KERR, JONATHAN S & SUSAN L		P O BOX 421		BARNSTABLE	MA	02630
300013	HEMPSTEAD, JAMES & WARGO, JENNIFER E		69 AVENUE OF TWO RIVERS		RUMSON	NJ	07760



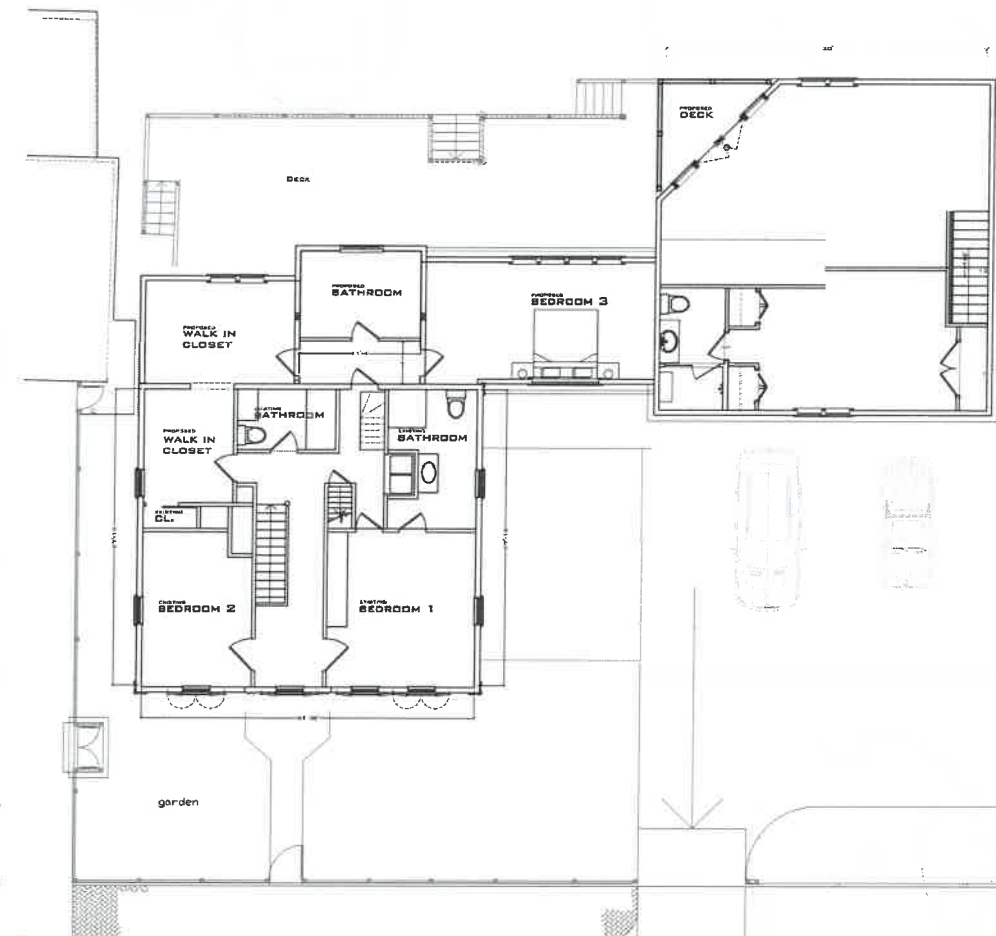
CAPE ARCHITECTURE  
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 PO BOX 645, BARNSTABLE,  
 MASSACHUSETTS 02630  
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 WWW.CAPEARCHITECTURE.NET

- GENERAL NOTES:**
1. ALL EXTERIOR WALLS SHALL BE 2X6 @ 16" O.C. UNLESS NOTED OTHERWISE.
  2. ALL INTERNAL WALLS SHALL BE 2X4 @ 16" O.C. UNLESS NOTED OTHERWISE.
  3. CONTRACTOR SHALL VERIFY ALL WINDOW OPENING PRIOR TO ORDERING WINDOWS.
  4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY MISSING OR INCORRECT DIMENSIONS NOT BROUGHT TO THE DESIGNERS ATTENTION.

ENGINEER:



1 PROPOSED FIRST FLOOR AND LANDSCAPE PLAN 1/8" = 1 FT.  
 A1



2 PROPOSED SECOND FLOOR PLAN 1/8" = 1 FT.  
 A1

REV.	NOTES.	DATE
A	LANDSCAPE ADDED	8/27/20

REVISIONS:

SCALE: 1/8" = 1 FT

DATE: 10/26/18

PROJECT:  
 PROPOSED  
 NEW ADDITION AND  
 GARAGE

LOCATION:  
 3280 MAIN ST  
 BARNSTABLE, MA  
 02630

DWG. TITLE:  
 PROPOSED FIRST  
 AND SECOND FLOOR  
 PLANS

PROJECT NO. -

DWG. NO.

**A1A**

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# NEW GARAGE AND ADDITION 3280, MAIN ST. BARNSTABLE, MA

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PO BOX 645, BARNSTABLE,  
MASSACHUSETTS 02630  
T - 508 367 5900  
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GENERAL NOTES:

**DRAWINGS:**

- COVER - EXISTING PHOTOS & SITE SURVEY PLAN
- EX1 - EXISTING PLANS - 1/4" = 1 FT.
- EX2 - EXISTING ELEVATIONS - 1/4" = 1 FT.
- A1 - PROPOSED FIRST & SECOND FLOOR PLAN - 1/4" = 1 FT.
- A2 - PROPOSED ELEVATIONS - 1/4" = 1 FT.
- A3 - PROPOSED FLOOR PLANS - 1/4" = 1 FT.
- A4 - PROPOSED ELEVATIONS - 1/4" = 1 FT.



ENGINEER:

REV.	NOTES.	DATE

REVISIONS:

SCALE: 1/4" = 1 FT

DATE: 072220

PROJECT:  
PROPOSED  
NEW ADDITION AND  
GARAGE

LOCATION:  
3280 MAIN ST,  
BARNSTABLE, MA  
02630

DWG. TITLE:  
COVER

PROJECT NO.

DWG. NO.  
**COVER**

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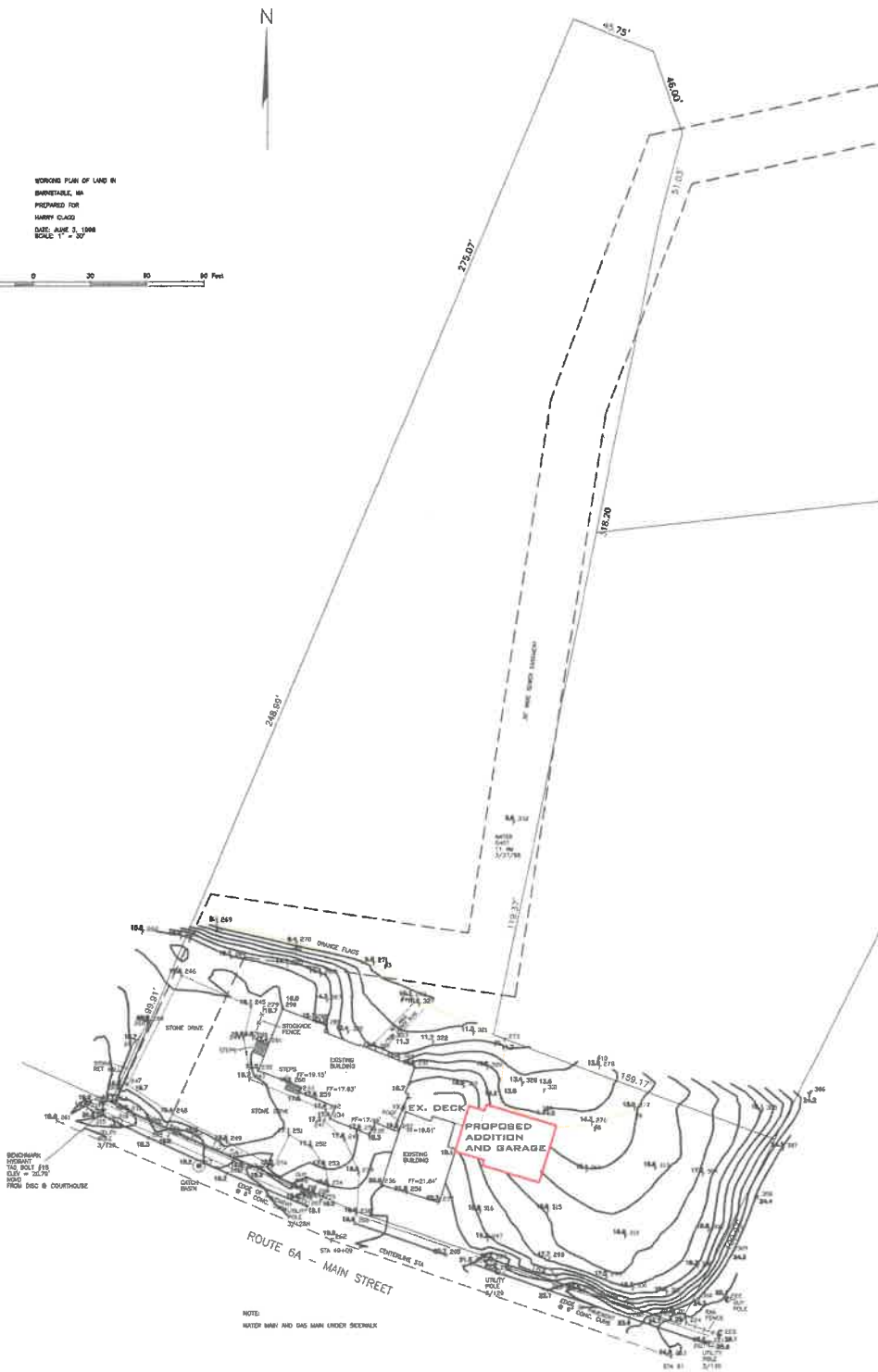
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1 EXISTING PHOTOS  
ES1

WORKS PLAN OF LAND IN  
BARNSTABLE, MA  
PROPOSED FOR  
WERRY GUARD  
DATE: AUG 3, 2008  
SCALE: 1" = 30'

30 0 30 60 Feet



2 EXISTING SITE SURVEY - 2.5 AC.  
EX 1

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GENERAL NOTES:

ENGINEER:

REV. NOTES. DATE

REVISIONS:

SCALE: NTS

DATE: 032819

PROJECT:  
PROPOSED GARAGE AND  
ADDITION

LOCATION:  
3280, MAIN ST,  
BARNSTABLE, MA  
02630

DWG. TITLE:  
EXISTING PHOTOS &  
LOCATION PLAN

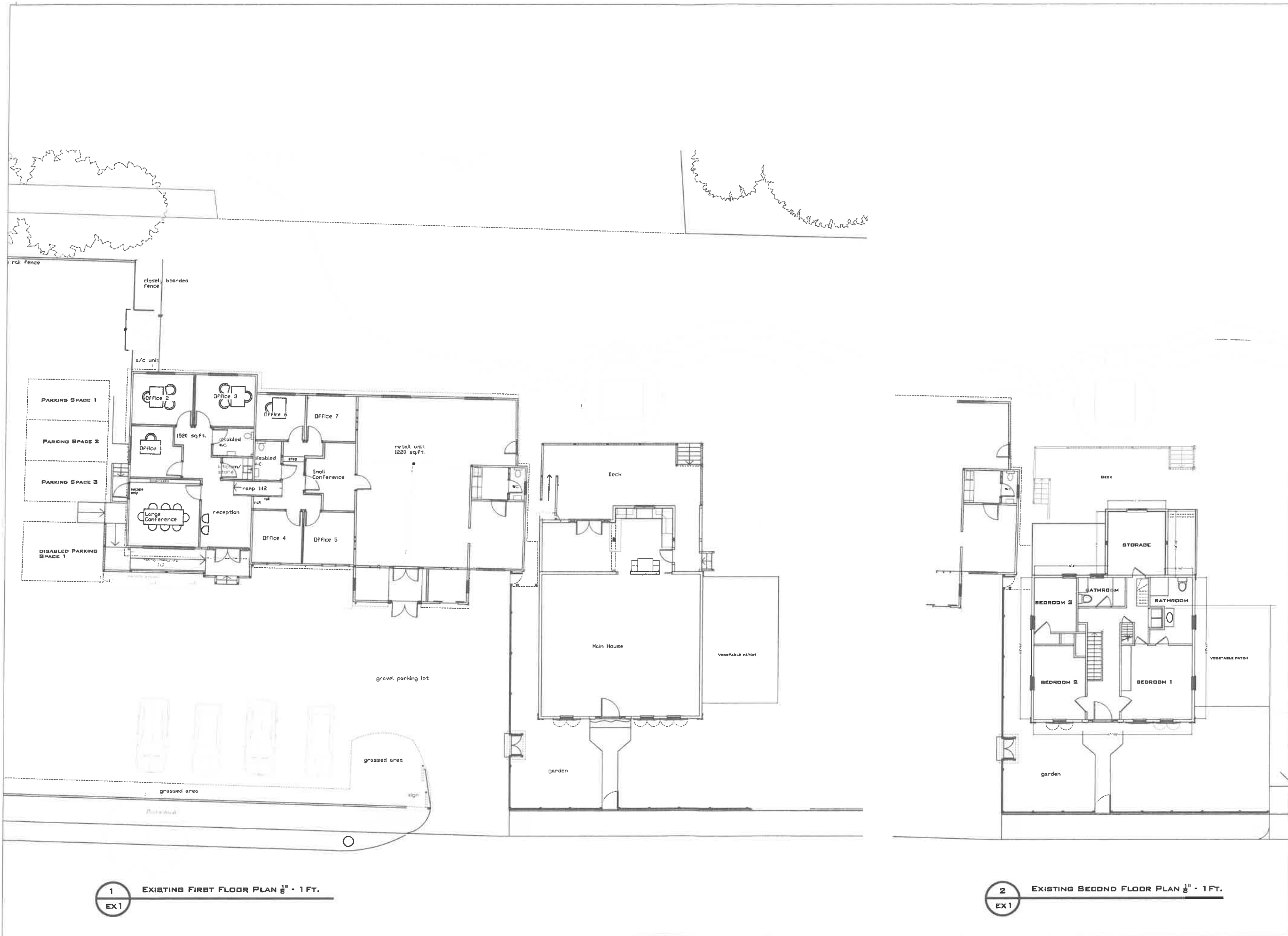
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DWG. NO.

ES1

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ENGINEER:

REV.	NOTES.	DATE

REVISIONS:

SCALE: 1/8" = 1 FT

DATE: 10/26/18

PROJECT:  
PROPOSED  
NEW ADDITION AND  
GARAGE

LOCATION:  
3280 MAIN ST  
BARNSTABLE, MA  
02630

DWG. TITLE:  
EXISTING FIRST AND  
SECOND FLOOR  
PLANS

PROJECT NO. -

DWG. NO.

**EX 1**

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1 EXISTING FIRST FLOOR PLAN 1/8" = 1 FT.

EX 1

2 EXISTING SECOND FLOOR PLAN 1/8" = 1 FT.

EX 1

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MASSACHUSETTS 02630  
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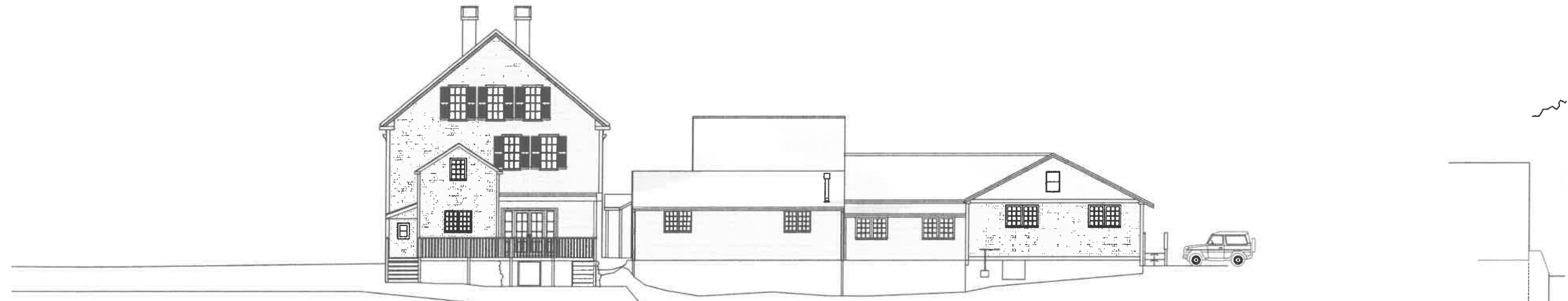
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ENGINEER:



1 EXISTING FRONT ELEVATION  $\frac{1}{8}$ " - 1 FT.  
EX2



2 EXISTING REAR ELEVATION  $\frac{1}{8}$ " - 1 FT.  
EX2



2 EXISTING WEST ELEVATION  $\frac{1}{8}$ " - 1 FT.  
EX2



2 EXISTING WEST ELEVATION  $\frac{1}{8}$ " - 1 FT.  
EX2

REV.	NOTES.	DATE

REVISIONS:

SCALE:  $\frac{1}{8}$ " - 1 FT

DATE: 102618

PROJECT:  
PROPOSED  
NEW ADDITION AND  
GARAGE

LOCATION:  
3280 MAIN ST  
BARNSTABLE, MA  
02630

DWG. TITLE:  
EXISTING ELEVATIONS

PROJECT NO. .

DWG. NO.  
**EX2**

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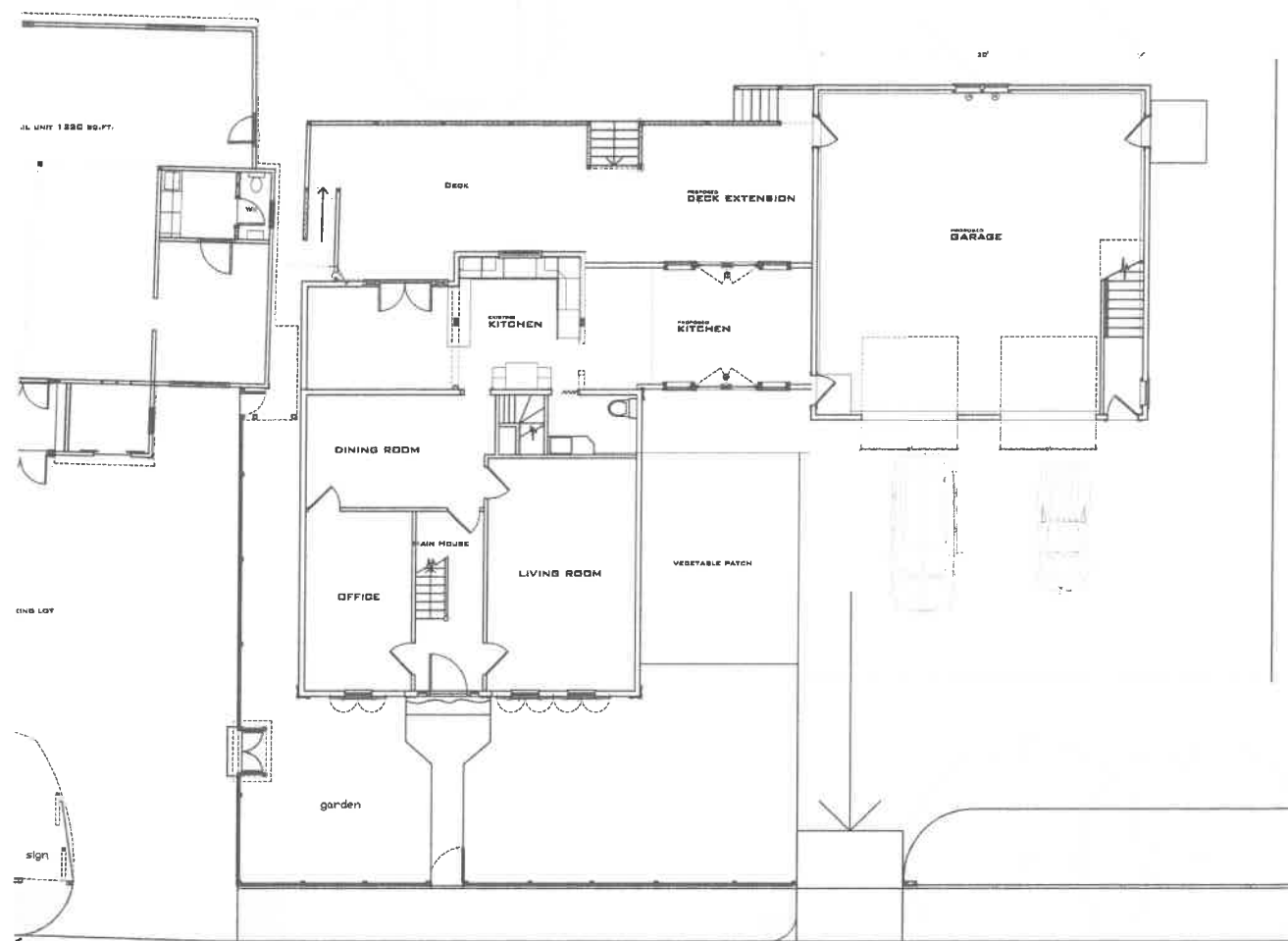
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MASSACHUSETTS 02630

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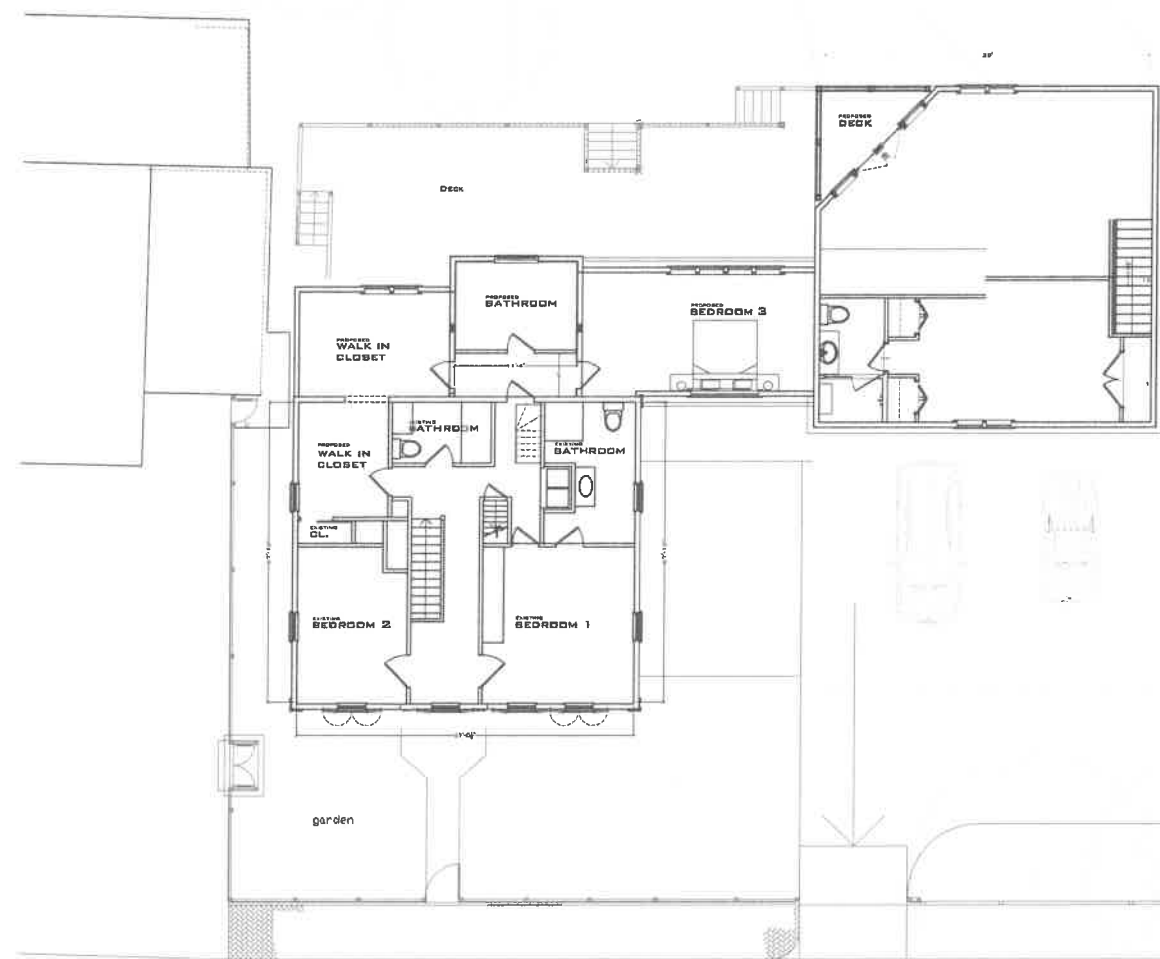
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ENGINEER:



1 PROPOSED FIRST FLOOR PLAN 1/8" = 1 FT.  
A1



2 PROPOSED SECOND FLOOR PLAN 1/8" = 1 FT.  
A1

REV. NOTES. DATE

REVISIONS:

SCALE: 1/8" = 1 FT

DATE: 10/26/18

PROJECT:  
PROPOSED  
NEW ADDITION AND  
GARAGE

LOCATION:  
3280 MAIN ST  
BARNSTABLE, MA  
02630

DWG. TITLE:  
PROPOSED FIRST  
AND SECOND FLOOR  
PLANS

PROJECT NO. -

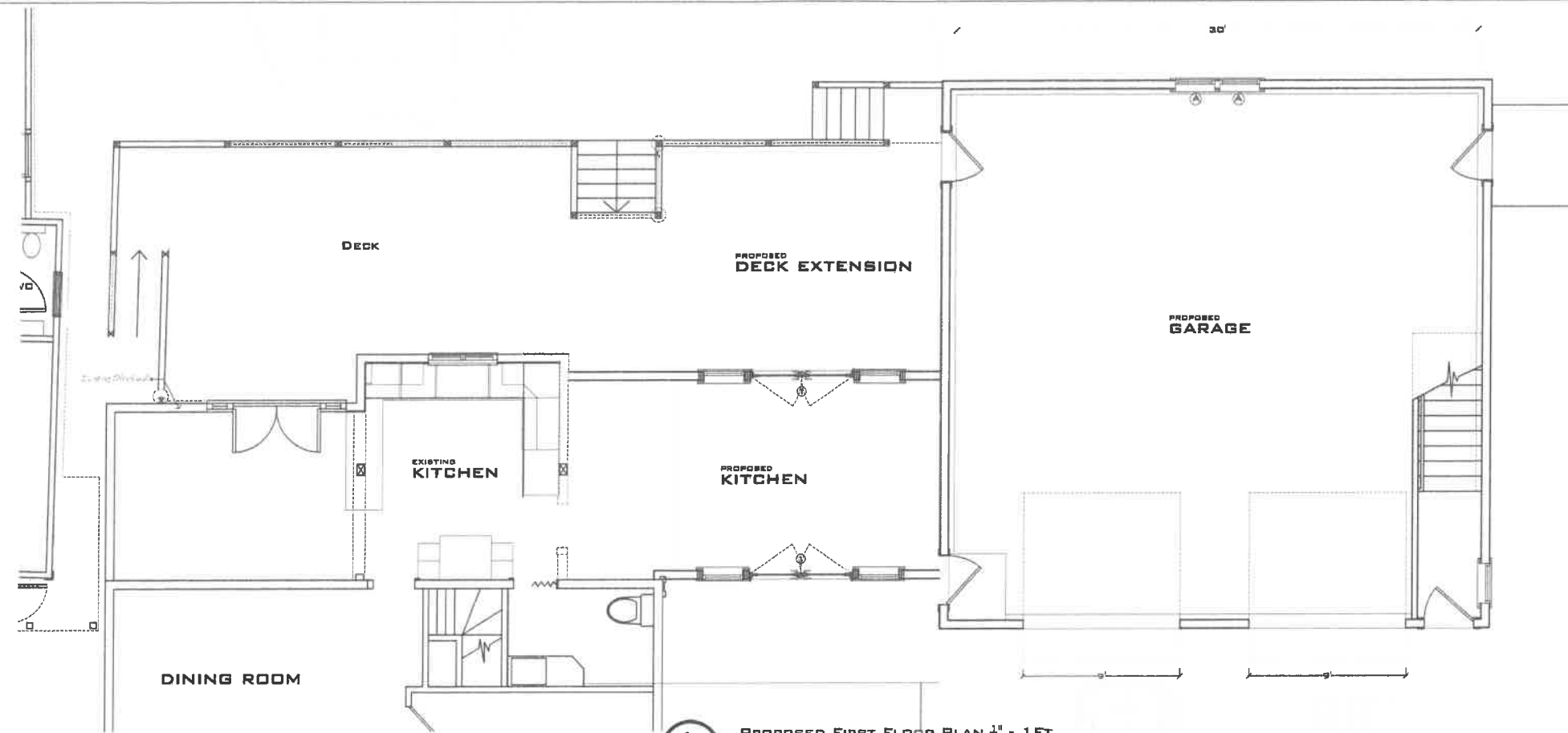
DWG. NO.

A1

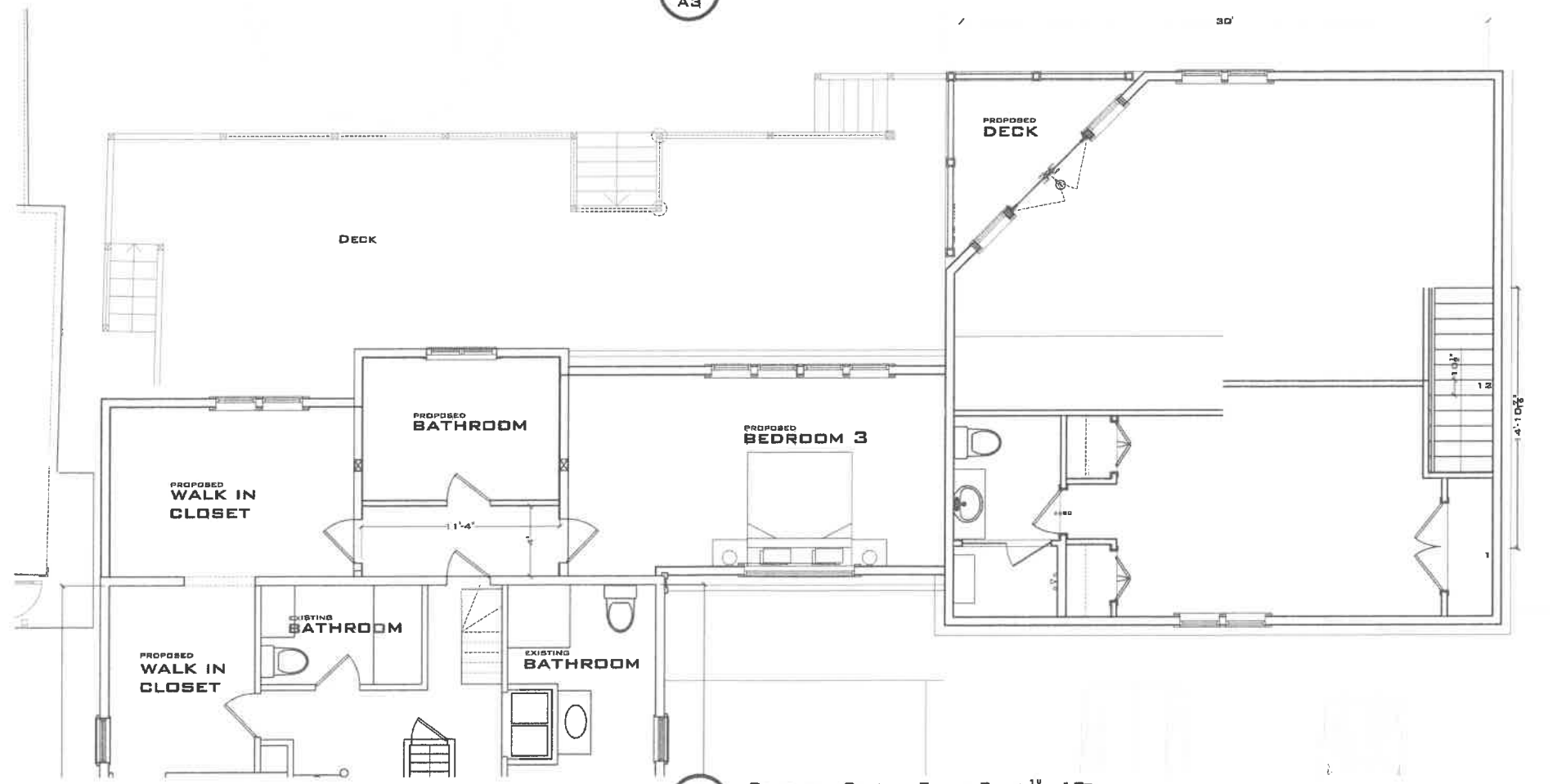
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1 PROPOSED FIRST FLOOR PLAN 1/4" = 1 FT.  
A3



2 PROPOSED SECOND FLOOR PLAN 1/4" = 1 FT.  
A3

CAPE ARCHITECTURE

MACKENZIE BETTY ASSOCIATES,  
PO BOX 645, BARNSTABLE,  
MASSACHUSETTS 02630  
T - 508 367 5900  
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ENGINEER:

REV. NOTES. DATE

REVISIONS:

SCALE: 1/4" = 1 FT

DATE: 072220

PROJECT:  
PROPOSED  
NEW ADDITION AND  
GARAGE

LOCATION:  
3280 MAIN ST  
BARNSTABLE, MA  
02630

DWG. TITLE:  
PROPOSED FIRST  
AND SECOND FLOOR  
PLANS

PROJECT NO. -

DWG. NO.

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**CAPE ARCHITECTURE**

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  2. ALL INTERNAL WALLS SHALL BE 2X4 @ 16" O.C. UNLESS NOTED OTHERWISE.
  3. CONTRACTOR SHALL VERIFY ALL WINDOW OPENINGS PRIOR TO ORDERING WINDOWS.
  4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY MISSING OR INCORRECT DIMENSIONS NOT BROUGHT TO THE DESIGNERS ATTENTION.

ENGINEER:



1 PROPOSED WEST ELEVATION  $\frac{1}{8}$ " = 1 FT.  
A5



2 PROPOSED WEST ELEVATION  $\frac{1}{8}$ " = 1 FT.  
A5

REV.	NOTES.	DATE

REVISIONS:

SCALE: 3/4" = 1 FT

DATE: 072220

PROJECT:  
PROPOSED  
NEW ADDITION AND  
GARAGE

LOCATION:  
3280 MAIN ST  
BARNSTABLE, MA  
02630

DWG. TITLE:  
PROPOSED  
ELEVATIONS 2

PROJECT NO. :

DWG. NO.  
**A5**

COPYRIGHT  
CAPE ARCHITECTURE EXPRESSLY  
RESERVES ITS COMMON LAW  
COPYRIGHT

THESE PLANS ARE NOT TO BE  
REPRODUCED OR COPIED IN ANY  
FORM WITHOUT FIRST OBTAINING  
THE WRITTEN CONSENT OF CAPE  
ARCHITECTURE



**Barnstable Old Kings Highway Historic District Committee**  
200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml [eh@okhd.com](mailto:eh@okhd.com)



**APPLICATION, CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

*Check all categories that apply;*

- 1. Building construction:     New     Addition     Alteration
- 2. Type of Building:     House     Garage/barn     Shed     Commercial     Other
- 3. Exterior Painting, roof     new roof     color/material change, of trim, siding, window, door
- 4. Sign:     New Sign     Existing Sign     Repainting Existing Sign
- 5. Structure:     Fence     Wall     Flagpole     Retaining wall     Tennis court     Other
- 6. Pool     Swimming     Other man-made pool     Solar panels     Other

Type or Print Legibly:    Date August 19, 2020

*NOTE: All applications must be signed by the current owner*

Owner (print): LARRY + Beth THAYER Telephone #: 508-362-5245

Address of Proposed Work: 71 Dorset Road Village Cummaquid Map Lot # 349/033

Mailing Address (if different) P.O. Box 174 Cummaquid, MA 02637

Owner's Signature Larry R Thayer Margaret E. Thayer

Description of Proposed Work: Give particulars of work to be done:  
Construct 12x18 + 6x14 Porch to the side and rear of existing structure

Agent or Contractor (print): T.B.D Telephone #: \_\_\_\_\_

Address: \_\_\_\_\_ Email: \_\_\_\_\_

Contractor/Agent's signature: \_\_\_\_\_

*For committee use only*    **This Certificate is hereby APPROVED / DENIED**

Date \_\_\_\_\_ Members signatures \_\_\_\_\_

Conditions of approval \_\_\_\_\_

**CERTIFICATE OF APPROPRIATENESS SPEC SHEET** Please submit **5** copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Big Feet sorotube

Siding Type: Clapboard \_\_\_ shingle \_\_\_ other \_\_\_  
Material: red cedar \_\_\_ white cedar \_\_\_ other \_\_\_ Color: \_\_\_

Chimney Material: \_\_\_ Color: \_\_\_

Roof Material: (make & style) Architectural Color: MATCH existing

Roof Pitch(s): (7/12 minimum) \_\_\_ (specify on plans for new buildings, major additions)

Window and door trim material: wood \_\_\_ other material, specify AZEK

Size of cornerboards 6" X 6" size of casings (1 X 4 min.) \_\_\_ color white

Rakes 1st member \_\_\_ 2nd member \_\_\_ Depth of overhang Typical Box

Window: (make/model) \_\_\_ material \_\_\_ color \_\_\_  
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):  
true divided lights \_\_\_ exterior glued grills \_\_\_ grills between glass \_\_\_ removable interior \_\_\_ None

Door style and make: SCREEN door material ALUMINIUM Color: white

Garage Door, Style \_\_\_ Size of opening \_\_\_ Material \_\_\_ Color \_\_\_

Shutter Type/Style/Material: \_\_\_ Color: \_\_\_

Gutter Type/Material: metal Color: white aluminum

Deck material: wood \_\_\_ other material, specify AZEK Color: Gray

Skylight, type/make/model: \_\_\_ material \_\_\_ Color: \_\_\_ Size: \_\_\_

Sign size: \_\_\_ Type/Materials: \_\_\_ Color: \_\_\_

Fence Type (max 6' ) Style \_\_\_ material: \_\_\_ Color: \_\_\_

Retaining wall: Material: \_\_\_

Lighting, freestanding \_\_\_ on building \_\_\_ illuminating sign

OTHER INFORMATION: \_\_\_



**THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED**

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) Larry R Thayer Print Name LARRY R THAYER

**5. SIGNS**

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

**6. SOLAR PANELS**

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

**7. FEES**

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification  
*Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.*
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

**SIGNED** (plan preparer) Larry R. Thayer Print LARRY R THAYER

Date: 8/14/20 Tel. Phone no's: 508-362-5245  
 Email larrythayer8@gmail.com

**NOTE:** The Old Kings Highway Historic District Committee **MAY DENY INCOMPLETE APPLICATIONS**

**ATTENDANCE AT MEETINGS:** *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

<b>APPEAL PERIOD</b>	<b>APPROVED PLANS</b>	<b>PLAN PICK UP</b>
----------------------	-----------------------	---------------------

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14<sup>th</sup> day falls on a Saturday, your plans will be available the afternoon of the following business day.

<b>DENIALS</b>
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Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

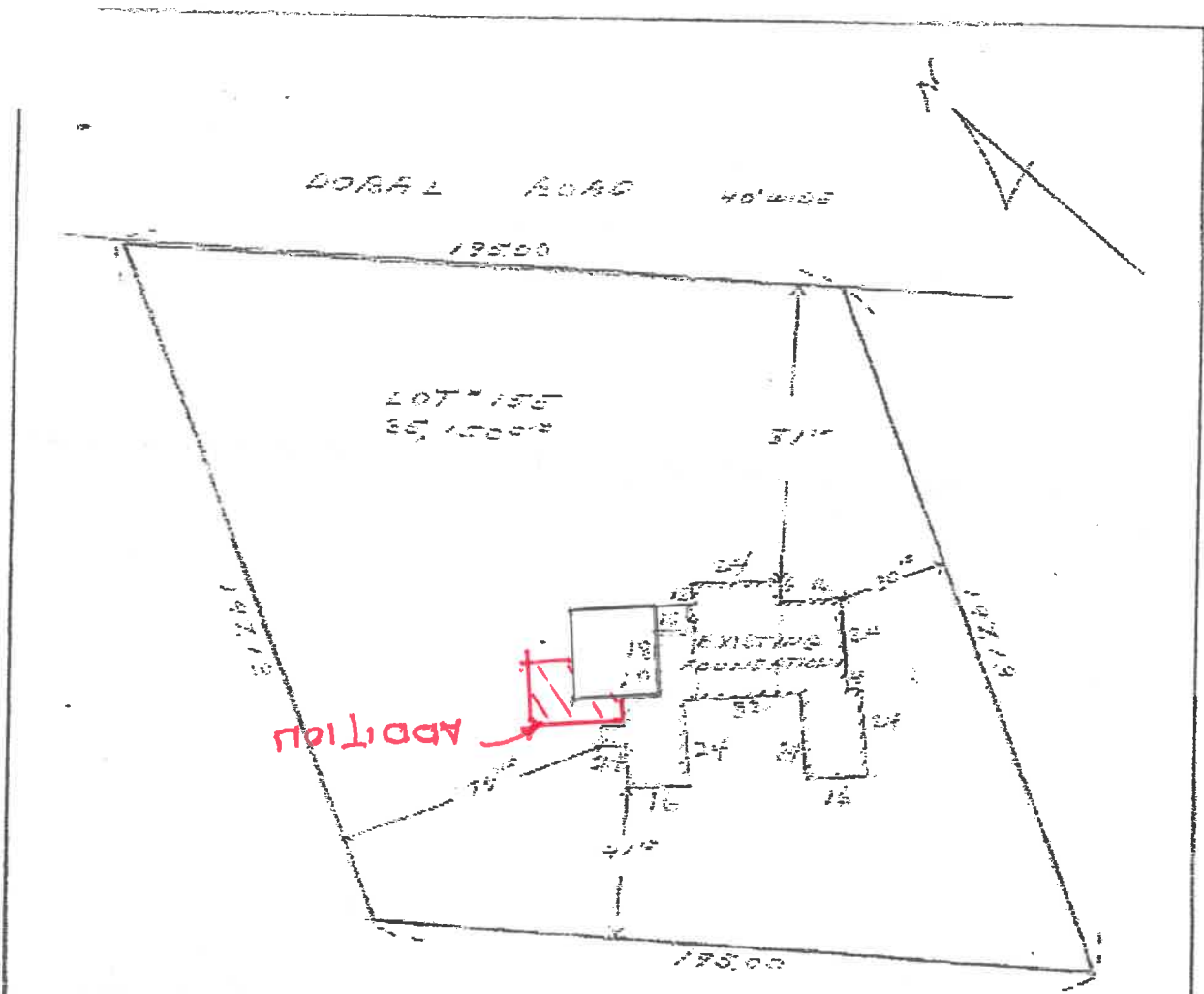
<b>BUILDING PERMITS, OTHER AGENCY CONTACTS</b>
--

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

*All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.*

<b>QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787</b>
--

THAYER  
71 Doral Road



*[Handwritten signature]*

CERTIFIED PLOT PLAN	
LOCATION	BARNSTABLE, Massachusetts
SCALE	1"=40'
DATE	7/13/20
PLAN REFERENCE	ENGINE LOT #155
SUBDIVISION	CAL TERRACE #147
CITY/TOWN	BARNSTABLE COUNTY
REGISTERED	RECORDING DEPT.
I CERTIFY THAT THE EXISTING FOUNDATION SHOWN ON THIS PLAN IS LOCATED ON THE GROUND AS SHOWN HEREON AND THAT IT CONFORMS TO THE SETBACK REQUIREMENTS OF THE TOWN OF BARNSTABLE, MA WHEN CONSTRUCTED.	

RECEIVED  
AUG 27 2020  
PLANNING & DEVELOPMENT

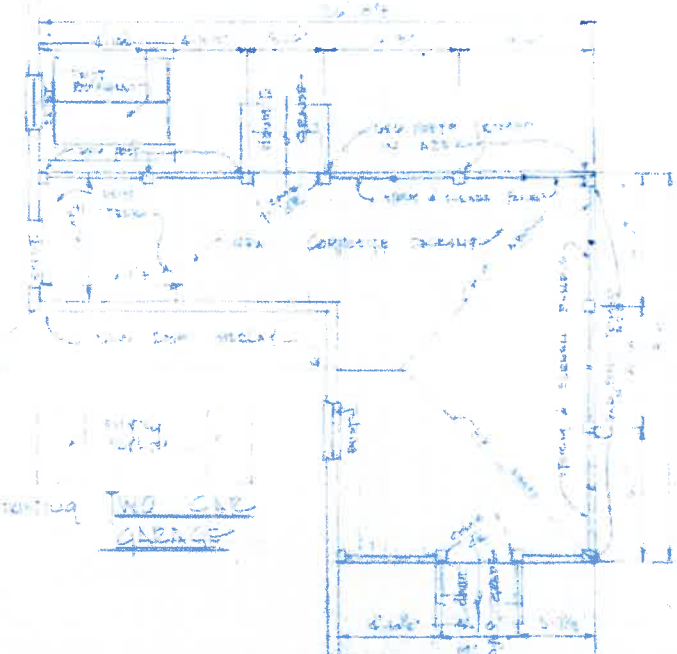
RECEIVED  
AUG 27 2020  
PLANNING & DEVELOPMENT



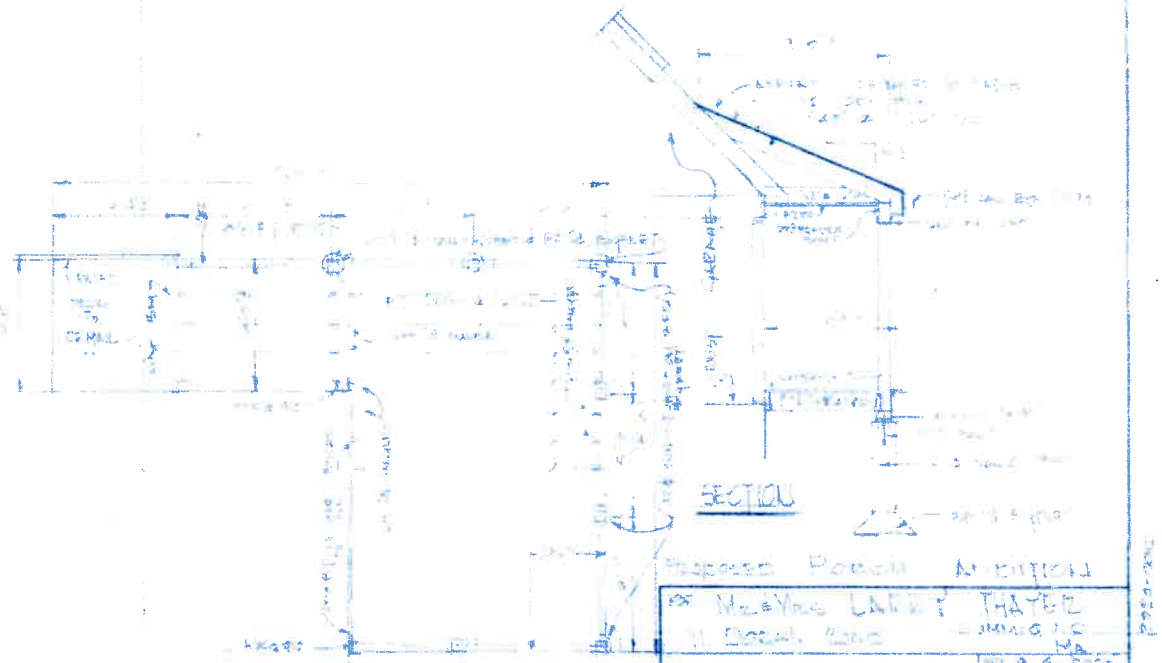
FRONT ELEVATION

RIGHT SIDE ELEVATION

REAR ELEVATION



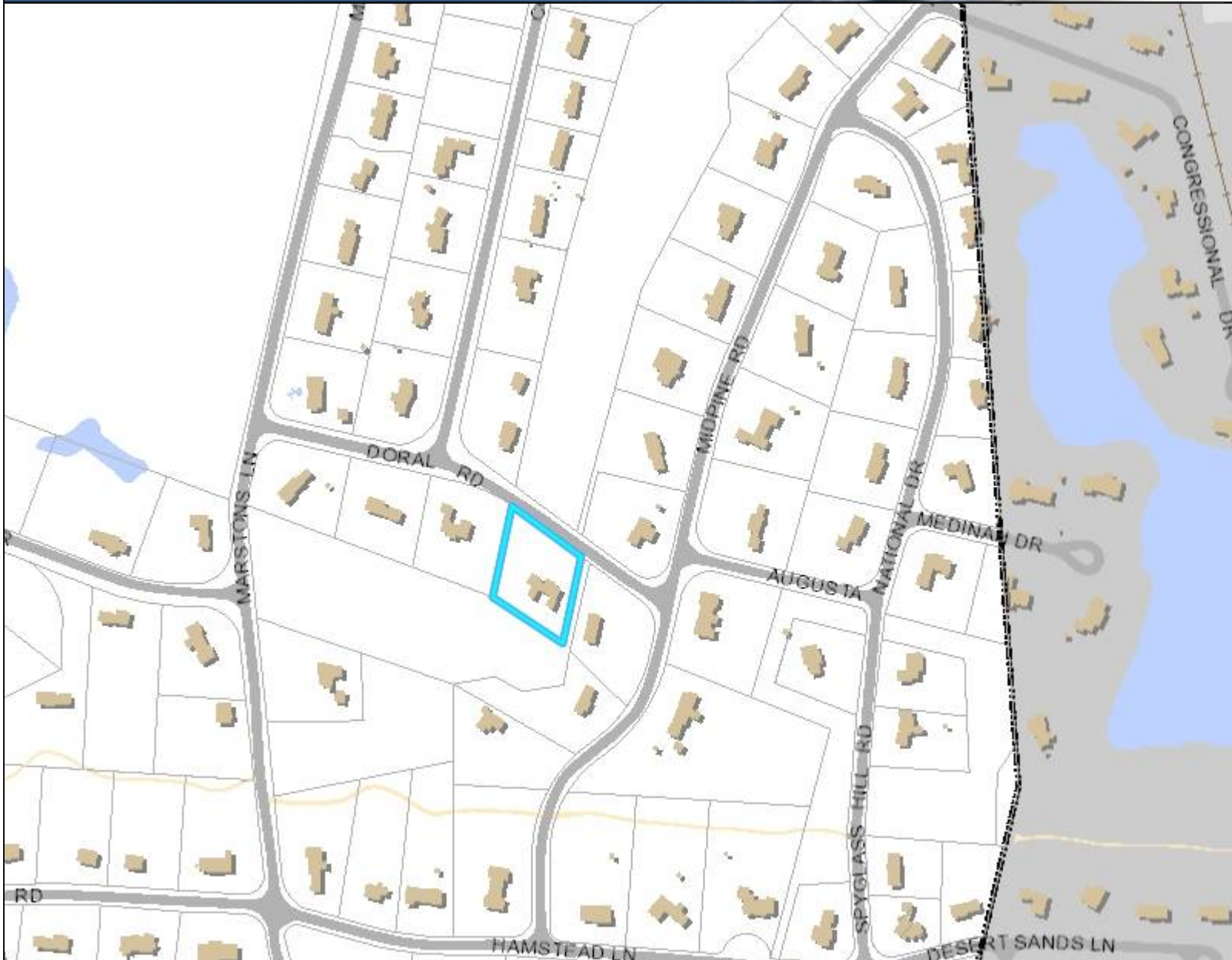
FLOOR PLAN



SECTION

FRAMING PLAN

Approved Person DONALD I. MEYER Professional Building Designer P.O. Box 532 So. Yarmouth, MA 02661 (508) 394-9204		DATE AUG 27 2020
PROJECT 11 DORSET ST THAYER		SCALE 1/8" = 1'-0"
DRAWN BY D.I.M.		DATE AUG 27 2020
PROJECT NO. 00441		DATE AUG 27 2020



**Legend**

- Parcels
- - - Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Parking Lots
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - Bridge
  - Paved Median
- Water Bodies

Map printed on: 9/1/2020



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



**Town of Barnstable GIS Unit**

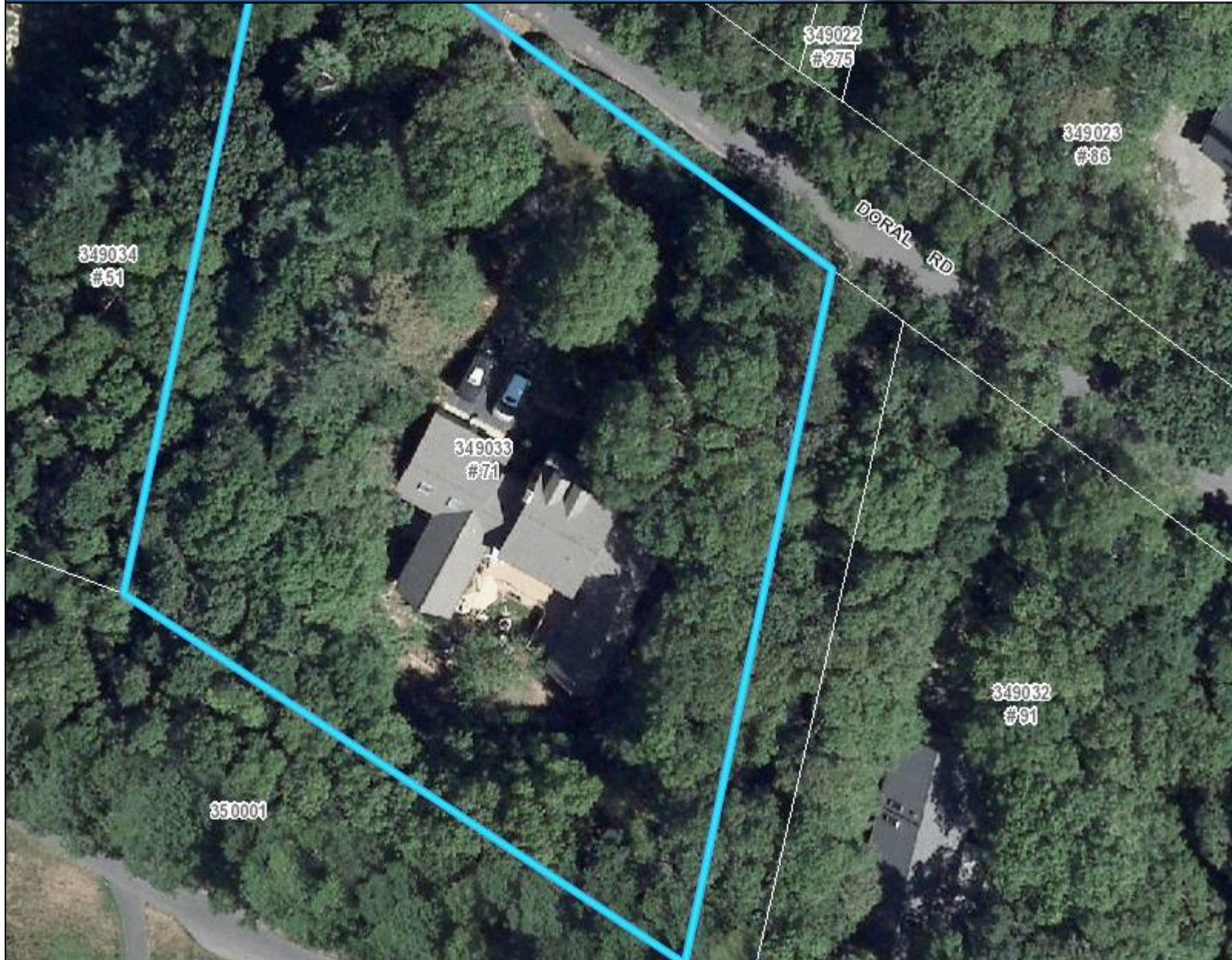
367 Main Street, Hyannis, MA 02601

508-862-4624

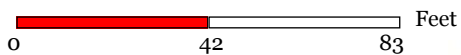
gis@town.barnstable.ma.us

### Legend

Road Names



Map printed on: 9/1/2020



Approx. Scale: 1 inch = 42 feet



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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



## Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 349033

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
349022	RESIDENT		PO BOX 203		CUMMAQUID	MA	02637
349023	GIOLITO, RINO J & MARY R		86 DORAL ROAD		YARMOUTH PORT	MA	02675
349033	THAYER, MARGARET E & LARRY R TRS	MARGARET E THAYER LIVING TRUST	PO BOX 174		CUMMAQUID	MA	02637
349034	FRANCIS, BRIAN J & CHERYL A TRS	BRIAN AND CHERYL FRANCIS TRUST	51 DORAL ROAD		YARMOUTHPORT	MA	02675
350001	CUMMAQUID GOLF CLUB		PO BOX 182		YARMOUTH PORT	MA	02675



# Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml [erin.logan@townofbarnstable.com](mailto:erin.logan@townofbarnstable.com)



## APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

*Check all categories that apply;*

- 1. Building construction:  New  Addition  Alteration
- 2. Type of Building:  House  Garage/barr  Shed  Commercial  Other
- 3. Exterior Painting, roof  new roof  color/material change, of trim, siding, window, door
- 4. Sign:  New Sign  Existing Sign  Repainting Existing Sign
- 5. Structure:  Fence  Wall  Flagpole  Retaining wall  Tennis court  Other
- 6. Pool  Swimming  Other man-made pool  Solar panels  Other

Type or Print Legibly: \_\_\_\_\_ Date \_\_\_\_\_

*NOTE: All applications must be signed by the current owner*

Owner (print): PAUL G. RICHARD Telephone #: 508 776-2433  
 Address of Proposed Work: 4022 MAIN STREET Village CUMMAQUID Map Lot # 336/044  
 Mailing Address (if different) P.O. BOX 196, CUMMAQUID, MA. 02637

Owner's Signature Paul G. Richard

Description of Proposed Work: Give particulars of work to be done: REPLACE 4 WINDOWS, REPLACE EXTERIOR DOOR (ALL ON BARN)

REPLACE SIGN ON LAMP POST AT FRONT OF MAIN HOUSE ON GA

Agent or Contractor (print): OWNER Telephone #: 508 776-2433

Address: \_\_\_\_\_ Email: pgrichardmill@gmail.com

Contractor/Agent' signature: Paul G. Richard

*For committee use only* This Certificate is hereby **APPROVED / DENIED**

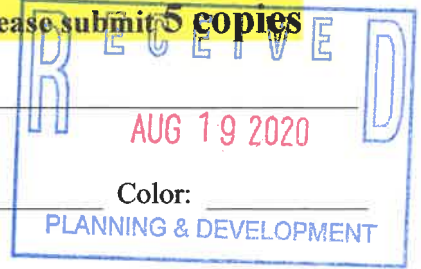
Date \_\_\_\_\_ Members signatures \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Conditions of approval \_\_\_\_\_

\_\_\_\_\_

**CERTIFICATE OF APPROPRIATENESS SPEC SHEET** Please submit **5 copies**



Foundation Type: (Max. 12" exposed) (material - brick/cement, other) \_\_\_\_\_

Siding Type: Clapboard \_\_\_ shingle \_\_\_ other \_\_\_  
Material: red cedar \_\_\_ white cedar \_\_\_ other \_\_\_\_\_

Chimney Material: \_\_\_\_\_ Color: \_\_\_\_\_

Roof Material: (make & style) \_\_\_\_\_ Color: \_\_\_\_\_

Roof Pitch(s): (7/12 minimum) \_\_\_\_\_ (specify on plans for new buildings, major additions)

Window and door trim material: wood \_\_\_ other material, specify PVC PAINTED

Size of cornerboards \_\_\_\_\_ size of casings (1 X 4 min.) 1X5 color WHITE

Rakes 1st member \_\_\_\_\_ 2<sup>nd</sup> member \_\_\_\_\_ Depth of overhang \_\_\_\_\_

Window: (make/model) ANDERSEN 400 SERIES material VINYL CLAD color WHITE  
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):  
true divided lights \_\_\_ exterior glued grills  grills between glass \_\_\_ removable interior \_\_\_ None \_\_\_

Door style and make: JELD WEN 9 LT OVER 2 PANEL material FIBER GLASS Color: FOREST GREEN TO MATCH SLIDING BARN DOOR

Garage Door, Style \_\_\_\_\_ Size of opening \_\_\_\_\_ Material \_\_\_\_\_ Color \_\_\_\_\_

Shutter Type/Style/Material: \_\_\_\_\_ Color: \_\_\_\_\_

Gutter Type/Material: \_\_\_\_\_ Color: \_\_\_\_\_

Deck material: wood \_\_\_ other material, specify \_\_\_\_\_ Color: \_\_\_\_\_

Skylight, type/make/model/: \_\_\_\_\_ material \_\_\_\_\_ Color: \_\_\_\_\_ Size: \_\_\_\_\_

Sign size: \_\_\_\_\_ Type/Materials: \_\_\_\_\_ Color: \_\_\_\_\_

Fence Type (max 6' ) Style \_\_\_\_\_ material: \_\_\_\_\_ Color: \_\_\_\_\_

Retaining wall: Material: \_\_\_\_\_

Lighting, freestanding \_\_\_\_\_ on building \_\_\_\_\_ illuminating sign \_\_\_\_\_

OTHER INFORMATION: \_\_\_\_\_

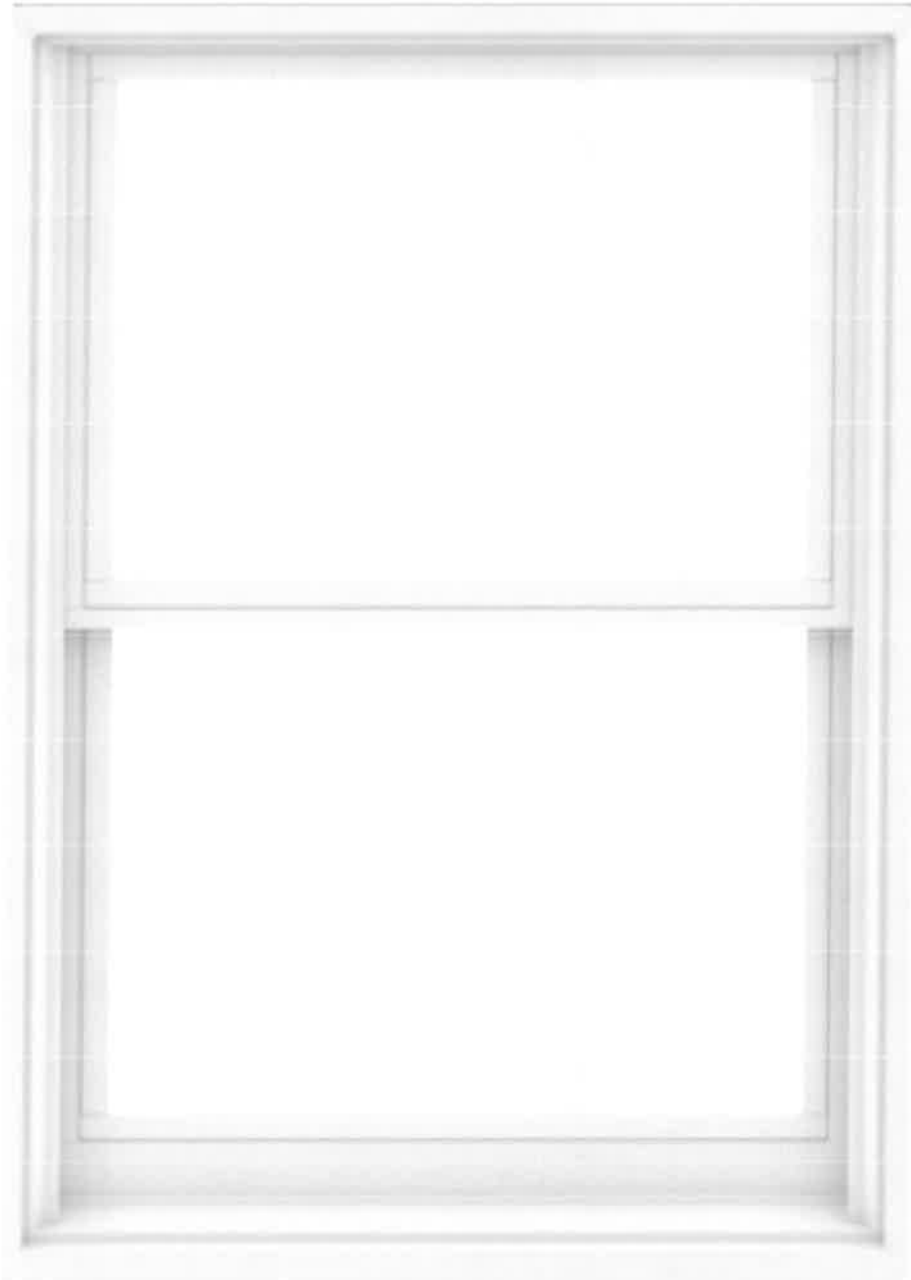
**THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED**

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) Paul G. Richard Print Name PAUL G. RICHARD



## 400 Series Double-Hung Window



Interior

Exterior

# Booth-Pro™ Fiberglass Exterior Door: 1/2 View 9-Light 2-Panel

← 3'-0 →

GLUED ON EXTERIOR  
& INTERIOR GRILLS

PAINTED DARK GREEN  
TO MATCH SLIDING  
BARN DOOR

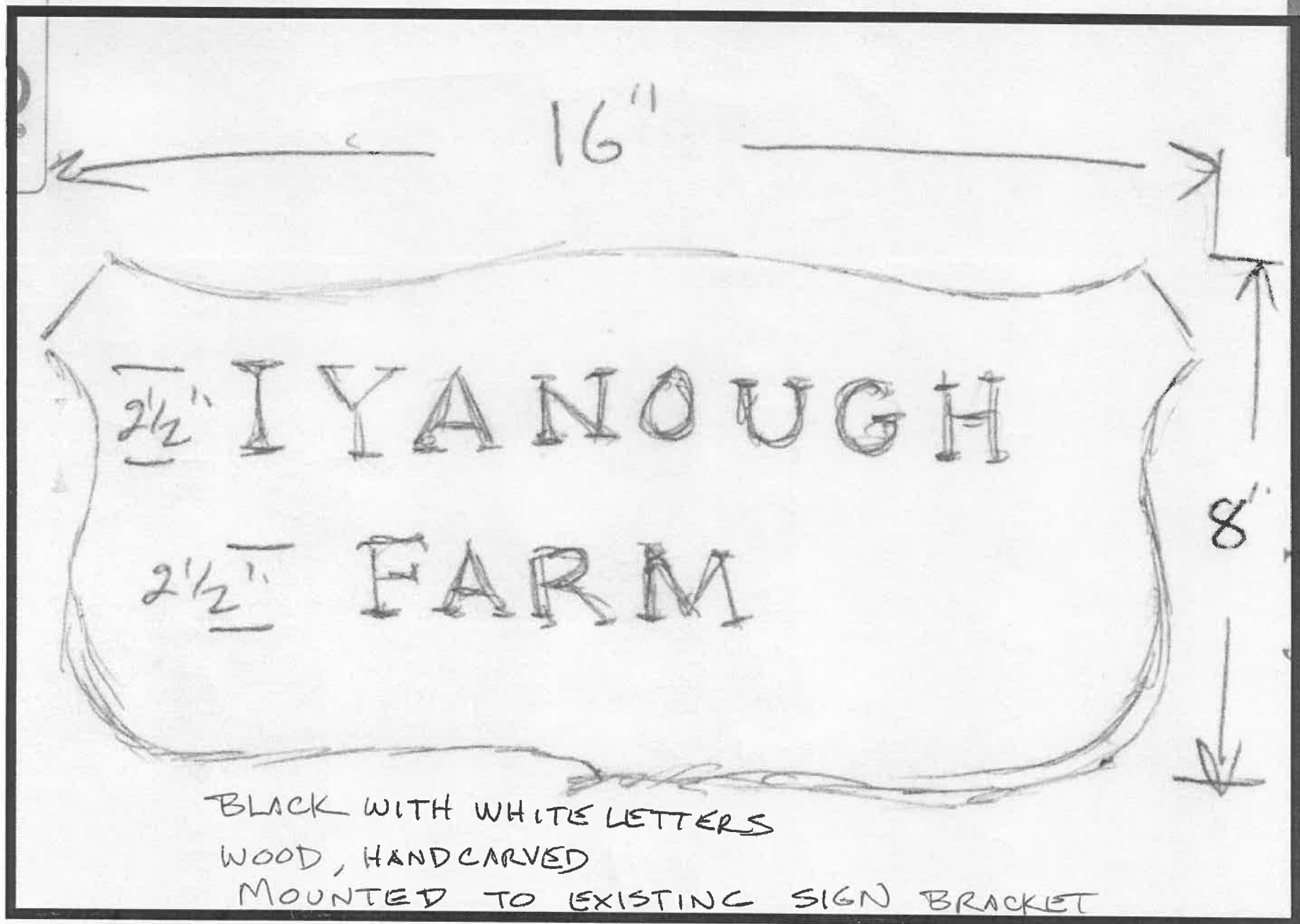


↑  
6'-8"  
↓

Reset +



LYANOUGH  
FARM



16"

8"

2 1/2" IYANOUGH

2 1/2" FARM

BLACK WITH WHITE LETTERS

WOOD, HANDCARVED

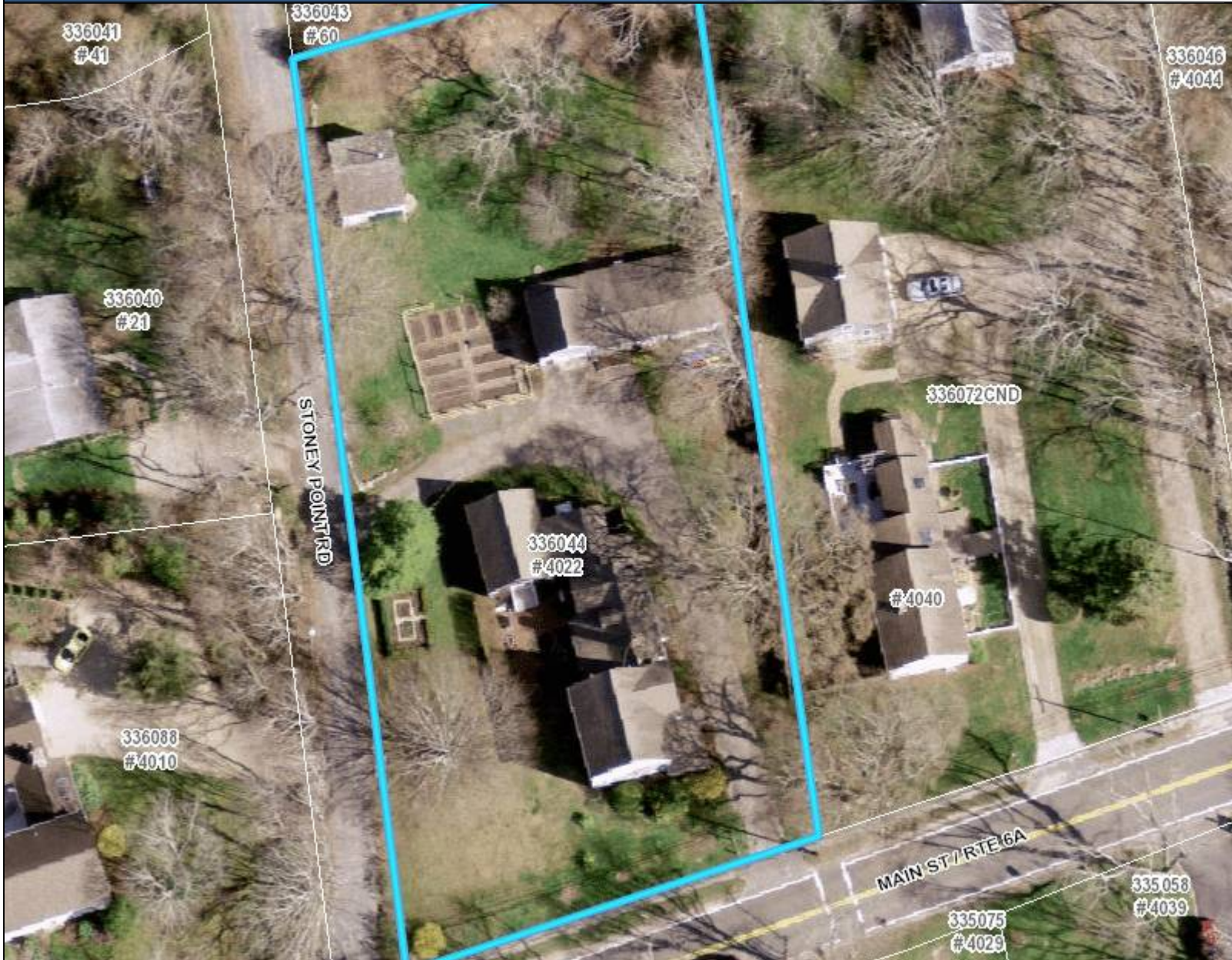
MOUNTED TO EXISTING SIGN BRACKET





### Legend

Road Names



Map printed on: 9/1/2020



Approx. Scale: 1 inch = 42 feet



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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

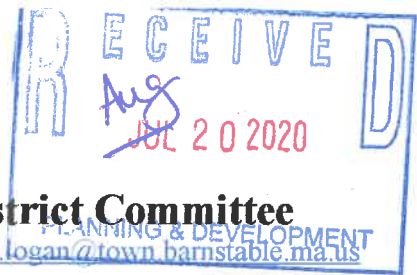
508-862-4624

gis@town.barnstable.ma.us

## Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 336044

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
335030	MCKENNEY, PETER C & MAUREEN T		PO BOX 461		CUMMAQUID	MA	02637
335031	MACNAMEE, ROBERT T & COLLEEN T		4019 MAIN ST		CUMMAQUID	MA	02637
335075	BARBER, JANIE		28 KALMIA WAY		CENTERVILLE	MA	02632
336040	DAVIS, STEPHEN S TR	S C R REALTY TRUST	PO BOX 355		CUMMAQUID	MA	02637
336043	DOW, WILLIAM STONE & GOLDSTEIN, JULIA R		PO BOX 366		CUMMAQUID	MA	02637
336044	RICHARD, PAUL G & NANCY L		P O BOX 196		CUMMAQUID	MA	02637
33607200A	GRANDE, STEPHEN E III		60 UNION AVE		SUDBURY	MA	01776
33607200B	PORTER, STEPHEN D & LOUISE G		PO BOX 273		CUMMAQUID	MA	02637
336088	LIPTACK, DONALD W & ALFANO, DIANE R		PO BOX 543		CUMMAQUID	MA	02637



# Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

## APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

*Check all categories that apply;*

- 1. Building construction:  New  Addition  Alteration
- 2. Type of Building:  House  Garage/barn  Shed  Commercial  Other
- 3. Exterior Painting, roof  new roof  color/material change, of trim, siding, window, door
- 4. Sign:  New Sign  Existing Sign  Repainting Existing Sign
- 5. Structure:  Fence  Wall  Flagpole  Retaining wall  Tennis court  Other
- 6. Pool  Swimming  Other man-made pool  Solar panels  Other

Type or Print Legibly: \_\_\_\_\_ Date 8/17/20

*NOTE: All applications must be signed by the current owner*

Owner (print): REGAN C JASON Telephone #: 508-400-1815  
Address of Proposed Work: 50 Plum St Village W. Barnstable Map Lot # 195 Parcel 25

Mailing Address (if different) \_\_\_\_\_

Owner's Signature Regan C Jason

Description of Proposed Work: Give particulars of work to be done: Build new 26x36 Detached Garage. LANDSCAPE to original look that is stone Driveway.

Agent or Contractor (print): Scott Ryan Telephone #: 774-235-2836

Address: 10 Dale Terrace Sandwich MA 02563 Email: ryanllc@yahoo.com

Contractor/Agent' signature: [Signature]

*For committee use only* This Certificate is hereby **APPROVED / DENIED**

Date \_\_\_\_\_ Members signatures \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Conditions of approval \_\_\_\_\_

\_\_\_\_\_

**CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies**

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) 8" exposed Poured Concrete

Siding Type: Clapboard \_\_\_ shingle  other \_\_\_  
Material: red cedar \_\_\_ white cedar  other \_\_\_ Color: Natural

Chimney Material: \_\_\_\_\_ Color: \_\_\_\_\_

Roof Material: (make & style) Asphalt Architectural Cedarwood Color: weather wood

Roof Pitch(s): (7/12 minimum) 8/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood \_\_\_ other material, specify \_\_\_\_\_

Size of cornerboards 1x5, 1x6 size of casings (1 X 4 min.) 1x5 color white

Rakes 1st member 1x8 2nd member 1x3 Depth of overhang 8"

Window: (make/model) \_\_\_\_\_ material \_\_\_\_\_ color \_\_\_\_\_  
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):  
true divided lights \_\_\_ exterior glued grills \_\_\_ grills between glass \_\_\_ removable interior \_\_\_ None \_\_\_

Door style and make: therma trace 9 lite material K.berg glass Color: white

Garage Door, Style 5 Panel Size of opening 10'x8' Material Aluminum Color white

Shutter Type/Style/Material: \_\_\_\_\_ Color: \_\_\_\_\_

Gutter Type/Material: Alum Gutter Color: white

Deck material: wood \_\_\_ other material, specify \_\_\_\_\_ Color: \_\_\_\_\_

Skylight, type/make/model/: \_\_\_\_\_ material \_\_\_\_\_ Color: \_\_\_\_\_ Size: \_\_\_\_\_

Sign size: \_\_\_\_\_ Type/Materials: \_\_\_\_\_ Color: \_\_\_\_\_

Fence Type (max 6' ) Style \_\_\_\_\_ material: \_\_\_\_\_ Color: \_\_\_\_\_

Retaining wall: Material: \_\_\_\_\_

Lighting, freestanding \_\_\_\_\_ on building \_\_\_\_\_ illuminating sign \_\_\_\_\_

OTHER INFORMATION: \_\_\_\_\_

**THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED**

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name 8/17/20

**4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED**

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.

**Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:

- o Name of applicant, street address, assessor's map and parcel number.

Name address and telephone number of the plan preparer, plan date, & dates of revisions

- The location of existing and proposed buildings and structures, and lot lines.
- Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
- Existing buffer areas to remain.
- Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
- The location, number, size and name of proposed new trees and plants.
- Driveway, parking areas, walkways, and patios indicating materials to be used.
- Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
- All proposed exterior lighting and signs.

**Sketch or photos of adjacent properties**, (1 copy only)

A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.

**Photographs of all sides of existing buildings** to remain, or being added to .

Please complete the following:

**Existing building, foot print:**

Building 1 120 shed sq. ft. Building 2 120 shed

**Existing Building, gross floor area, including area of finished basement:**

Building 1 120 shed sq. ft. Building 2 120 shed

**New building or addition, foot print:**

Building 1 934 Detached Garage sq. ft. Building 2 \_\_\_\_\_

**New Building or addition, gross floor area, including area of finished basement:**

Building 1 934 Detached Garage sq. ft. Building 2 \_\_\_\_\_



**5. SIGNS**

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

**6. SOLAR PANELS**

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

**7. FEES**

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification  
*Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.*
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) [Signature] Print Scott Repan

Date: 8/17/20 Tel. Phone no's: 774-238-2836  
Email ryan.lee@yahoocom

**NOTE:** The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS

**ATTENDANCE AT MEETINGS:** If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

**APPEAL PERIOD APPROVED PLANS PLAN PICK UP**

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14<sup>th</sup> day falls on a Saturday, your plans will be available the afternoon of the following business day.

**DENIALS**

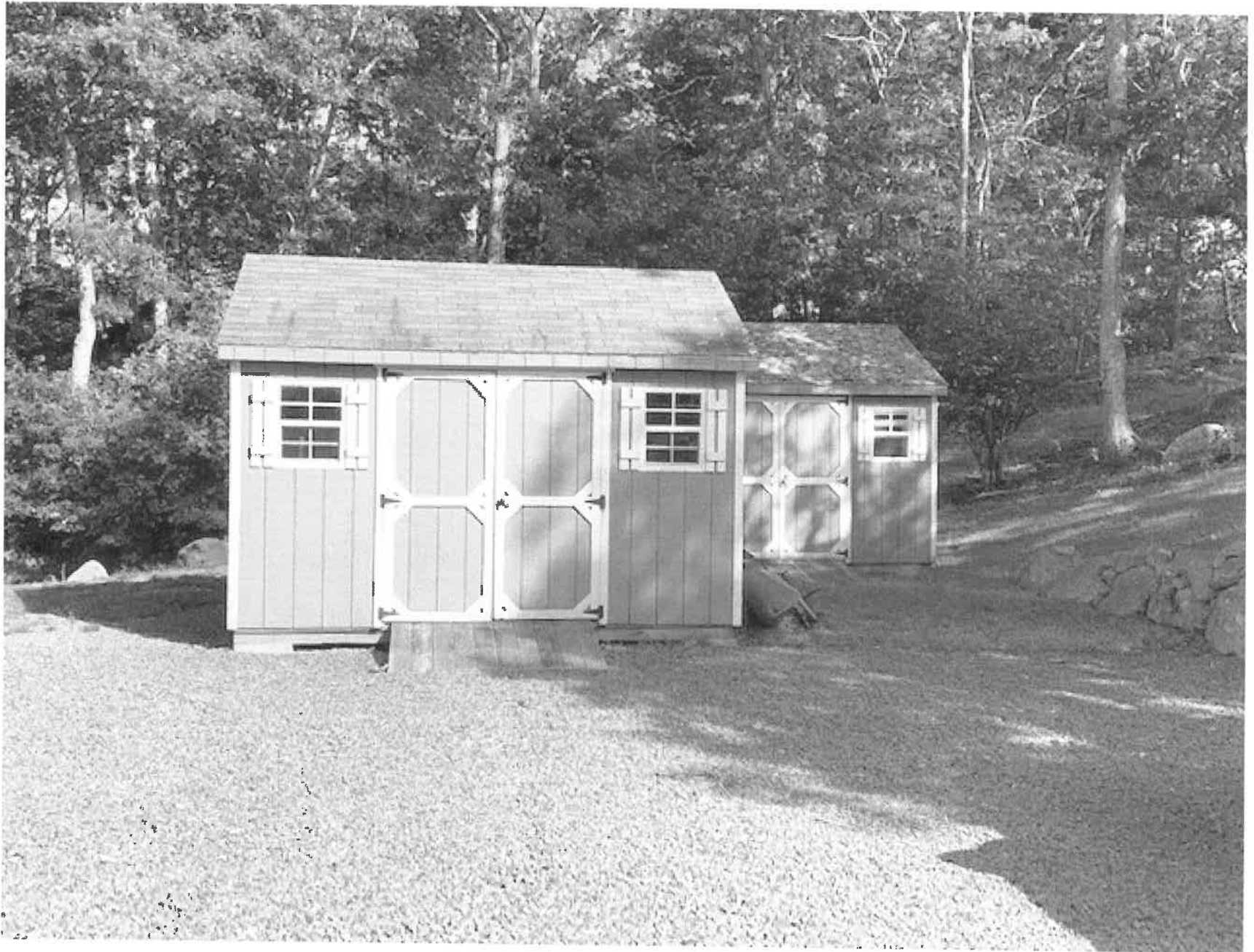
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**BUILDING PERMITS, OTHER AGENCY CONTACTS**

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

*All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.*

**QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787**

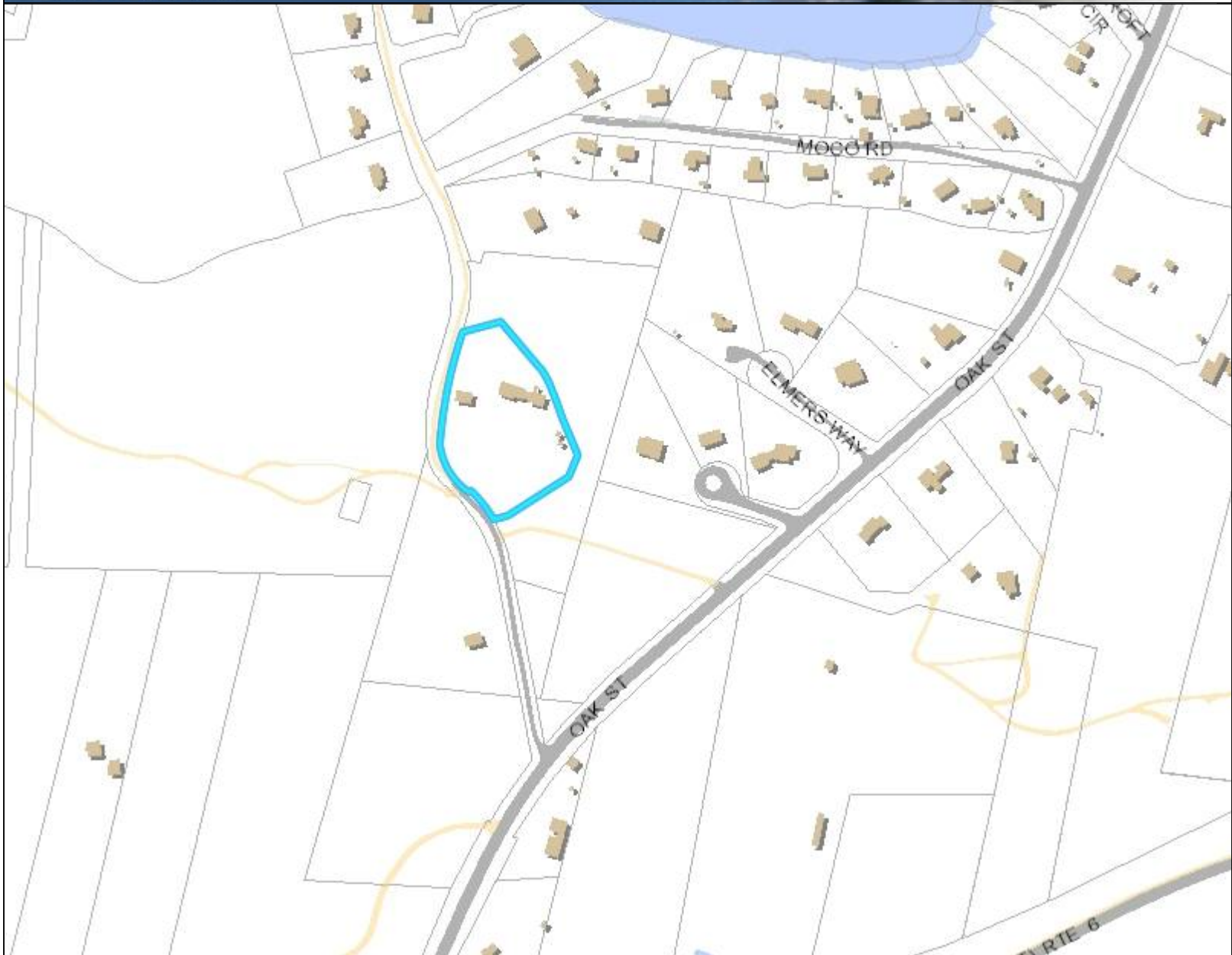








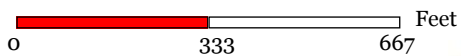




### Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Parking Lots
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - Bridge
  - Paved Median
- Water Bodies

Map printed on: 9/1/2020



Approx. Scale: 1 inch = 333 feet



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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

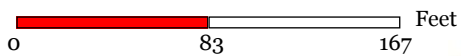
gis@town.barnstable.ma.us

### Legend

Road Names



Map printed on: 9/1/2020



Approx. Scale: 1 inch = 83 feet



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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

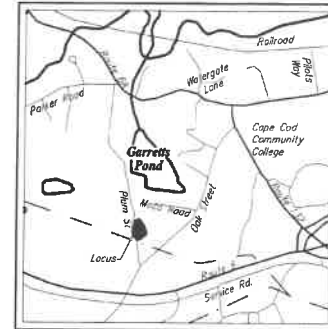
508-862-4624

gis@town.barnstable.ma.us

## Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 195025

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
195011	MORTLAND, THOMAS F & REGINA		239 NORTH ST		DUXBURY	MA	02332
195025	JASON, REGAN C		50 PLUM STREET		WEST BARNSTABLE	MA	02668
195025001	ROWLAND, STEPHEN H	%MORIZIO, DANIEL R S	35 MELBOURNE ROAD		HYANNIS	MA	02601
195033	BARNSTABLE, TOWN OF (CON)	CONSERVATION COMMISSION	200 MAIN STREET		HYANNIS	MA	02601



**LOCUS MAP**

SCALE 1"=2000'±

ASSESSORS MAP 195 PARCEL 25

**ZONING SUMMARY**

ZONING DISTRICT: RF DISTRICT

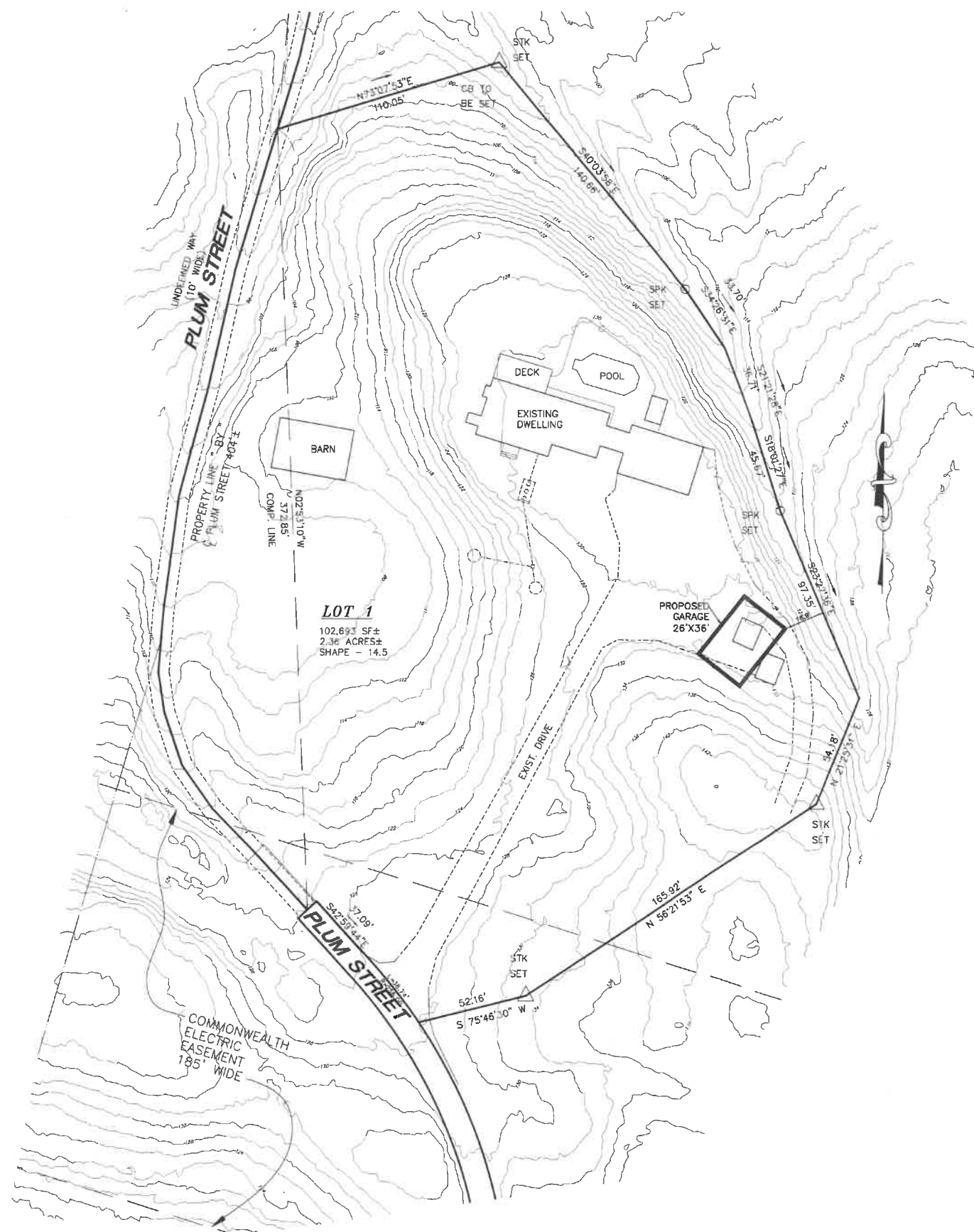
MIN. LOT SIZE	87,120 S.F.
MIN. LOT FRONTAGE	150'
MIN. FRONT SETBACK	30'
MIN. SIDE SETBACK	15'
MIN. REAR SETBACK	15'
MAX. BUILDING HEIGHT	30'

SITE IS LOCATED WITHIN THE RESOURCE PROTECTION OVERLAY DISTRICT

SITE IS LOCATED WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT

**NOTES**

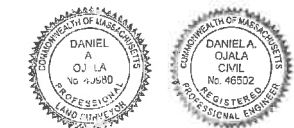
1. DATUM IS NAD83
2. THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DISSAFE (1-888-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.
4. EXISTING SEPTIC LOCATION PER TIE-CARD ON FILE WITH TOWN.



**SITE PLAN**  
OF  
**#50 PLUM STREET**  
**WEST BARNSTABLE, MA**  
PREPARED FOR  
**REGAN JASON**

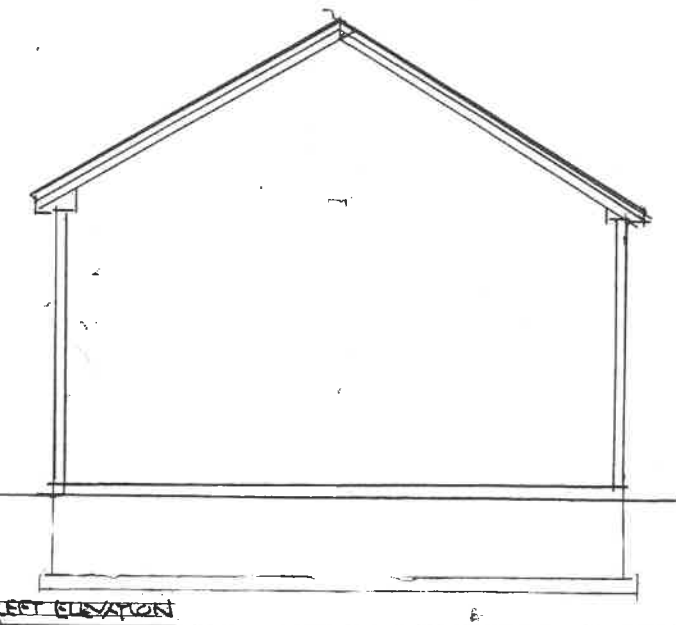
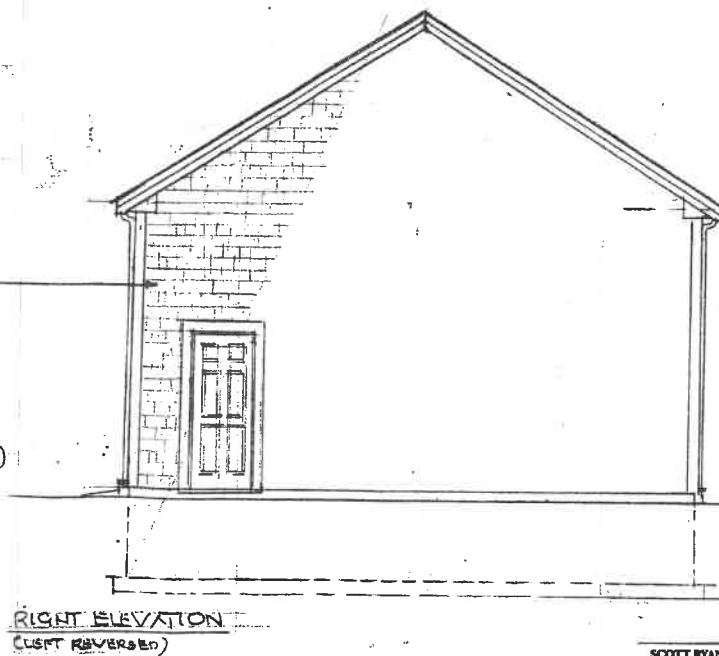
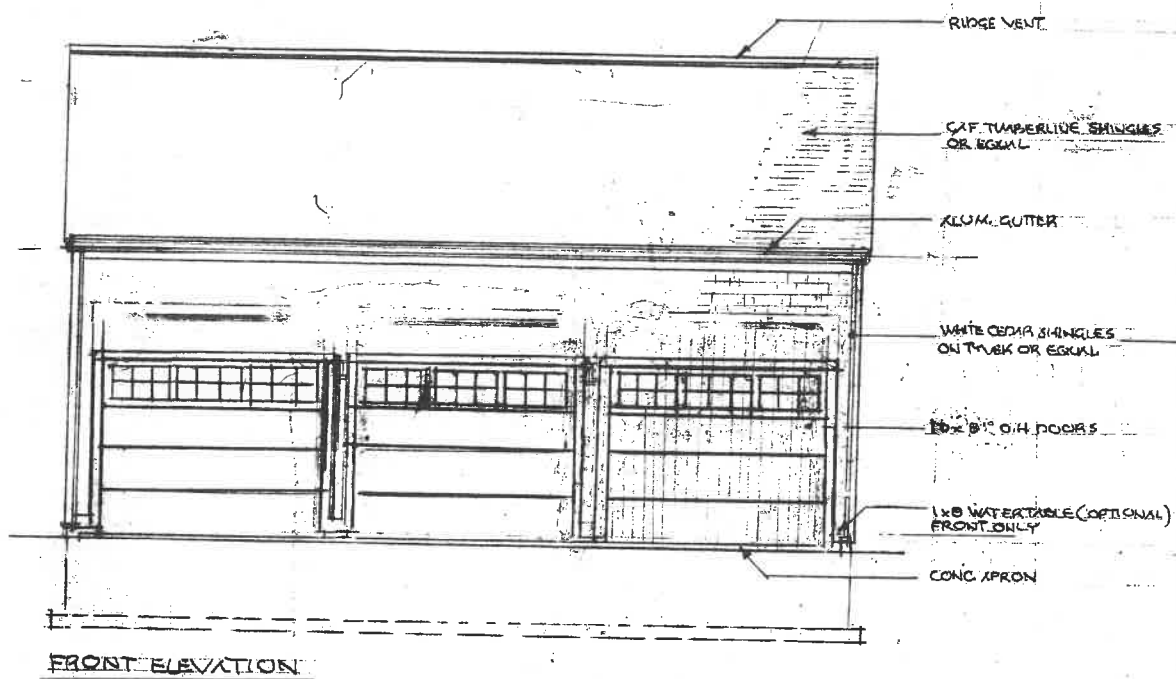
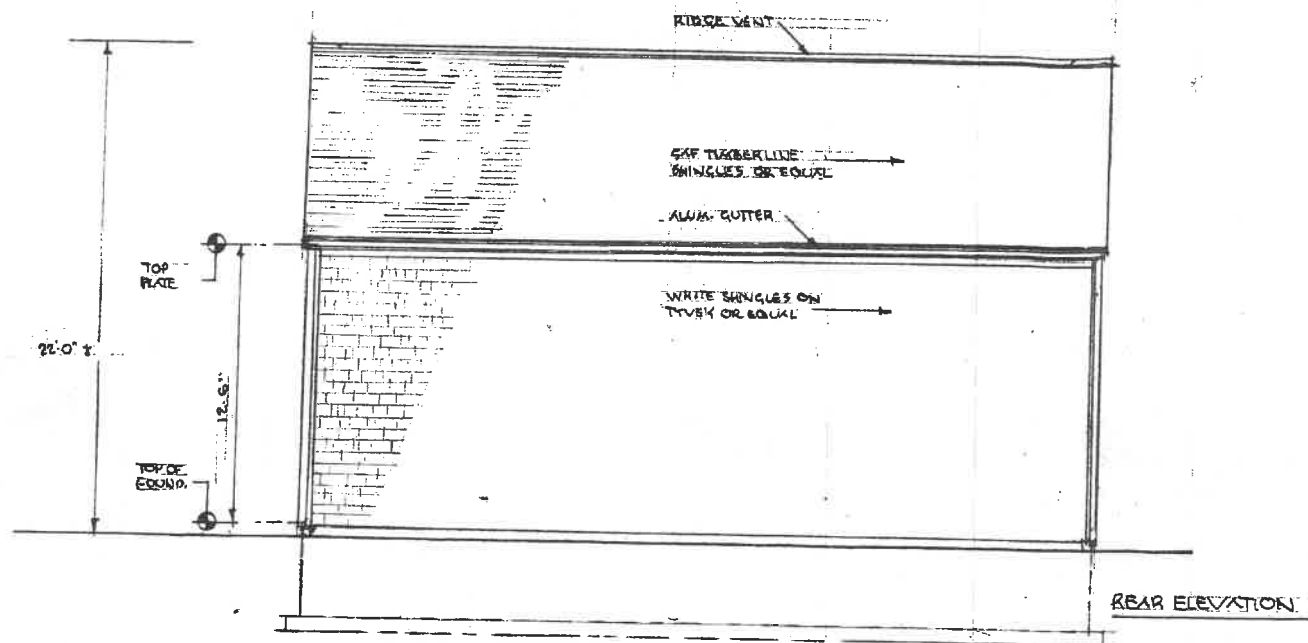
DATE: APRIL 20, 2020

Scale: 1"= 30'



DATE 4-20-2020  
DANIEL A. OJALA, P.E., P.L.S.

off 508-362-4541  
fax 508-362-9880  
downcape.com ©  
**down cape engineering, inc.**  
civil engineers  
land surveyors  
939 Main Street (Rte 6A)  
YARMOOUTHPORT MA 02675



SCOTT RYAN  
 President  
 Phone/Fax: 508.888.8300  
 Cell: 774.238.2886  
 P.O. Box 409  
 Sandwich, MA 02563  
 Email: ryanll@ryhoo.com  
 www.ryanconstruction.com

36x26 3 BAY GARAGE  
 50 PLUM STREET  
 WEST BARNSTABLE, MA  
 RYAN RYAN

SCALE: 1/8" = 1'-0"  
 DATE: 08/20/09  
 11-43

Bruce Devlin Des  
 1-774-321-6726  
 Copyright 2009



**Barnstable Old Kings Highway Historic District Committee**  
200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml [erin.joan@town.barnstable.ma.us](mailto:erin.joan@town.barnstable.ma.us)

**APPLICATION, CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

*Check all categories that apply;*

- 1. Building construction:  New  Addition  Alteration
- 2. Type of Building:  House  Garage/barn  Shed  Commercial  Other
- 3. Exterior Painting, roof  new roof  color/material change, of trim, siding, window, door
- 4. Sign :  New Sign  Existing Sign  Repainting Existing Sign
- 5. Structure:  Fence  Wall  Flagpole  Retaining wall  Tennis court  Other
- 6. Pool  Swimming  Other man-made pool  Solar panels  Other

Type or Print Legibly: \_\_\_\_\_ Date 8/20/20

*NOTE All applications must be signed by the current owner*

Owner (print): JOHN & MAUREEN HEARNS Telephone #: 407 913 5060  
Address of Proposed Work: SOMERSON WAY Village CUMMAQUID Map Lot # 356-06

Mailing Address (if different) \_\_\_\_\_  
Owner's Signature \_\_\_\_\_

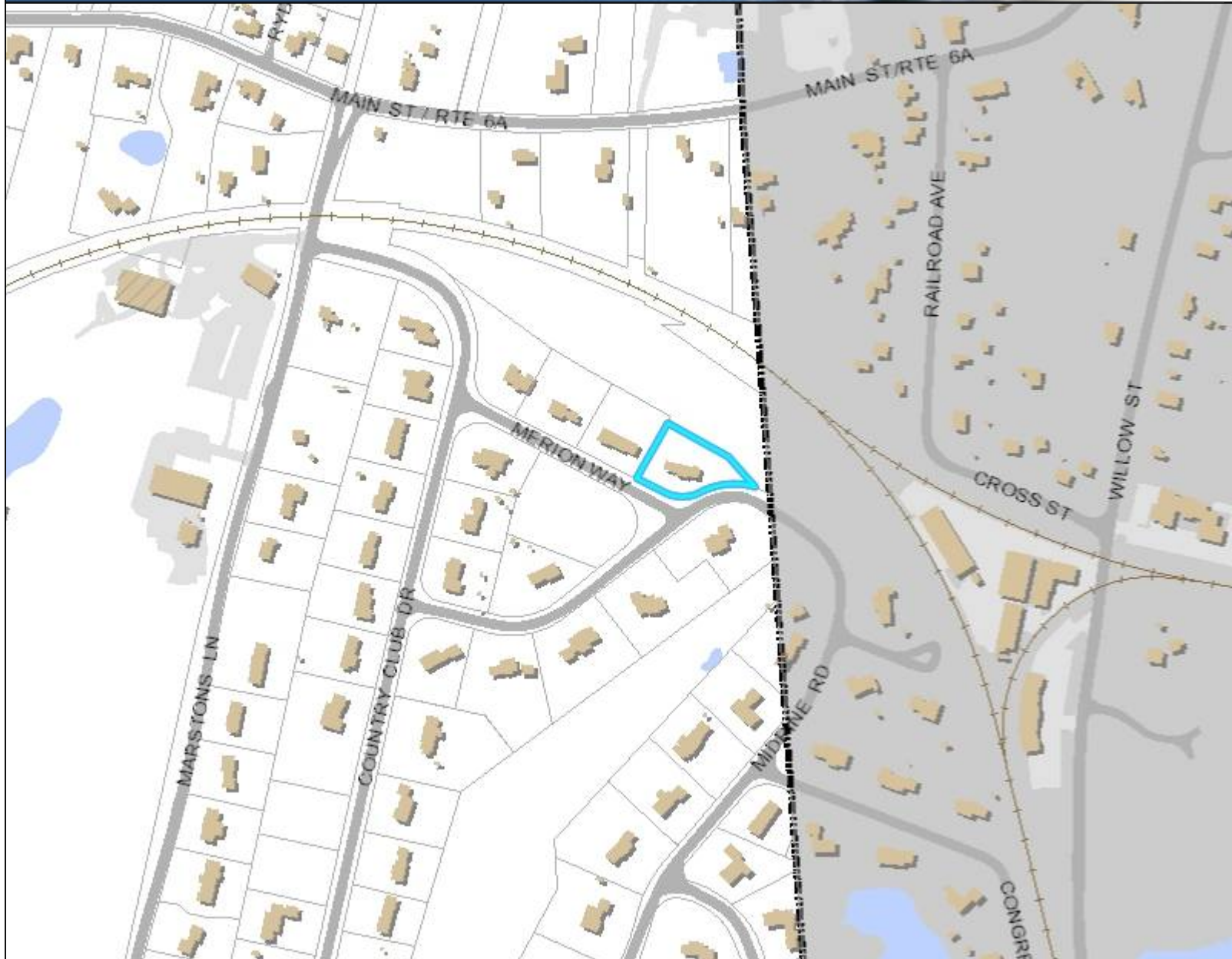
Description of Proposed Work: Give particulars of work to be done:  
WE WOULD LIKE APPROVAL TO INSTALL AN IN GROUND POOL AND ADJACENT SHED WITH A CODE COMPLIANT FENCE AT OUR HOME

Agent or Contractor (print): SHORELINE POOLS Telephone #: 508-432-3445  
Address: 32 AMERICAN WAY, DENNIS MA 02660

Contractor/Agent' signature: \_\_\_\_\_

<i>For committee use only</i>	<b>This Certificate is hereby APPROVED / DENIED</b>
Date _____	Members signatures _____
_____	
_____	
Conditions of approval _____	
_____	

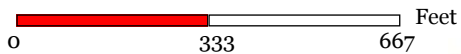




## Legend

- Parcels
- Town Boundary
- + Railroad Tracks
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- Approx. Building
- Buildings
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- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Water Bodies

Map printed on: 9/1/2020



Approx. Scale: 1 inch = 333 feet



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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



### Legend

Road Names



Map printed on: 9/1/2020



Approx. Scale: 1 inch = 42 feet



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367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

## Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 356006

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
350001	CUMMAQUID GOLF CLUB		PO BOX 182		YARMOUTH PORT	MA	02675
350023	SLIVOVSKY, THOMAS R & ROBIN L TRS	SLIVOVSKY FAMILY TRUST	203 S KENNICOTT AVENUE		ARLINGTON HEIGHTS	IL	60005-1651
356005	SOBERGER, KARL H & URSULA M		P O BOX 192		CUMMAQUID	MA	02637
356006	HEARNS, JOHN B		4450 SOUTH PARK AVENUE #414		CHEVY CHASE	MD	20815
356010	ROMAN, MICHAEL J & FAY M		8540 MYSTIC GREENS #4		NAPLES	FL	34113



**CERTIFICATE OF APPROPRIATENESS SPEC SHEET** Please submit **5 copies**

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) \_\_\_\_\_

Siding Type: Clapboard \_\_\_ shingle \_\_\_ other \_\_\_  
Material: red cedar \_\_\_ white cedar \_\_\_ other \_\_\_\_\_ Color: \_\_\_\_\_

Chimney Material: \_\_\_\_\_ Color: \_\_\_\_\_

Roof Material: (make & style) \_\_\_\_\_ Color: \_\_\_\_\_

Roof Pitch(s): (7/12 minimum) \_\_\_\_\_ (specify on plans for new buildings, major additions)

Window and door trim material: wood \_\_\_ other material, specify \_\_\_\_\_

Size of cornerboards \_\_\_\_\_ size of casings (1 X 4 min.) \_\_\_\_\_ color \_\_\_\_\_

Rakes 1st member \_\_\_\_\_ 2nd member \_\_\_\_\_ Depth of overhang \_\_\_\_\_

Window: (make/model) \_\_\_\_\_ material \_\_\_\_\_ color \_\_\_\_\_  
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):  
true divided lights \_\_\_ exterior glued grills \_\_\_ grills between glass \_\_\_ removable interior \_\_\_ None \_\_\_

Door style and make: \_\_\_\_\_ material \_\_\_\_\_ Color: \_\_\_\_\_

Garage Door, Style \_\_\_\_\_ Size of opening \_\_\_\_\_ Material \_\_\_\_\_ Color \_\_\_\_\_

Shutter Type/Style/Material: \_\_\_\_\_ Color: \_\_\_\_\_

Gutter Type/Material: \_\_\_\_\_ Color: \_\_\_\_\_

Deck material: wood \_\_\_ other material, specify \_\_\_\_\_ Color: \_\_\_\_\_

Skylight, type/make/model/: \_\_\_\_\_ material \_\_\_\_\_ Color: \_\_\_\_\_ Size: \_\_\_\_\_

Sign size: \_\_\_\_\_ Type/Materials: \_\_\_\_\_ Color: \_\_\_\_\_

Fence Type (max 6' ) Style POOL CODE ORNAMENTAL material: ALUMINUM color: HUNTER GREEN

Retaining wall: Material: \_\_\_\_\_

Lighting, freestanding \_\_\_\_\_ on building \_\_\_\_\_ illuminating sign \_\_\_\_\_

OTHER INFORMATION: \_\_\_\_\_

**THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED**

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name JOHN B HEARNS

**5. SIGNS**

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

**6. SOLAR PANELS**

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

**7. FEES**

- Fees according to schedule, made payable to the Town of Barnstable
- \$17.25 check made payable to the Barnstable Patriot for the required legal ad notification
- First Class Postage Stamps for abutter notification. Please contact the Barnstable Old King's Highway Office

**SIGNED** (plan preparer) \_\_\_\_\_ Print JOHN B. HEARDS  
 Date: 8/20/20 Tel. Phone no's: 407 913 5060  
 Email: jbheards@bellsooth.net

**NOTE:** The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS

**ATTENDANCE AT MEETINGS:** If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

<b>APPEAL PERIOD</b>	<b>APPROVED PLANS</b>	<b>PLAN PICK UP</b>
----------------------	-----------------------	---------------------

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**DENIALS**

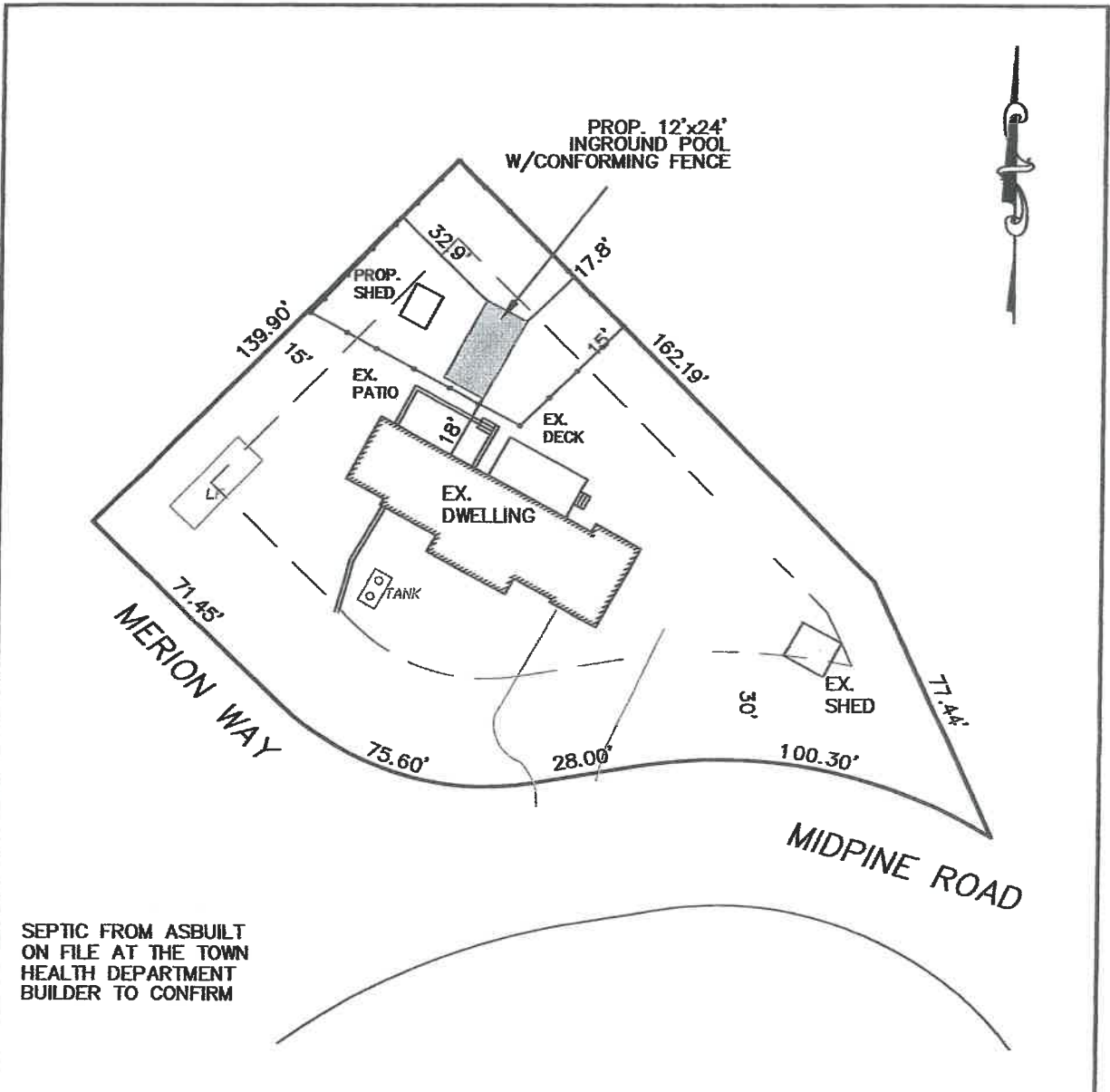
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**BUILDING PERMITS, OTHER AGENCY CONTACTS**

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.  
 Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038  
 Conservation Division 508-862-4093 Health Division 508-862-4644

**QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787**



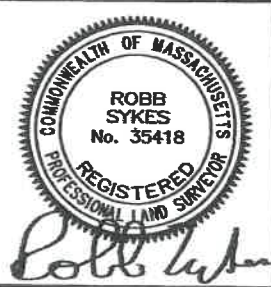


SEPTIC FROM ASBUILT  
ON FILE AT THE TOWN  
HEALTH DEPARTMENT  
BUILDER TO CONFIRM

**CERTIFIED PLOT PLAN**

I CERTIFY THAT THE IMPROVEMENTS SHOWN  
HAVE BEEN LOCATED BY A FIELD SURVEY.

*Robb Sykes* 5-26-2020  
ROBB SYKES, P.L.S. DATE



MBLU 356-06  
50 MERION WAY  
BARNSTABLE, MA

DATE: 5-26-2020	DRAWN: RBS
SCALE: 1"=40'	JOB #: S612
	DWG. CPP

**EASTBOUND  
LAND SURVEYING, INC.**  
P.O. BOX 442  
FORESTDALE, MA 02644  
508-477-4511





Photo: Heidi Wild Photography. Landscaping: Contemporary Landscaps, Vineyard Haven.

Example of pool - 12' x 24'  
50 Merion Way  
WMM AQUIT

Contractor: Shoreline Pools  
Dennis, MA



# Shoreline Pools, Inc

[www.shorelinepoolsinc.com](http://www.shorelinepoolsinc.com)

32 American Way – South Dennis, MA 02660 – PH: 508-432-3445 Fax: 508-432-0110

## BELOW GROUND POOL PROPOSAL / CONTRACT

NAME: John & Maureen Hearn  
 ADDRESS: 50 Merion Way  
 Cummaquid Heights, MA (Barnstable)  
 PHONE: 407-913-5060  
 EMAIL: [jbhearns@bellsouth.net](mailto:jbhearns@bellsouth.net)

DESCRIPTION: Vinyl Liner Swimming Pool Proposal DATE: June 27, 2020

This contract confirms our agreement to sell you the following goods on the terms and provisions set forth. Please read carefully to eliminate any misunderstandings. Thank you

<u>Item</u>	<u>Description</u>	<u>Price</u>
Pool Size:	12' x 24'	\$22,000.00
Pool Shape:	Rectangle	Included
Step Style:	Shallow end steps	Included
Pool Depth:	3' shallow / 5' Deep end	Included
Liner Pattern:	To be announced	Included
Filter Size/Type:	Hayward 3020 Cartridge Filter	Included
Pump Size:	Hayward Tri Star Pump 1 hp.	Included
Pool Lighting:	(1) LED lights in pool	\$600.00
Sanitation Type:	Salt Chlorination T9	Included with Omni Control
Handrail & Ladder :	(1) Handrail (1) deep end ladder	Included
Decking:	Chatham Blue patio 500 sq. ft.	\$12,500.00
Coping Style:	Chatham Blue Coping	\$4,320.00
Pool Heater:	Hayward H250	\$2,800.00
Maintenance Eq.:	Standard vac, pole, net, & brush	Included
Other:	Electrical upgrade	\$1,100.00
Other:	Patio Bonding to meet electrical code	\$3,500.00
Auto Cover:	Automatic Rolling safety cover	\$16,000.00





Electrical:	Hook up of all pool equipment & cover	\$4,500.00
Controls:	Omni Logic control panel. Will allow control from any smart phone or tablet and all pool functions, includes salt system. (requires cat5 connection to homes ISP)	\$5,200.00
<b><i>Base Pool price for above items:</i></b>		<b><u>\$76,020.00</u></b>
<b><u>This price reflects all above described items.</u></b>		

**Please note:** Shoreline will only be responsible for the items listed in detail above. Please do not hesitate to call us with any specific questions in regards to this proposal.

THANK YOU FOR CALLING SHORELINE POOLS

### SCHEDULE OF PAYMENTS

#### \$2,500.00 Deposit Requirement

**A payment Schedule will be made upon acceptance of the proposal.**

***These payments are due on the day of rendering. If you have any questions, please do not hesitate to call.***

#### TERMS AND CONDITIONS

Prices quoted are valid for 30 days. Deposit is due at time of signing of contract, 2<sup>nd</sup> payment is due at commencement. The 3<sup>rd</sup> payment is due the day of footing inspection. 4<sup>th</sup> payment is due the day the liner is installed. 5<sup>th</sup> and final payment due the day of start-up. Outstanding balances beyond 30 days will be assessed a monthly service charge of 1.5%. Customer will be held responsible for any and all attorney's fees of Shoreline Pools if unpaid balance results in a small claim action. All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. Any haul out of fill will be charged accordingly. Any large rock excavation will be charged extra. Any ground water encountered due to high water table will be charged accordingly. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

**SHORELINE POOLS WILL:** (1) furnish and install the swimming pool described with accessories as selected by the owner as indicated herein; (2) provide for normal excavation for pool to be constructed, but if it encounters rock or other hard matter or difficult material, or water, or any other obstacles or obstructions, it is agreed that the removal of such obstacles or obstructions will be the owner's responsibility as this contract presumes the area to be excavated is free of such obstructions; (3) exercise due care but will not be responsible for unavoidable delay or damage in the ordinary and usual process of excavating and installing the pool and accessories, including ingress and egress; (4) exercise due care in the installation of the liner but cannot guarantee that it will be completely wrinkle-free; (5) provide liability insurance relating to construction and installation of said pool until the time it is accepted by the owner.

**SHORELINE POOLS WILL NOT:** (1) be responsible for any damage to pool or equipment due to underground or surface water conditions which may arise at the site; (2) be responsible for natural acts of God, emptying of pool by owner without presence of contractor's representatives and any changes in the surface area made by owner which may relate to drainage or water conditions; (3) be responsible for any delay caused by strike, weather conditions, unavailability of material, or delays occasioned by owner in the removal for preparation of site; (4) be responsible for any damage done by it to trees, lawns, shrubs, and flowers as a result of its work in installing or obtaining ingress and egress to the site area. In the event any damage shall be incurred by owner as the result of such installation, owner shall be responsible for such restoration; (5) provide landscaping, it will be at separate costs to owner.

**SHORELINE POOLS WARRANTS:** (1) that all material used in completing the pool installation contracted for herein, will be of high quality, and that all work performed on the pool and site will be done in a competent and workmanlike manner. If any substantial defect occurs in the workmanship of the pool, written notice should be given in writing to Shoreline Pools at the listed address. This warranty does not extend to any shifting or settling of earth in excavation area caused by rains or flooding; (2) Assembled units, such as heaters, pumps, motors, and filtration plants are subject to manufacturer's guaranty or warranty and no claim shall be filed under this warranty.

**OWNERS WILL:** (1) be responsible for the furnishing of plans and permits required by the local government body; (2) for compliance with any codes or ordinances prohibiting or relating to the construction of the pool upon the premises; (3) be responsible for bonding and electrical inspections as required by the local government body; (4) be responsible for location of the pool at his property site, together with all setbacks and side yard requirements; (5) provide both ingress and egress to and from pool site for power excavating equipment and trucks, if required; (6) be responsible under "Excavation," for the cost of clearing the site for pool, including the removal of trees, pipes or other obstructions, and will furnish any power required for the installation of the pool, filter, installation equipment and appliances; (7) be responsible for all preparations of the site, including the removal of trees, pipes, rocks and other hard matter, or which may be done by Shoreline Pools at its option, for an additional charge; (8) be responsible for all current carrying wiring, lighting, underwater lights and electrical appliances to be installed in pool area; (9) In event pool is to be financed, accomplish any documents required, by appropriate finance agency in order to effect



**BREACH OF CONTRACT:** In the event the owner or owners, or co-signers, or both fail to comply with the terms of this agreement, Shoreline Pools may, at its option, utilize all available legal remedies to cure the breach. In the event that any part of this contract is required to be turned over to Shoreline Pool's attorney, for the collection thereof, it is agreed that the remaining balance of the contract plus reasonable attorney's fees and all applicable costs shall be the measure of damages.

**OWNERS WARRANT AND ACKNOWLEDGE:** (1) that they own, and until the pool is completed, will continue to own the premises mentioned and that their equity in the premises shall be security for payment of the sums called for in this contract; (2) that, in the event of any variance of planning board action, they will provide the same and notify Shoreline Pools in writing, as to any and all terms and conditions of said zoning or planning matters; (3) that they have read and accept the contract, and this contract constitutes the entire agreement between the parties, and that there are no agreements, promises or warranties except those expressly set forth herein which have been made by Shoreline Pools, or its duly authorized agent, and that no modifications thereof, shall be alleged by either party, unless placed in writing; (4) that the use of the pool by them constitutes acceptance of pool; (5) In the event that any part of this contract shall be declared illegal or unenforceable the balance of the contract will stand and remain in full force and effect; (6) by signing, owner or owners acknowledge the receipt of a fully executed copy of this contract. Lastly, (7) this contract shall be governed by the laws of the Commonwealth of Massachusetts.

**ACCEPTANCE**

THE ABOVE PRICES, SPECIFICATIONS AND CONDITIONS ARE SATISFACTORY AND ARE HEREBY ACCEPTED. YOU ARE AUTHORIZED TO DO THE WORK AS SPECIFIED. PAYMENT WILL BE MADE AS OUTLINED ABOVE.

SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

**Shoreline Pools Representative**

Signature \_\_\_\_\_

Date \_\_\_\_\_



Find us on  
**Facebook**

[www.shorelinepoolsinc.com](http://www.shorelinepoolsinc.com)





Pod House - Shed

50 Merion Way  
Cummagrud

contractor: Pine Harbor Wood Products  
Hyannis, MA

Notes: shed color to match existing house  
grey with black shutters





326 Yarmouth Rd. | Hyannis, MA 02601 | 508.771.5007 | Fax 508.771.7070 | hyannis@pineharbor.com

259 Queen Anne Rd. | Harwich, MA 02645 | 508.430.2800 | Fax 508.430.1115 | info@pineharbor.com

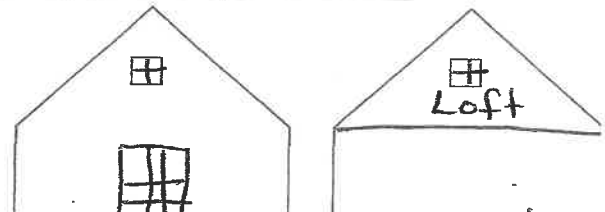
Schedule Date

1.800.368.SHED | Customer Service 1.866.SHEDKIT | www.pineharbor.com

Order By: Melissa Branch: Hyannis Date: June 12, 2020 Invoice #  
 Name: John Hearn Email: Mehcarns@BellSouth.net  
 Address: 50 Merion Way Phone  
 City: Cummaquid State: MA Zip: 02637 Phone: 954-240-4216

DESCRIPTION	AMOUNT	Special Instructions
10X14 Cape Corder	8350 00	
<del>10x14</del> Slab	1400 00	
1X12 Tongue & Groove <del>Cedar Shingles</del>	490 00	
5' French Double Door CF	1050 00	
24" x 41" Pvc DH Window RF		
24" x 41" Pvc DH Window LF		
24" x 41" Pvc DH Window LG	400 00	
2- 4lite Awning Windows Top of RG LG	600 00	
Everlast Clapboard SeaSide Gray - f		
Everlast Clapboard SeaSide Gray - B	700 00	
Predipped Cedar Shingles - Cape Cod Gray - RG LG	1800 00	
Pvc trim		
Arch. Georgetown Gray		
Apr. Shutters LG window - Black	50 00	
Shed Sale	-500 00	
Sub Total	14,340 00	
Tax	896 25	
Installation		
Delivery		
TOTAL	15,236 25	
Deposit		
Check	Cash	Credit Card
		BALANCE

*Second Week of September*



Aluminum POOL CODE fence  
50 MERION WAY  
WIMMABUO

Contractor: Bennett fence  
South Yarmouth, MA



# BENNETT FENCE & ARBOR, INC.

## SALES AGREEMENT

www.bennettfence.com

~ Fully Insured ~

nicole@bennettfence.com  
377 Whites Path • South Yarmouth, MA 02864  
508-398-9992 • Fax: 508-398-6154

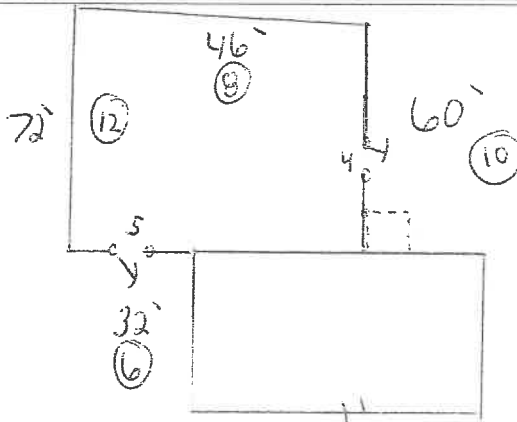
DATE  
6/18/20

NAME: John Hearns  
SHIP TO: REET  
STREET: 50 Merion Way  
CITY: CUMSQUID STATE: ZIP CODE: HOME PHONE: CELL: 407-93-5060  
EMAIL: jbhearns@bellsouth.net

ON YOUR PROPERTY IN ACCORDANCE WITH QUANTITIES AND LAYOUT SHOWN BELOW

QUANTITY	DESCRIPTION	UNIT	TOTAL
36	4x6 Aluminum Pool fence w 3/4 picket		
1	4x5 walk gate		
1	4x4		
29	2x2 post w/caps		
			Material 7200.00
			Labor 2400.00
			<b>TOTAL SALE</b>
	<b>DIGSAFE</b>	<b>INSTALLER</b>	<b>DEPOSIT</b>
			<b>TAX</b> 450.00
			<b>TOTAL</b> 10,050.00
			<b>BALANCE</b>

ONE HALF WITH ORDER BALANCE ON COMPLETION



### TERMS AND CONDITIONS

- 50% DEPOSIT WITH ACCEPTANCE OF CONTRACT. Balance due immediately upon completion.
- A credit card number must be left on file at Bennett Fence. Any remaining balance after job completion will be charged to this credit card. In the event of an overpayment, Bennett Fence will process your refund within fourteen days.
- Installation extras may include labor or in the event that any changes are made to materials or layout as a result of customer's request, compressor and cement charges in the event of striking ledge, rock or other difficult ground.
- No returns on custom orders.
- Customers to incur all collection charges, including attorney's fees, on past due accounts. **ANY UNPAID BALANCE AFTER 30 DAYS IS SUBJECT TO A 1% PER MONTH FINANCE CHARGE.**
- Purchaser to acquire all necessary permits and variances.
- All property lines and grades to be established by purchaser.
- Bennett Fence is not responsible for damage to unmarked underground pipes or wires, septic, irrigation, invisible fences, etc.
- Price is determined by Bennett Fence based upon footage shown but may vary depending upon actual footage used.
- Additional terms apply when written.

BY Phil Bennett ACCEPTED BY \_\_\_\_\_



Town of Barnstable, Planning & Development Department  
 Old King's Highway Historic District Committee  
 200 Main Street, Hyannis, Massachusetts 02601  
 Phone 508.862.4787 Email [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

BARNSTABLE TOWN CLERK  
 2020 AUG 19 AM 10:54

**CERTIFICATE OF EXEMPTION**

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date 3 August 2020 Address of Proposed work, Assessor's Map and lot # 132021003

House # 52 Street Maple Street Village: West Barnstable

This application is for an exemption of the proposed construction on the grounds that work:

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

Description of Proposed Work: 16 x 34 Inground pool w/ pool deck & fence. Fence will be 4' black metal fencing surrounding deck/pool patio only.

Agent or contractor (please print): Stacy McKenna Tel. no. 508 362 4063

Address \_\_\_\_\_

Owner (please print): Andrew & Stacy McKenna Tel. no. 508 362 4063

Owners mailing address: 52 Maple St, WB 02608

Signed, Owner/Contractor/Agent Stacy McKenna

**Checklist**

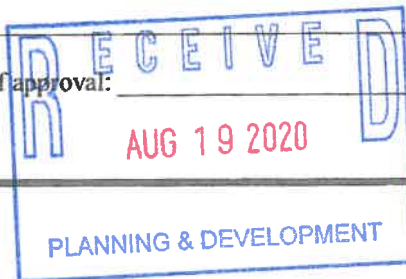
- <sup>2</sup> Four complete sets of the application and supporting documentation
- \$ 40 Filing Fee (see attached schedule)

**For Committee Use Only**



This Certificate is hereby **APPROVED/DENIED** Date: \_\_\_\_\_  
 Committee Members Signatures: \_\_\_\_\_

Conditions of approval: \_\_\_\_\_



RECEIVED  
AUG 19 2020  
PLANNING & DEVELOPMENT

PERIMETER  
IRON • F  
SHO  
ESTATE G



*Final Plat Map 12.05.97*

MAPLE STREET

170.48'

WETLAND

N/F  
PRISCILLA AITTANIEMI

169.55'

N/F  
ALBERT AITTANIEMI

CONC.  
FOUND.

180.00'

134.6'

5.8'

25.7'

N/F  
WILLIAM M. CHASE

LOT 2

44.2'

62'

62'

149.99'

*POOL IS 16" X 34"  
APPROX 62' FROM FOUNDATION*



LOT 3

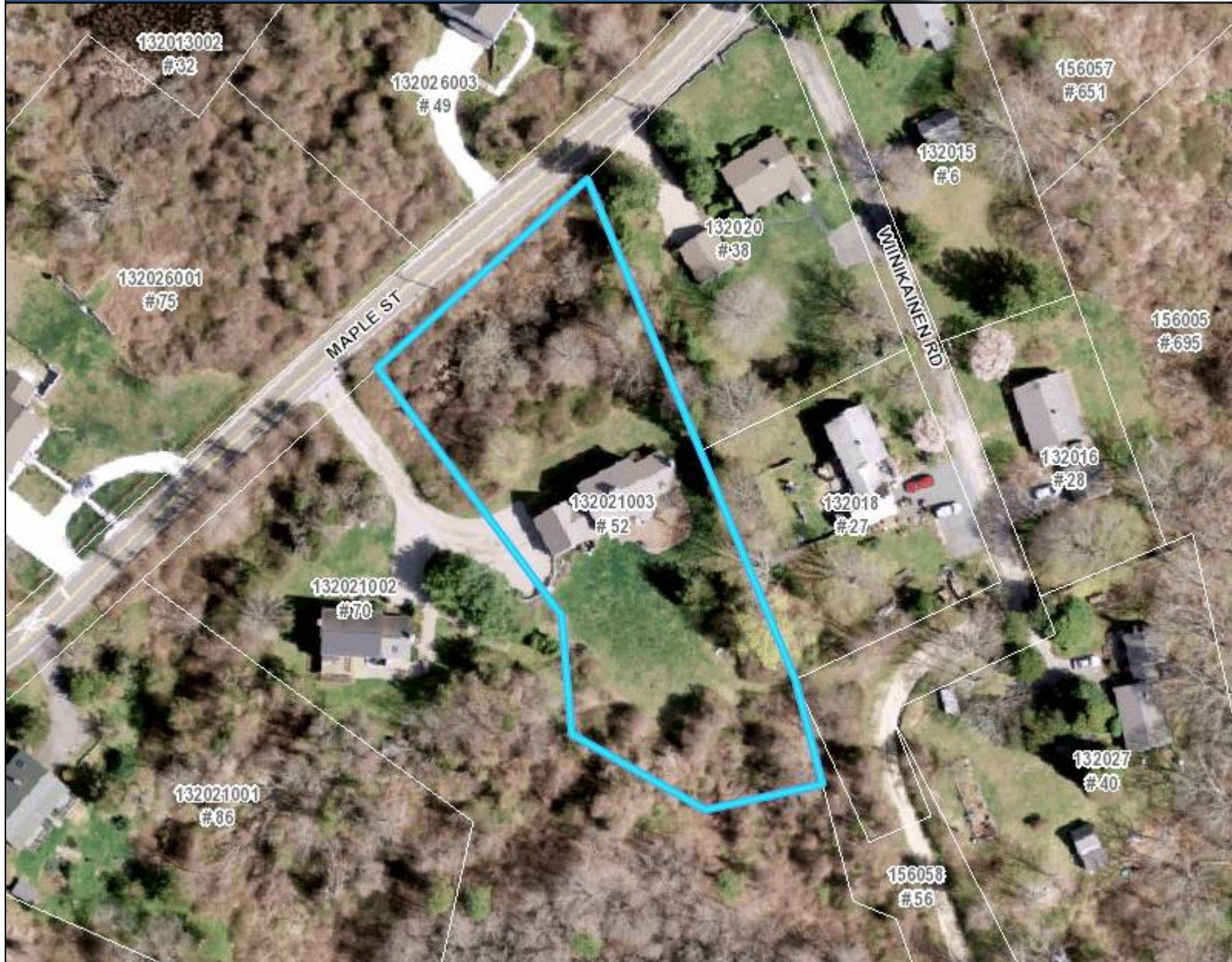
43,700 SF  
1.0 ACRES

67.03'

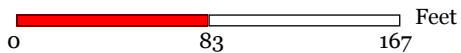


Legend

Road Names



Map printed on: 9/2/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Town of Barnstable, Planning & Development Department  
**Old King's Highway Historic District Committee**  
 200 Main Street, Hyannis, Massachusetts 02601  
 Phone 508.862.4787 Email [erin.loan@town.barnstable.ma.us](mailto:erin.loan@town.barnstable.ma.us)

**CERTIFICATE OF EXEMPTION**

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date August 24, 2020 Address of Proposed work, Assessor's Map and lot # 136-040

House # 17 Street Holway Drive Village: West Barnstable

**This application is for an exemption of the proposed construction on the grounds that work:**

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

Description of Proposed Work: Install 25 Solaria PowerXT-370 all black solar panels on the back side of roof.  
The panels will not be visible from either Holway Dr. or Hillards Hayway, which is the street located behind our house.

Agent or contractor (please print): Solar Rising, LLC Tel. no. 508-744-6284

Address 759 Falmouth Rd, Unit 8, Mashpee, MA 02649

Owner (please print): Mark E. and Margaret O. Barber Tel no. 703-297-9829

Owners mailing address: 17 Holway Dr., West Barnstable, MA 02668

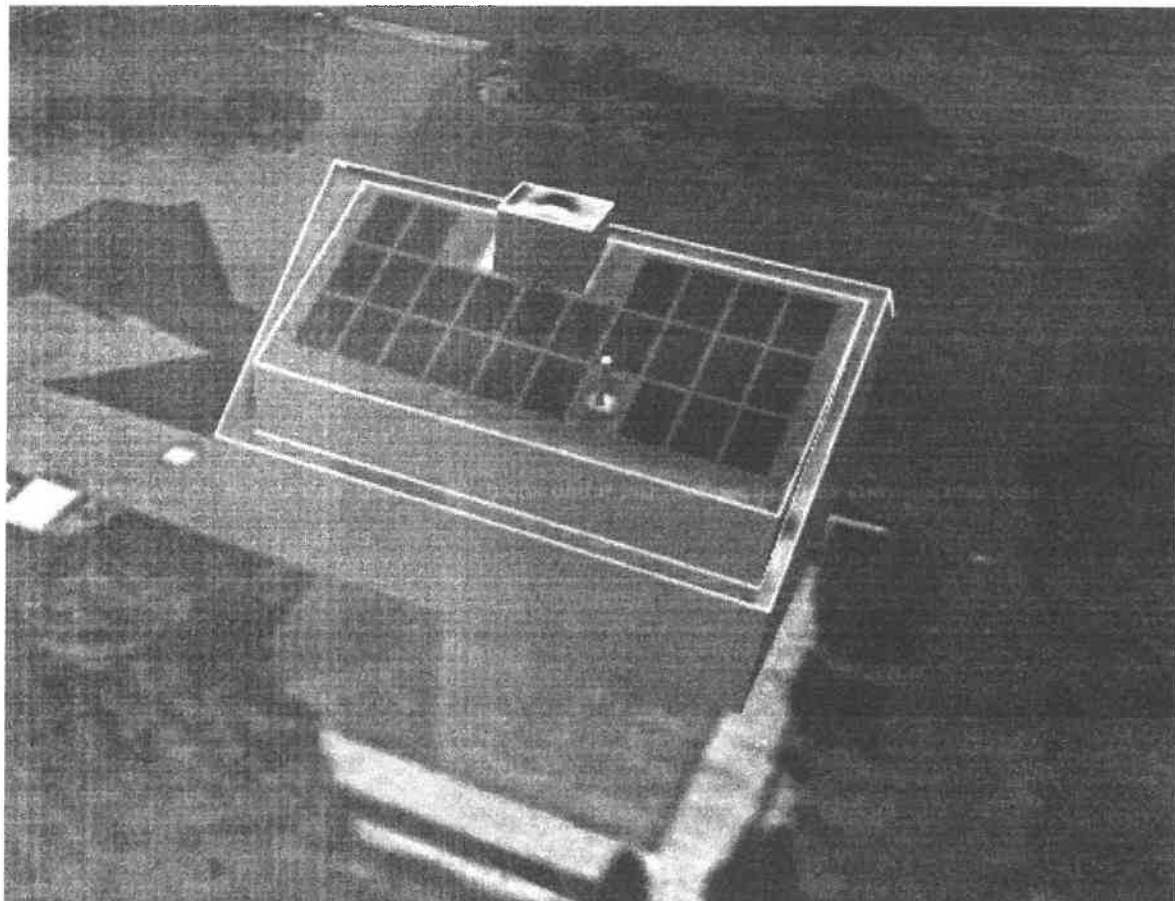
Signed, Owner/Contractor/Agent *[Handwritten Signatures]*

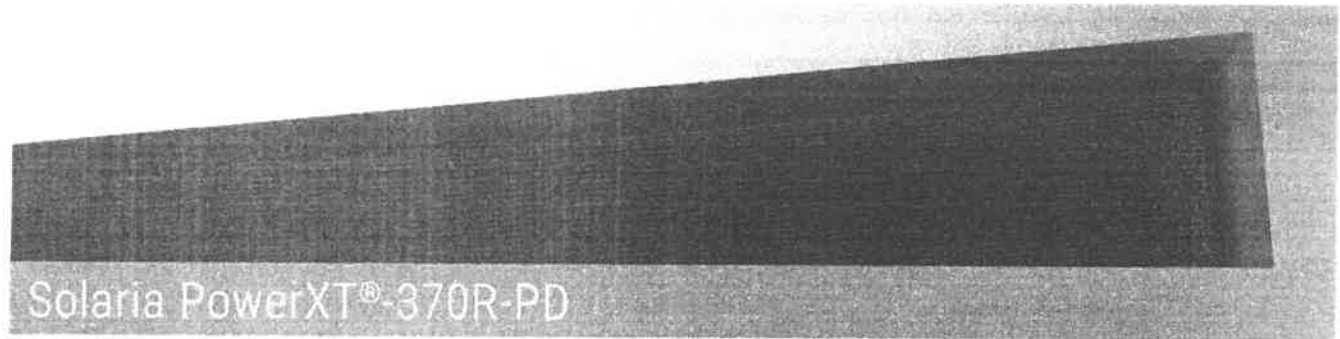
**Checklist**

- Four complete sets of the application and supporting documentation
- \$ 30.00 Filing Fee (see attached schedule)

<p><b>For Committee Use Only</b></p> <div style="border: 1px solid black; width: 100%; height: 100%;"></div>	<p>This Certificate is hereby <b>APPROVED/ DENIED</b> Date: _____</p> <p>Committee Members Signatures: _____</p> <p>_____</p> <p>_____</p>
	<p>Conditions of approval: _____</p>

\*\*The SMART incentive rate is based off the current block of the program. Actual rate may decline based on availability of the block.





Achieving 20% efficiency, Solaria PowerXT solar panels are one of the highest power panels in the residential and commercial solar market. Compared to conventional panels, Solaria PowerXT panels have fewer gaps between the solar cells; this leads to higher power and superior aesthetics. Solaria PowerXT Pure Black™ panels are manufactured with black backsheet and frames, enhancing a home or building's architectural beauty.

Developed in California, Solaria's patented cell cutting and panel assembly takes processed solar wafers and turns them into PowerXT solar panels. The process starts by creating a highly reliable PowerXT cell where busbars and ribbon interconnections are eliminated. Solaria then packages the cells into the PowerXT solar panel, reducing inactive space between the cells. This process leads to an exceptionally cost effective and efficient solar panel.

### Higher Efficiency, Higher Power

Solaria PowerXT panels achieve up to 20% efficiency, conventional panels achieve 15% – 17% efficiency. Solaria PowerXT panels are one of the highest power panels available.

### Lower System Costs

Solaria PowerXT panels produce more power per square meter area. This reduces installation costs due to fewer balance of system components.

### Improved Shading Tolerance

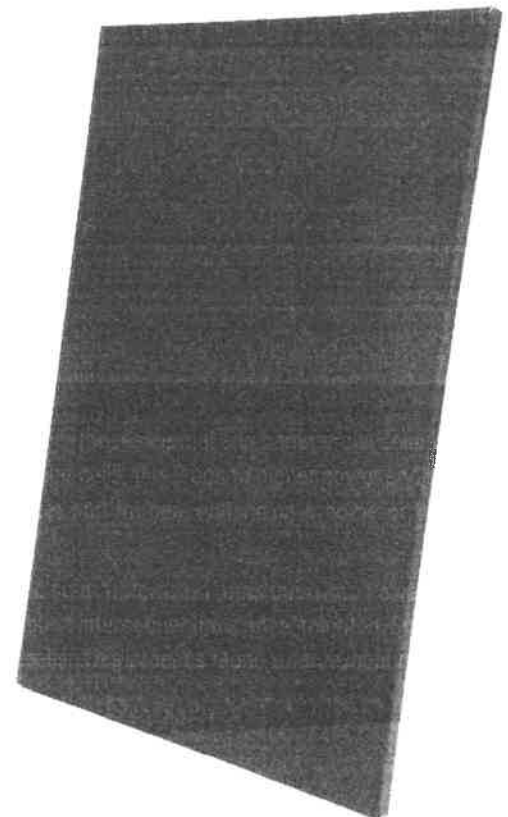
Gridlines are interconnected diagonally within each of the four panel quadrants, which dramatically lowers the shading losses and boosts energy yield.

### Improved Aesthetics

Compared to conventional panels, Solaria PowerXT panels have a more uniform appearance and sleeker aesthetics.

### Durability and Reliability

World-class materials and construction are highly reliable and designed to far exceed the industry leading 25 year warranty.



### About Solaria

Established in 2000, The Solaria Corporation has created one of the industry's most respected IP portfolios with over 68 patents encompassing materials, processes, applications, products, manufacturing automation and equipment. Headquartered in Oakland, CA, Solaria has developed a technology platform that unlocks the potential of solar energy.



## Legend

Road Names



Map printed on: 9/2/2020



Approx. Scale: 1 inch = 83 feet



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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



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Old King's Highway Historic District Committee  
200 Main Street, Hyannis, Massachusetts 02601  
Phone 508.862.4787 Email [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

### CERTIFICATE OF EXEMPTION

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date 8/20/20 Address of Proposed work, Assessor's Map and lot # 215-034-003

House # 675 Street Oak st Village: West Barnstable

This application is for an exemption of the proposed construction on the grounds that work:

- Will not be visible from any way or public place  
 Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission  
 Other

Description of Proposed Work: Replacement of Doors, Windows, Trim, and siding. i would like to change siding to james hardy cement clapboard (Evening Blue) in color. i would also like to replace all exterior trim with Azels. The new siding + windows will look the same style as before.

Agent or contractor (please print): \_\_\_\_\_ Tel. no. \_\_\_\_\_

Address \_\_\_\_\_

Owner (please print): Ryan Burrage Tel. no. 508-367-7325

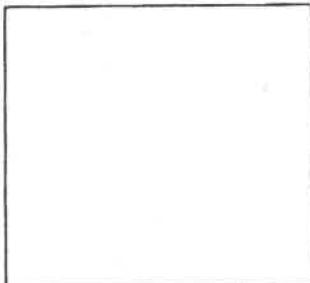
Owners mailing address: 675 Oak st W. Barnstable MA 02668

Signed, Owner/Contractor/Agent Ryan Burrage

#### Checklist

- Four complete sets of the application and supporting documentation  
 \$ \_\_\_\_\_ Filing Fee (see attached schedule)

#### For Committee Use Only



This Certificate is hereby APPROVED/DENIED Date: \_\_\_\_\_  
Committee Members Signatures:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

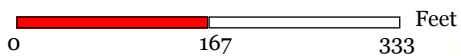
Conditions of approval: \_\_\_\_\_

### Legend

Road Names



Map printed on: 9/2/2020



Approx. Scale: 1 inch = 167 feet



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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us





Town of Barnstable, Planning & Development Department  
 Old King's Highway Historic District Committee  
 200 Main Street, Hyannis, Massachusetts 02601  
 Phone 508.862.4787 Email [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

**CERTIFICATE OF EXEMPTION**

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date Aug. 26, 2020 Address of Proposed work, Assessor's Map and lot # 4/A BURSLEY PATH  
 House # 77 Street BURSLEY PATH Village: WEST BARNSTABLE

This application is for an exemption of the proposed construction on the grounds that work:

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

Description of Proposed Work: 12 X 20 DECK CONSTRUCTED  
OF TREX COMPOSITE - COLOR = FOGGY WHARF  
(Light gray) WITH WHITE SPINDLES - (REMOVAL OF  
EXISTING DECK AND STAIRS -) WHITE APRON TO BE PLACED  
FROM BOTTOM OF DECK TO GROUND TO COVER EMPTY  
SPACE UNDERNEATH DECK.

Agent or contractor (please print): \_\_\_\_\_ Tel. no. \_\_\_\_\_

Address \_\_\_\_\_

Owner (please print): KEVIN P. LYONS Tel. no. 508-776-5622

Owners mailing address: 77 BURSLEY PATH WEST BARNSTABLE MA 01968

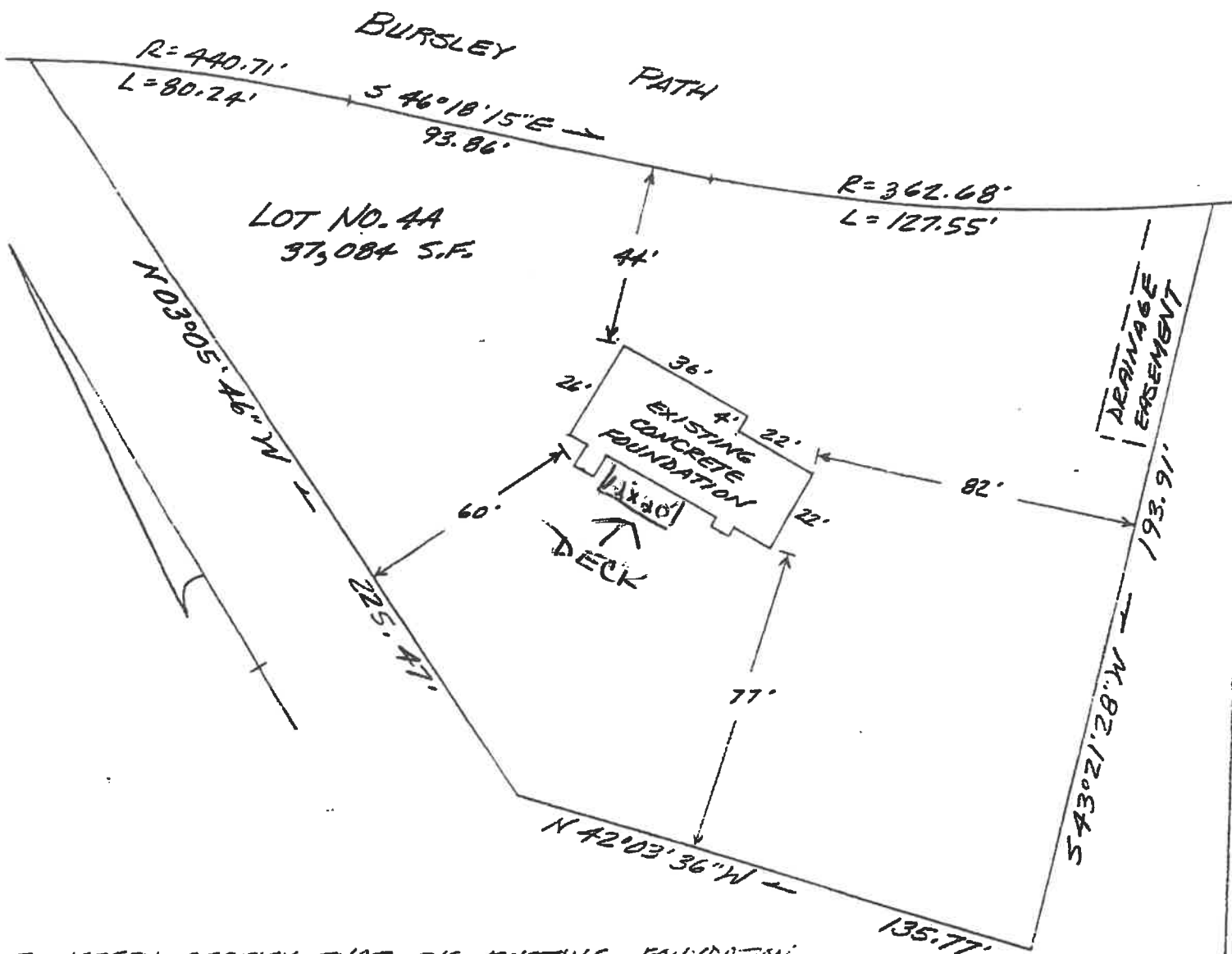
Signed, Owner/Contractor/Agent \_\_\_\_\_

**Checklist**

- Four complete sets of the application and supporting documentation
- \$ 30.00 Filing Fee (see attached schedule)

<b>For Committee Use Only</b>	This Certificate is hereby <b>APPROVED/DENIED</b> Date: _____
<div style="border: 1px solid black; width: 100%; height: 100%;"></div>	Committee Members Signatures: _____ _____ _____
	Conditions of approval: _____

77 Bursley Path, W Barnstable



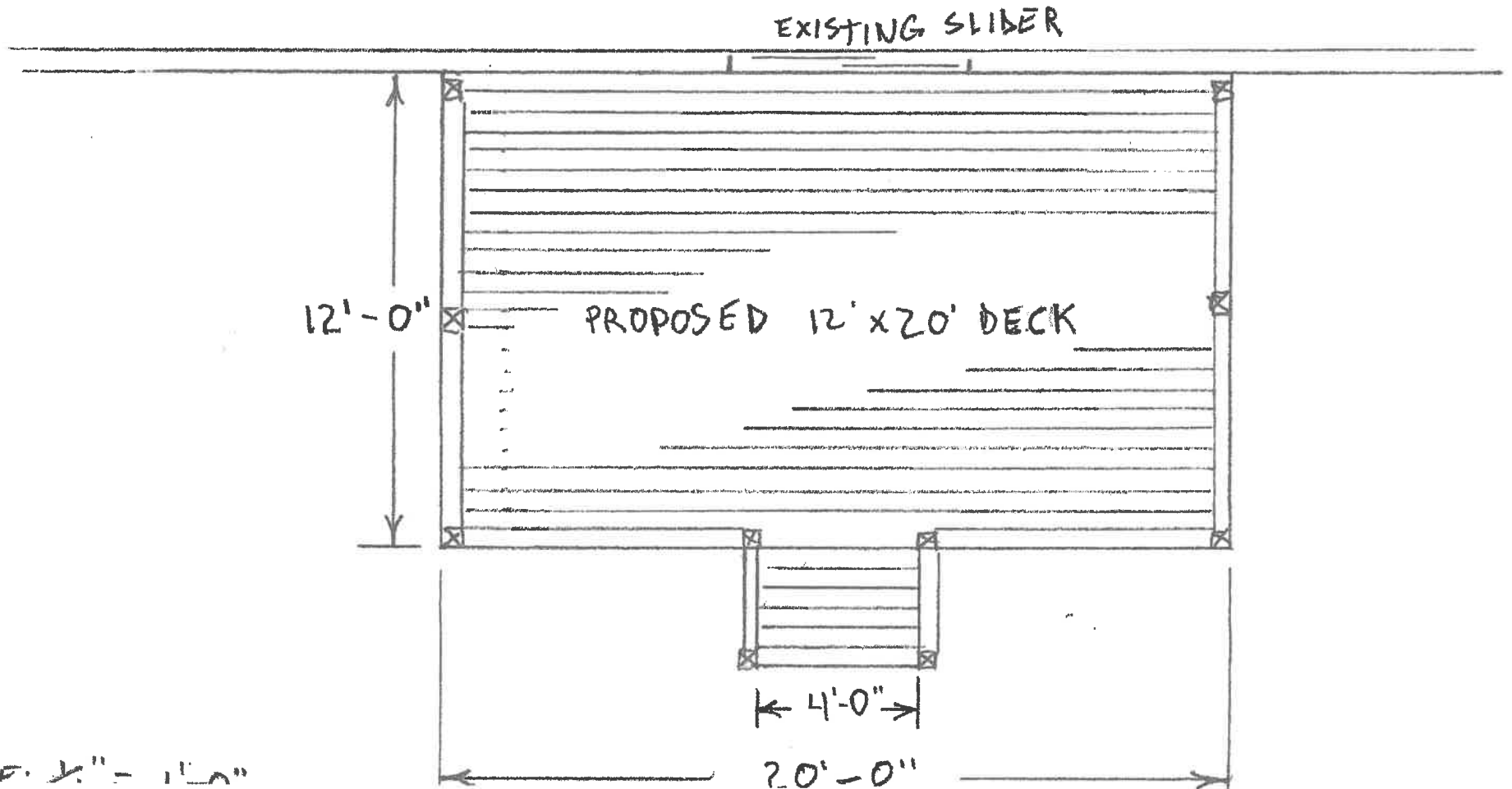
I HEREBY CERTIFY THAT THE EXISTING FOUNDATION DEPICTED ON LOT NO. 4A CONFORMS TO THE SETBACK REGULATIONS OF THE ZONING BYLAWS OF THE TOWN OF BARNSTABLE.



*John P. Doyle*  
8-9-97

CERTIFIED FOUNDATION PLAN  
 "AS-BUILT"  
 FOR  
 FITZPATRICK HOMEBUILDING  
 LOT NO. 4A BURSLEY PATH  
 BARNSTABLE, MA.  
 SCALE: 1" = 40' AUG. 9, 1997  
 JOHN P. DOYLE, P.L.S.  
 BOX 595 W. FALMOUTH, MA.

77 BURSLEY PATH W. BARNSTABLE

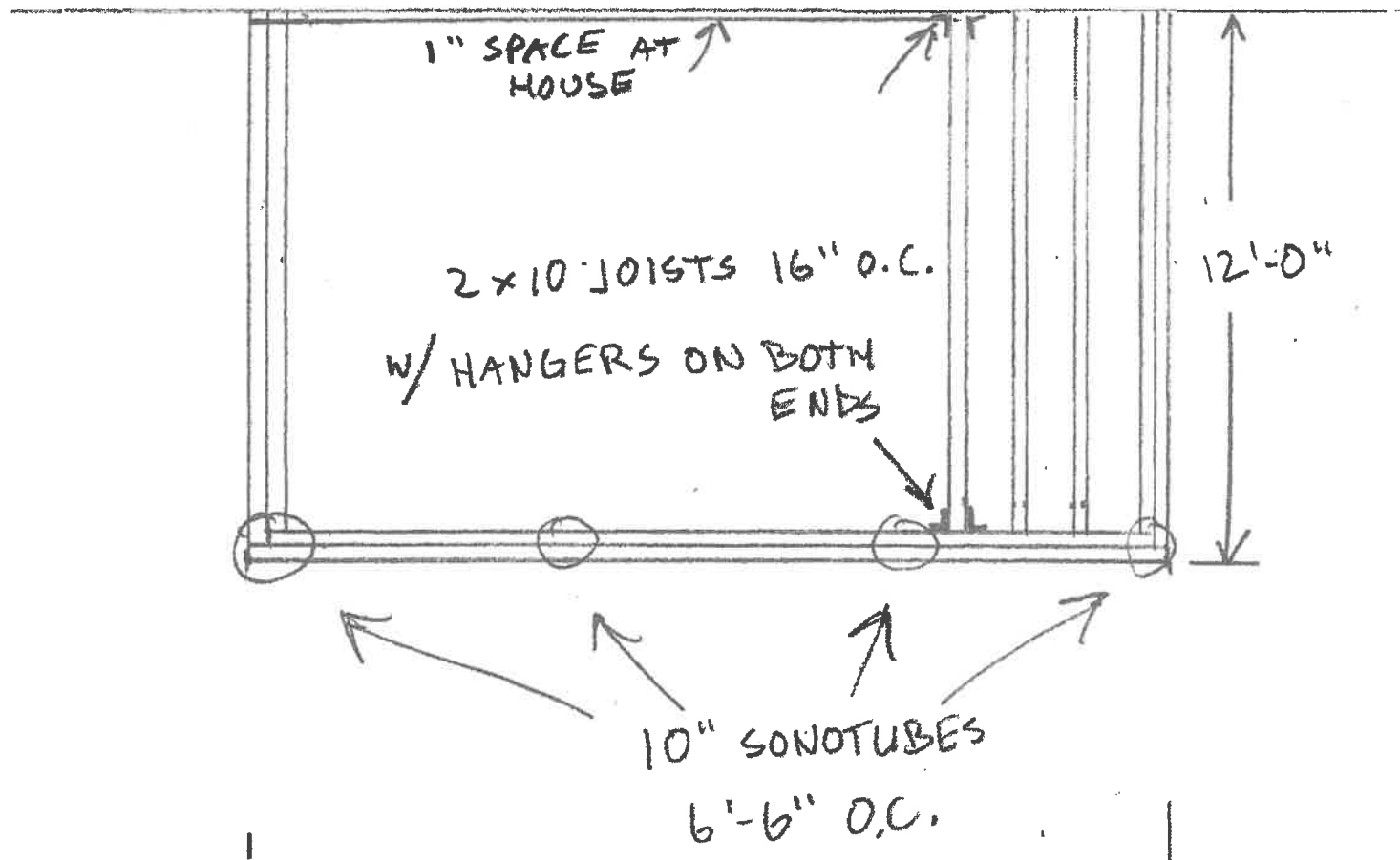


SCALE: 1/4" = 1'-0"

77 BURSLEY PATH

W. BARNSTABLE

EXISTING HOUSE



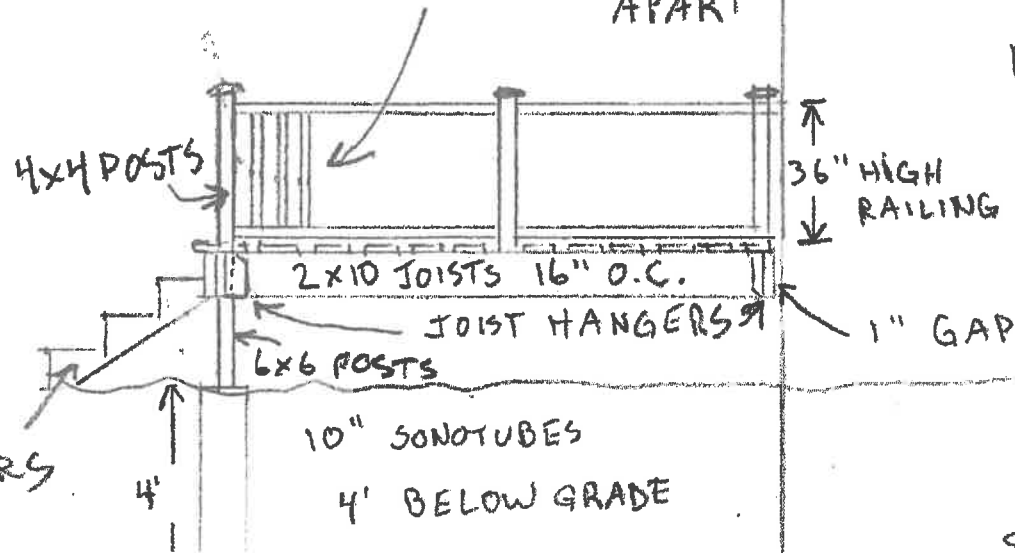
77 BURSLEY PATH

W. BARNSTABLE

PROPOSED 12x20 DECK

BALUSTERS SPACED  
NOT MORE THAN 4"  
APART

EXISTING HOME



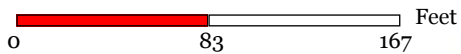
SCALE: 1/4" = 1'-0"

Legend

Road Names



Map printed on: 9/2/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



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 Old King's Highway Historic District Committee  
 200 Main Street, Hyannis, Massachusetts 02601  
 Phone 508.862.4787 Email [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)



### CERTIFICATE OF EXEMPTION

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date 8/26/2020 Address of Proposed work, Assessor's Map and lot # MAP 195 PARCEL 025/042  
 House # 28 Street ELMER'S Way Village: W Barnstable

**This application is for an exemption of the proposed construction on the grounds that work:**

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

Description of Proposed Work: TAKE DOWN EXISTING DECK AND SUNROOM/OFFICE. REPLACE WITH SLIGHTLY LARGER DECK AND SLIGHTLY LARGER SUNROOM/OFFICE.

Agent or contractor (please print): t.b.g. Tel. no. \_\_\_\_\_

Address \_\_\_\_\_

Owner (please print): Stephen Prothero Tel no. 617 785 8328

Owners mailing address: 28 Elmer's Way, West Barnstable, MA 02668

Signed, Owner/Contractor/Agent [Signature]

**Checklist**

- Four complete sets of the application and supporting documentation
- \$ 40 Filing Fee (see attached schedule)

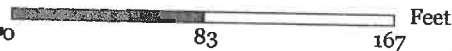
<p><b>For Committee Use Only</b></p> <div style="border: 1px solid black; height: 100px; width: 100%;"></div>	<p>This Certificate is hereby <b>APPROVED/DENIED</b> Date: _____</p> <p>Committee Members Signatures: _____</p> <p>_____</p> <p>_____</p>
	<p>Conditions of approval: _____</p>



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- ▭ Buildings
- ▨ Approx. Building
- ▩ Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- ▨ Marsh
- ▨ Water Bodies

Map printed on: 8/13/2020



Approx. Scale; 1 inch = 83 feet



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Town of Barnstable GIS Unit

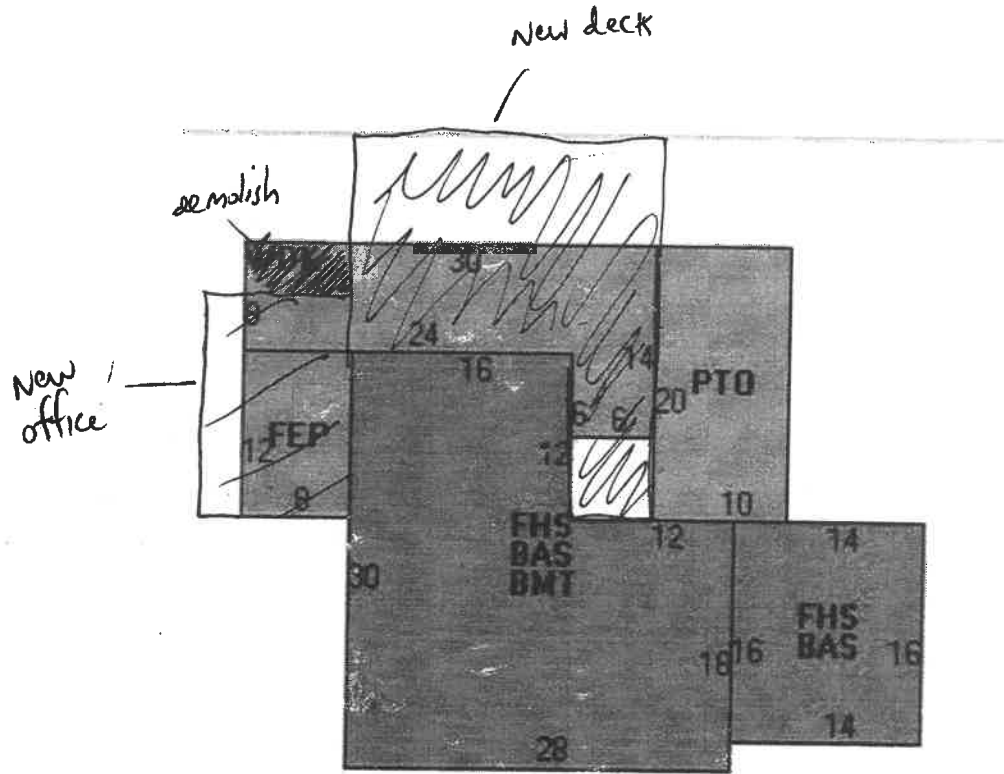
367 Main Street, Hyannis, MA 02601

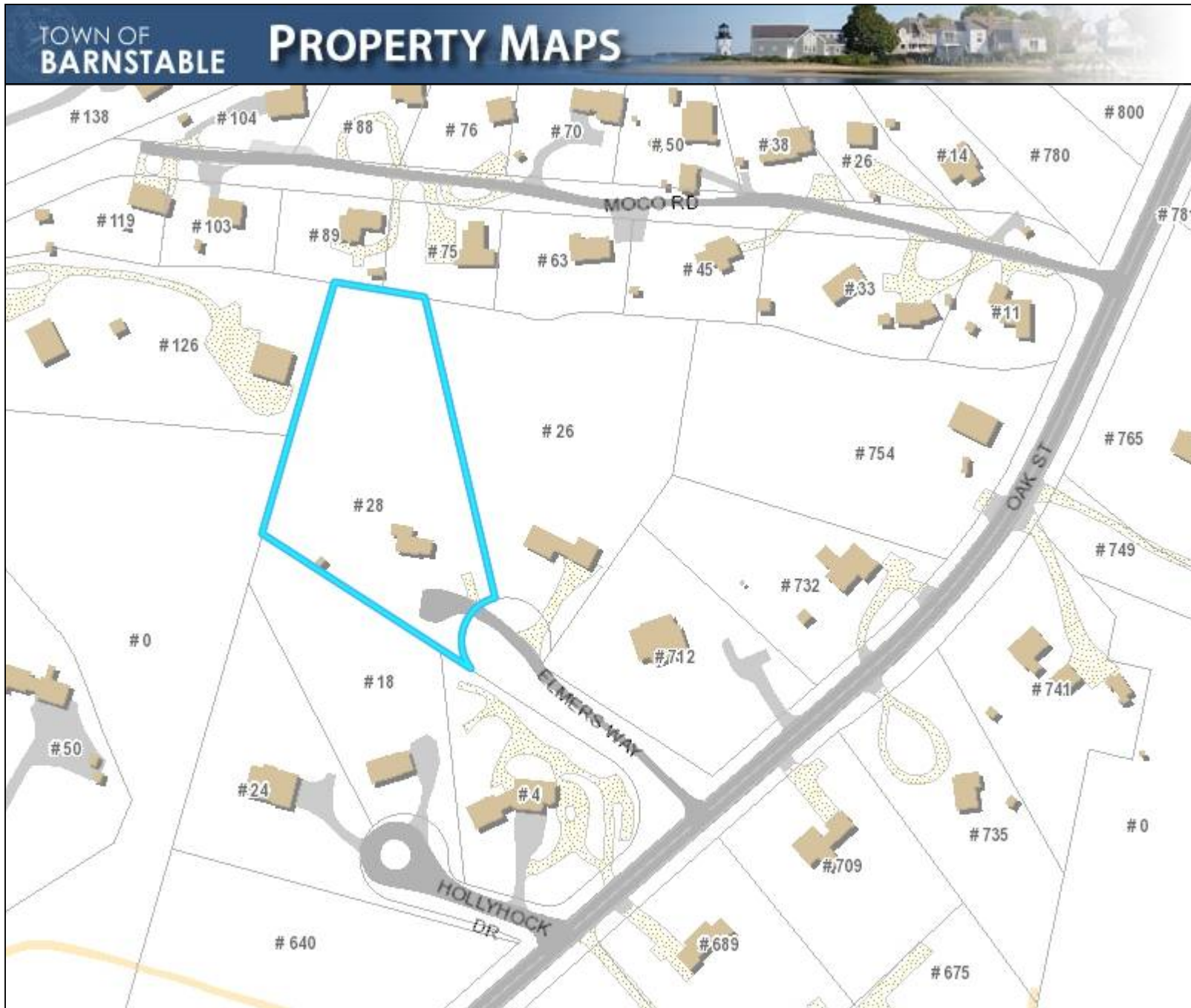
508-862-4624

gis@town.barnstable.ma.us



Prothero  
28 Elmer's Way  
W Barnstable





**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 9/2/2020



Approx. Scale: 1 inch = 167 feet



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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



### Legend

Road Names



Map printed on: 9/2/2020



Approx. Scale: 1 inch = 42 feet



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**Town of Barnstable GIS Unit**

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508-862-4624

gis@town.barnstable.ma.us



Town of Barnstable, Planning & Development Department  
 Old King's Highway Historic District Committee  
 200 Main Street, Hyannis, Massachusetts 02601  
 Phone 508.862.4787 Email [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

**CERTIFICATE OF EXEMPTION**

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date 8/21/20 Address of Proposed work, Assessor's Map and lot # 35/006/#109  
 House # 109 Street COVE LANE Village: CUMMAQUID

This application is for an exemption of the proposed construction on the grounds that work:

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

Description of Proposed Work: INSTALLATION OF OUTDOOR STORAGE shed  
for LAWN and garden equipment, SNOW Blower, Generator, etc.  
Location is back side of the property NOT visible from  
the STREET. Shed is to be PAINTED SAME as house (Grey with  
White trim and black shutters

Agent or contractor (please print): Home Depot assigned install Tel. no. \_\_\_\_\_  
 Address \_\_\_\_\_  
 Owner (please print): Richard Manfredi Tel no. 508-976-2312  
 Owners mailing address: PO. Box 384, Cummaquid  
 Signed, Owner/Contractor/Agent Richard Manfredi

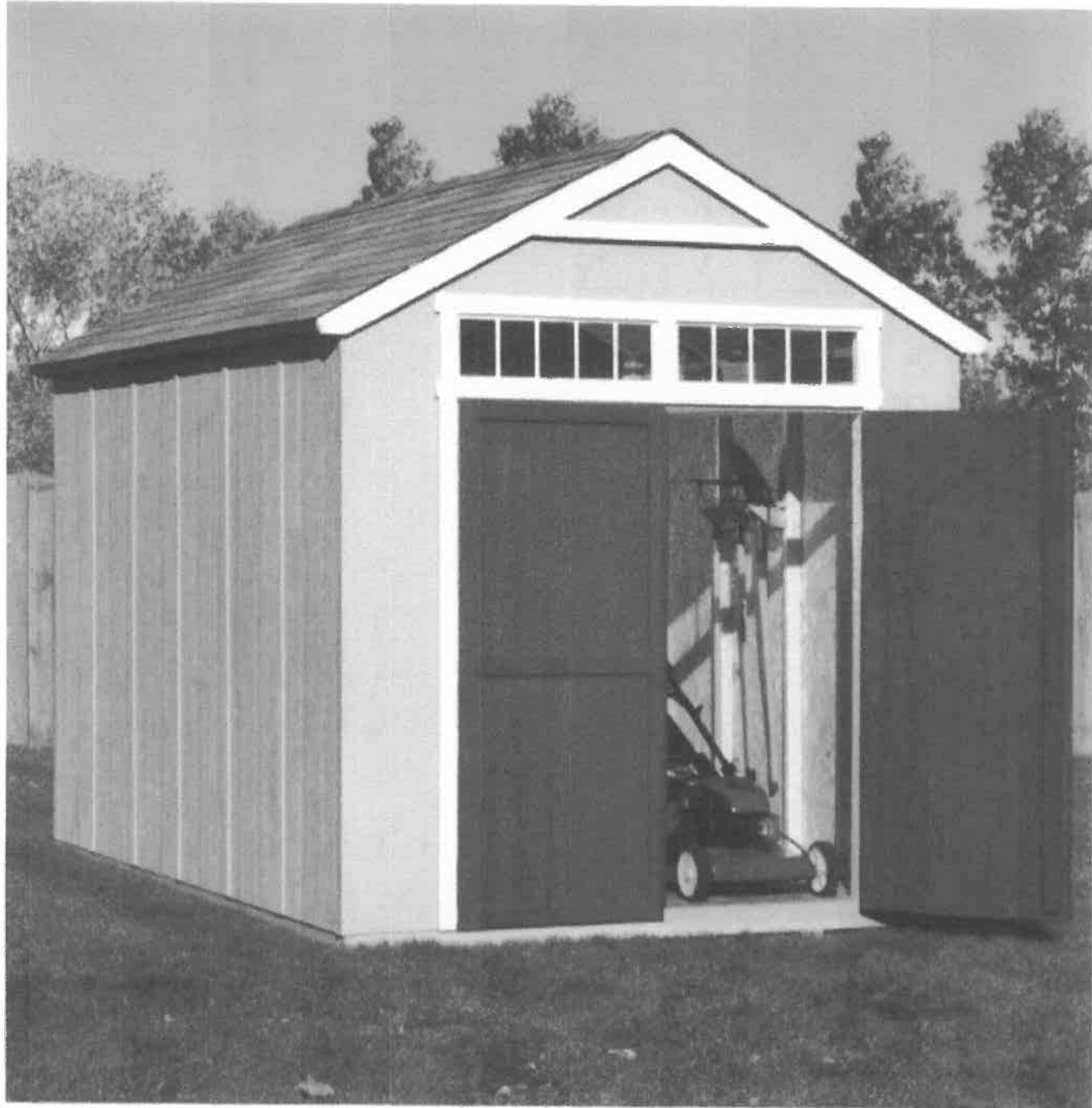
**Checklist**

- Four complete sets of the application and supporting documentation
- \$ 40.00 Filing Fee (see attached schedule)

<p><b>For Committee Use Only</b></p> <div style="border: 1px solid black; height: 100px; width: 100%;"></div>	<p>This Certificate is hereby <b>APPROVED/DENIED</b> Date: _____</p> <p>Committee Members Signatures: _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval: _____</p>
---	--

ne Products

d Majestic 8 ft. x 12 ft. Wood Storage Shed with Driftwood Shingles



351007002  
#0

351051  
#90

40ft

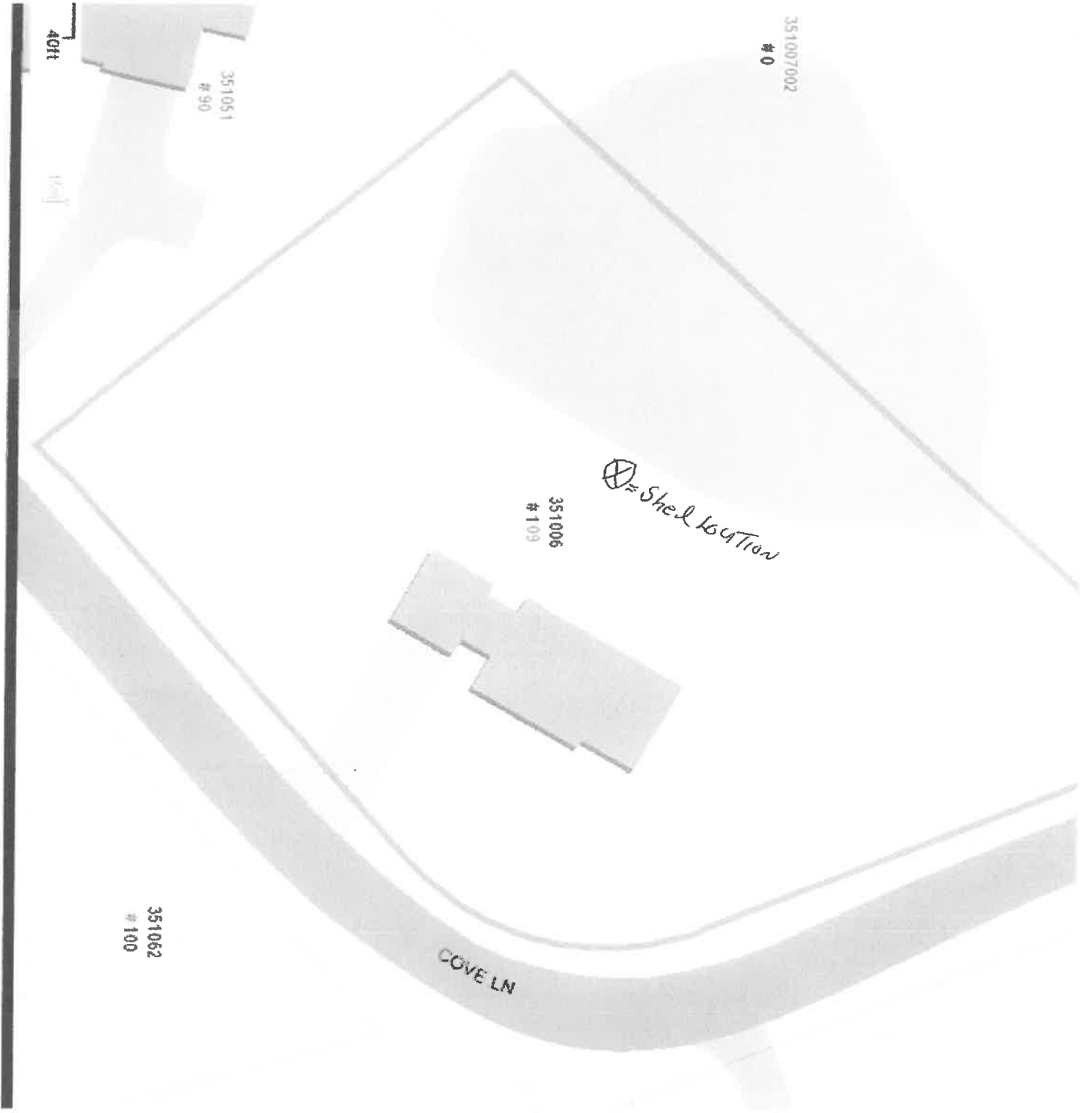
15ft

⊗ = Shell location

351006  
#109

351062  
#100

COVE LN



### Legend

Road Names



Map printed on: 9/2/2020



Approx. Scale: 1 inch = 83 feet



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**Town of Barnstable GIS Unit**

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508-862-4624

gis@town.barnstable.ma.us



Town of Barnstable, Planning & Development Department  
 Old King's Highway Historic District Committee  
 200 Main Street, Hyannis, Massachusetts 02601  
 Phone 508.862.4787 Email [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)



**CERTIFICATE OF EXEMPTION**

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date: 8-27-2020

Address of Proposed work, Assessor's Map and lot # 109 / 066

House # 32 Street Old Toll

Village: West Barnstable

This application is for an exemption of the proposed construction on the grounds that work:

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

Description of Proposed Work: Removal of Existing 12x8 Shed  
being replaced with 12x10 No utilities  
- Pine Harbor - Quiet Cape -  
To Match House  
Grey Clapboards - Grey 3 TAB Shingles - Same As House  
Black Shutters - 3 Sides Board + Batten 2x4 Construction

Agent or contractor (please print): \_\_\_\_\_

Tel. no. \_\_\_\_\_

Address \_\_\_\_\_

Owner (please print): Robert Harris

Tel no. 508-776-0057

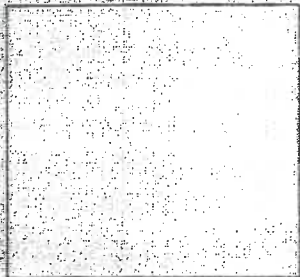
Owners mailing address: 32 Old Toll Rd W Barnstable MA 02668

Signed, Owner/Contractor/Agent: [Signature]

**Checklist**

- Four complete sets of the application and supporting documentation
- \$ 40 Filing Fee (see attached schedule)

**For Committee Use Only**



This Certificate is hereby **APPROVED/DENIED** Date: \_\_\_\_\_  
 Committee Members Signatures: \_\_\_\_\_

Conditions of approval: \_\_\_\_\_



## The perfect blend of fashion & function

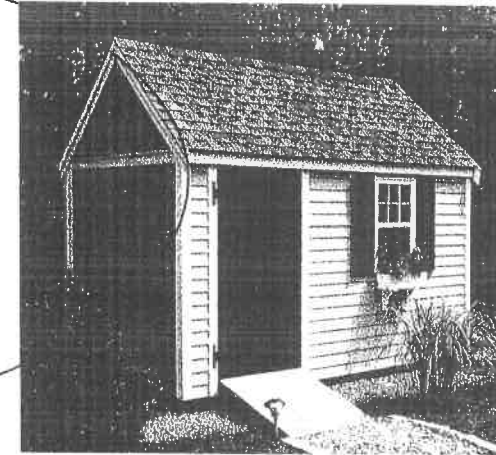
Designed to meet your basic storage needs, our Classic Series buildings are perfect for reducing yard, basement and garage clutter. These quality built sheds are custom built on your property and are the perfect blend of function and fashion, sure to add value to your property, while protecting your assets from the elements.



### Building profiles within the Classic Series:

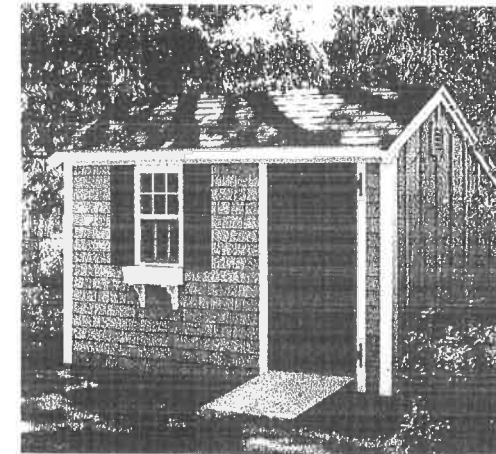
#### Quivett Cape ▶

The Quivett Cape design is reminiscent of traditional Cape Cod architecture. This shed offers more wall, shelving and overhead loft space than our other classic roof designs. This peaked roof is ideal for organizing the storage of seasonal items while maximizing floor space for bikes, mowers, equipment and more.



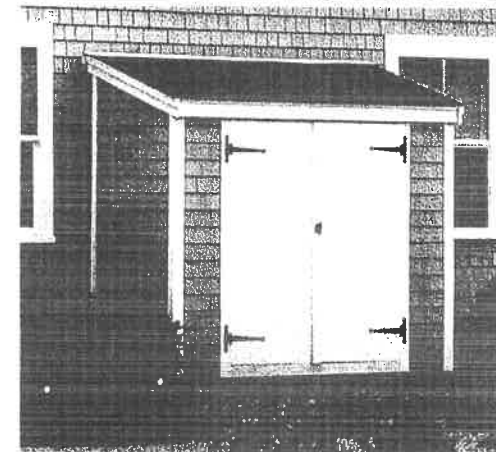
#### Stony Brook Saltbox ▶

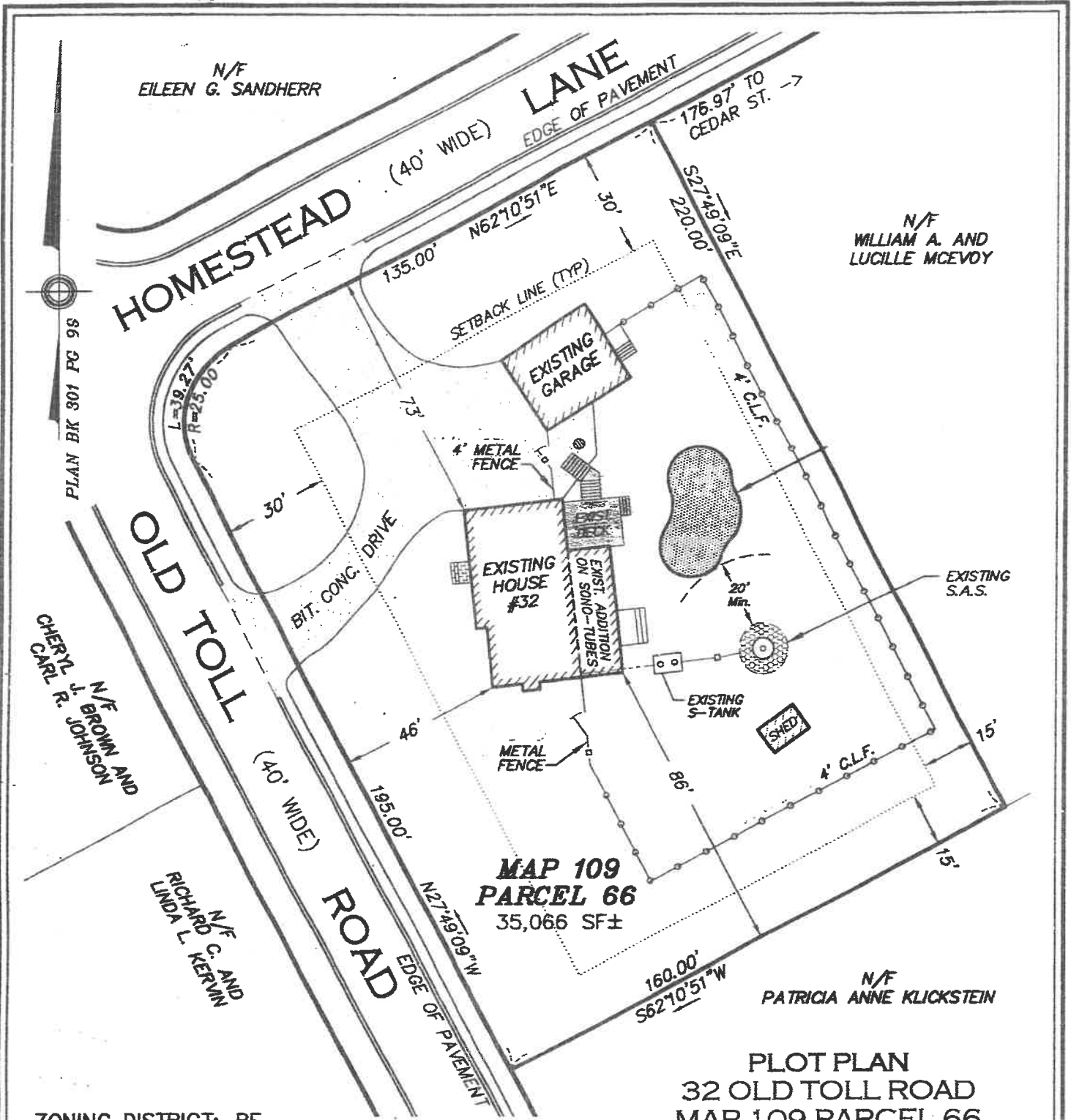
The Stony Brook is fashionable and functional while maintaining a traditional New England saltbox style roof. Its uneven roof design prioritizes floor space. With the limited overhead space inside and lower overall wall and roof heights, this design blends into the landscape.



#### Cuttyhunk ▶

The Cuttyhunk design derives its name from a quiet little island west of Martha's Vineyard. Its informal lean-to style offers "just enough" additional storage for those with limited space. The streamlined size makes it ideal for smaller areas and handy for storing those "in your way" items.



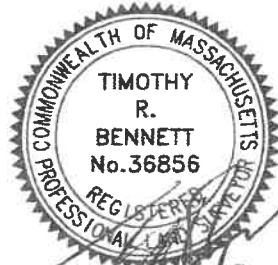


**MAP 109  
PARCEL 66**  
35,066 SF±

**ZONING DISTRICT:** RF  
**OVERLAY DISTRICT:** RESOURCE PROTECTION  
AQUIFER PROTECTION

**SETBACK REQUIREMENTS:**  
FRONT - 30'  
SIDE - 15'  
REAR - 15'

**PLOT PLAN**  
**32 OLD TOLL ROAD**  
**MAP 109 PARCEL 66**  
**WEST BARNSTABLE, MASS.**  
SCALE: 1"=40'      DATE: 9/7/2010



**BENNETT ENGINEERING**  
LAND SURVEYING, ENGINEERING, & DEVELOPMENT SERVICES

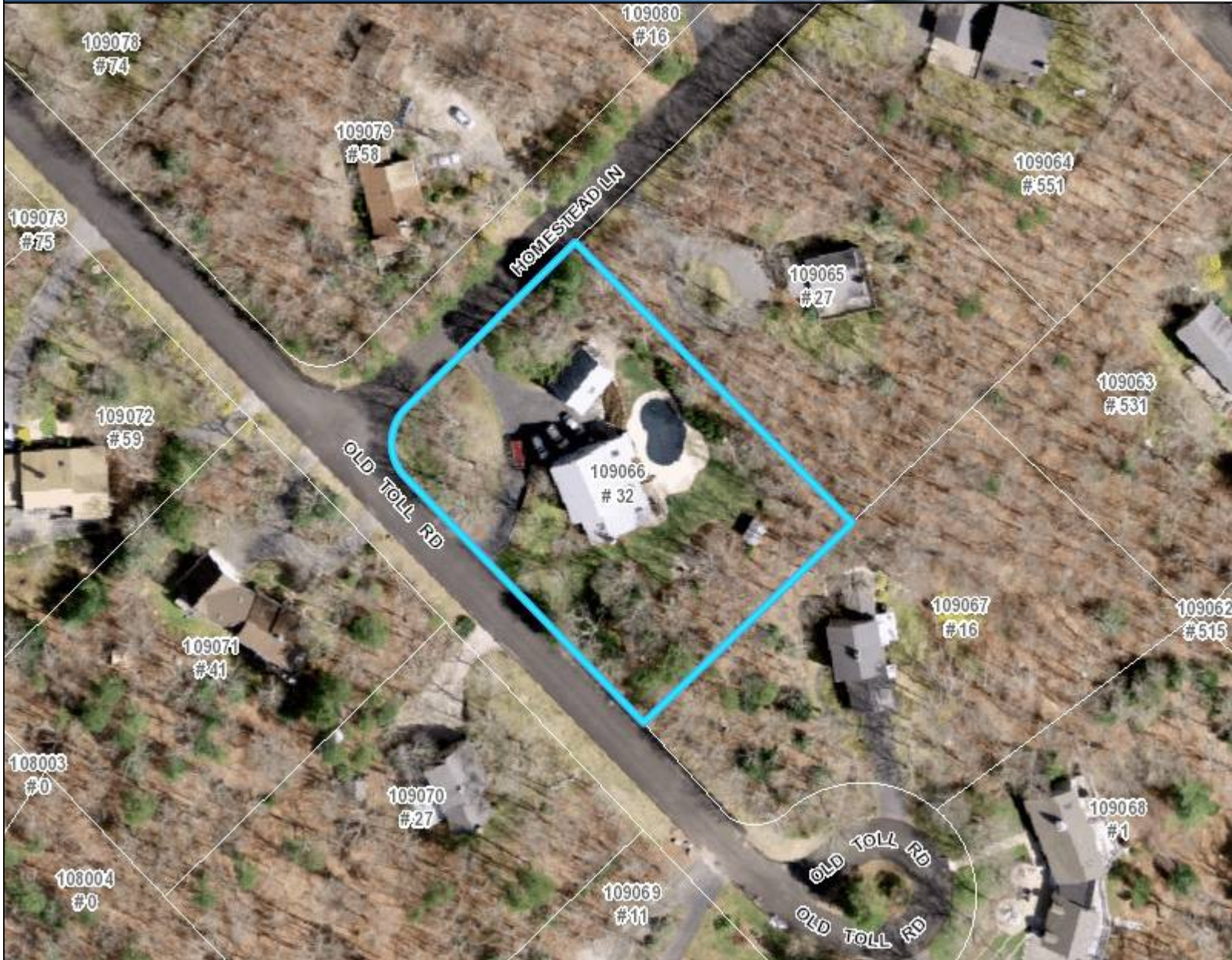
PO BOX 297      TEL (508) 888-4868  
SAGAMORE BEACH, MA 02562      FAX (508) 888-4867  
0      40      80      120

PLAN REF: BK 301 PG 99  
DEED REF: BK 4246 PG 172

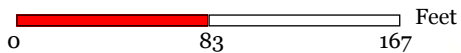
9/7/10

### Legend

Road Names



Map printed on: 9/2/2020



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Town of Barnstable, Planning & Development Department  
 Old King's Highway Historic District Committee  
 200 Main Street, Hyannis, Massachusetts 02601  
 Phone 508.862.4787 Email [erinlogan@town.barnstable.ma.us](mailto:erinlogan@town.barnstable.ma.us)



### CERTIFICATE OF EXEMPTION

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date 8/27/30 Address of Proposed work, Assessor's Map and lot # 335/057  
 House # 3920 Street MAIN ST Village: Cummaquid

This application is for an exemption of the proposed construction on the grounds that work:

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

Description of Proposed Work: build Shed on east side of house  
Natural wood shingles white trim, Asphalt roof matching  
house, cement block Foundation

Agent or contractor (please print): David Leclerc Tel. no. 508-691-5816  
 Address 3920 MAIN ST, CUMMAQUID, MA 02637  
 Owner (please print): David + Pamela Leclerc Tel. no. 508-691-5816  
 Owners mailing address: P.O. Box 213, Cummaquid, MA 02637  
 Signed, Owner/Contractor/Agent: [Signature]

**Checklist**

- Four complete sets of the application and supporting documentation
- \$ 40 Filing Fee (see attached schedule)

<p><b>For Committee Use Only</b></p> <div style="border: 1px solid black; width: 100%; height: 100%;"></div>	This Certificate is hereby <u>APPROVED/DENIED</u> Date: _____ Committee Members Signatures: _____ _____ _____
	Conditions of approval: _____ _____
	_____ _____

**GENERAL NC**

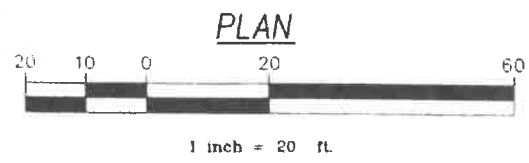
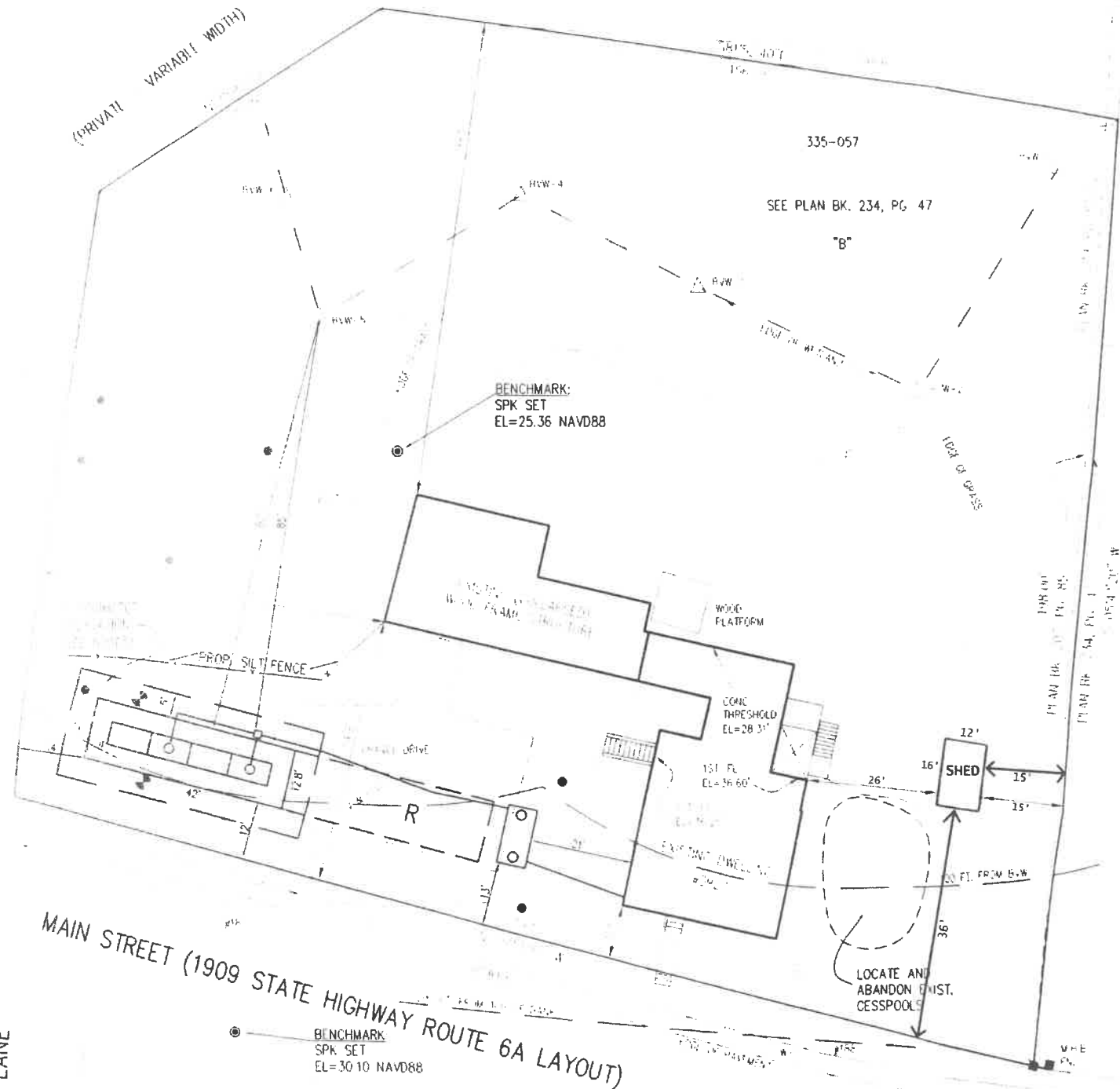
- 1 ELEVATIONS REFER TO NAVD88 ELEVATION BENCHMARK YARD WHERE INDICATED. CONTACT CAPE CO ELEVATION INFORMATION.
- 2 PLAN REFERENCE: TOPOGRAPHIC SURVEY PREPARE CHESTER NIMITZ LAY, PLS., SITE RESEARCH, WETLAI ENGINEERING, INC.
- 3 ALL SEPTIC SYSTEM CONSTRUCTION MATERIALS AP SANITARY CODE, TITLE 5 AND TOWN OF BARNSTAB DESIGN.
- 4 PROVIDE MARKOUT AND PRESERVE OR RE-LOCATE EXCAVATION.
- 5 THE EXISTING CESSPOOLS ON THE EAST SIDE OF LI FILLED WITH SAND OR REMOVED AT THE OWNERS' INTERIOR PLUMBING CHANGES ARE REQUIRED TO DWELLING AS NEEDED TO ESTABLISH A PIPE INFER THE PROPOSED SEPTIC TANK LOCATION AND ELEV THE TANK. INSTALLATION CONTRACTOR SHALL VE TO SETTING THE SEPTIC TANK. CONTACT CAPE CO CHANGES FROM THE PLAN.
- 7 LOCATE WATER SERVICE VIA MARK-OUT OR VISUI WATER SERVICE VICINITY.
- 8 MAGNETIC MARKER TAPE SHALL BE PLACED ALOP A 5 FT. PERIMETER EXCAVATION IS REQUIRED TO LAYER TO COMPLETELY REVEAL THE C2 SAND LAYI MAY ALLOW FOR A REDUCTION OF THE DEPTH DI CLEAN SAND TO 1 FT. ABOVE THE SAS COMPONEI COVER WITH SAND TO A 1 FT COVER MIN. PRIOR CONTACT CAPE CO ENGINEERING, INC. PRIOR T REQUIREMENTS FOR THE EXCAVATION AND RELA
- 11 SEPTIC SYSTEM INSTALLER SHALL CONTACT ENGI SYSTEM CERTIFICATION AS REQUIRED.
- 12 CONTACT ENGINEER IF ANY QUESTIONS OR DOU ENCOUNTERED DURING CONSTRUCTION.
13. NO KNOWN POTABLE WELLS EXIST WITHIN 200

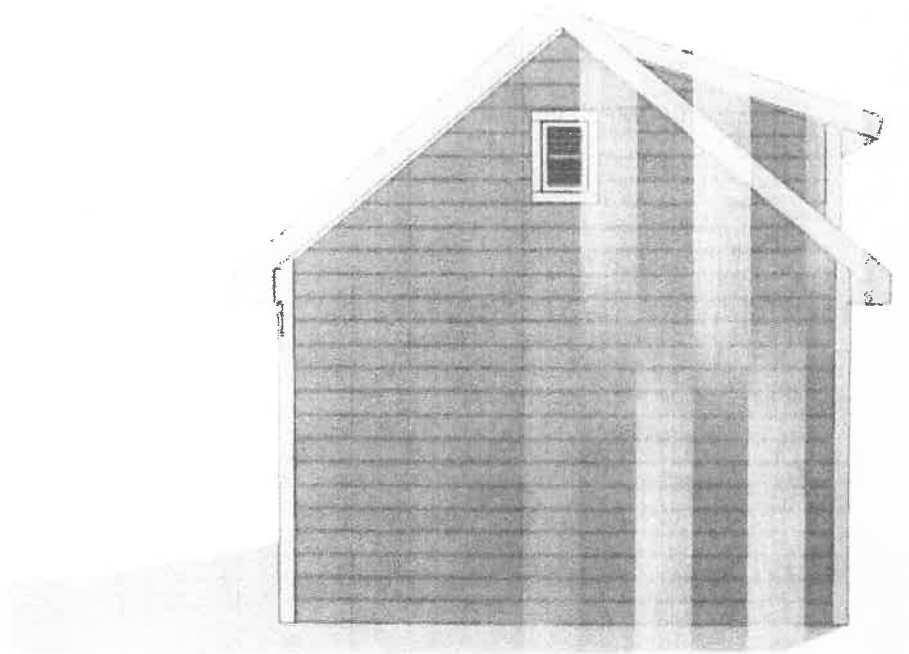
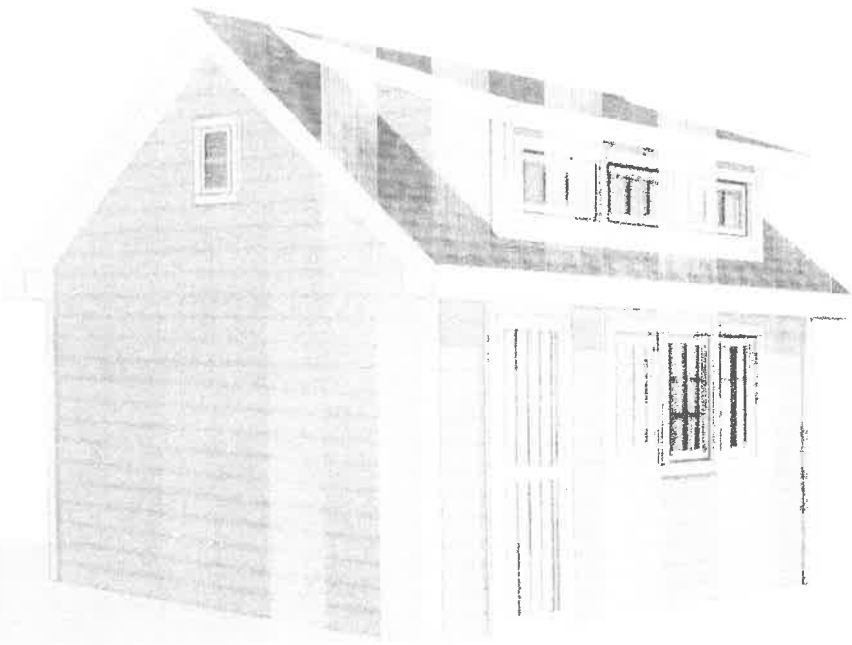
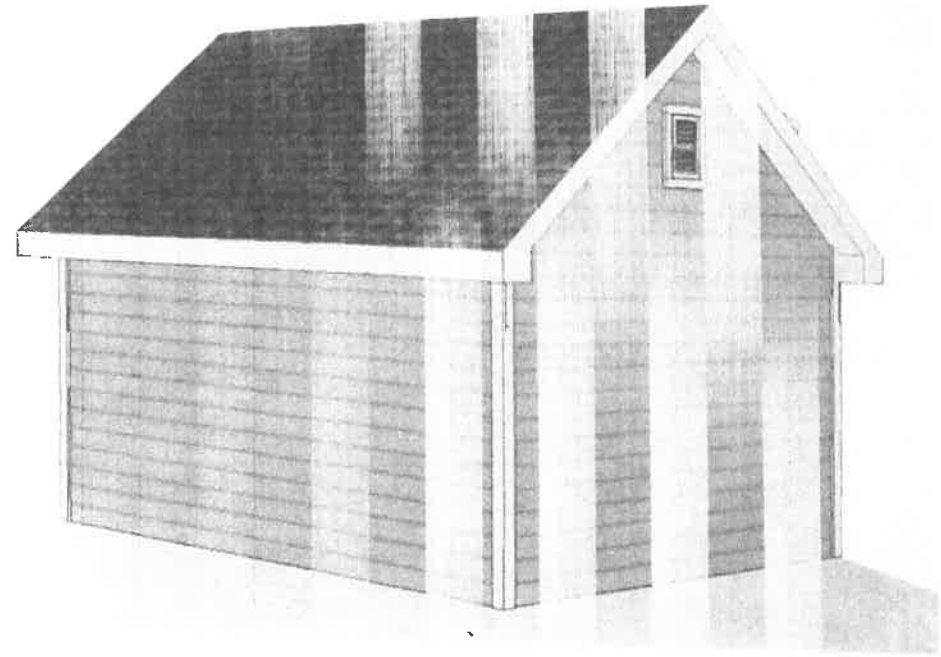
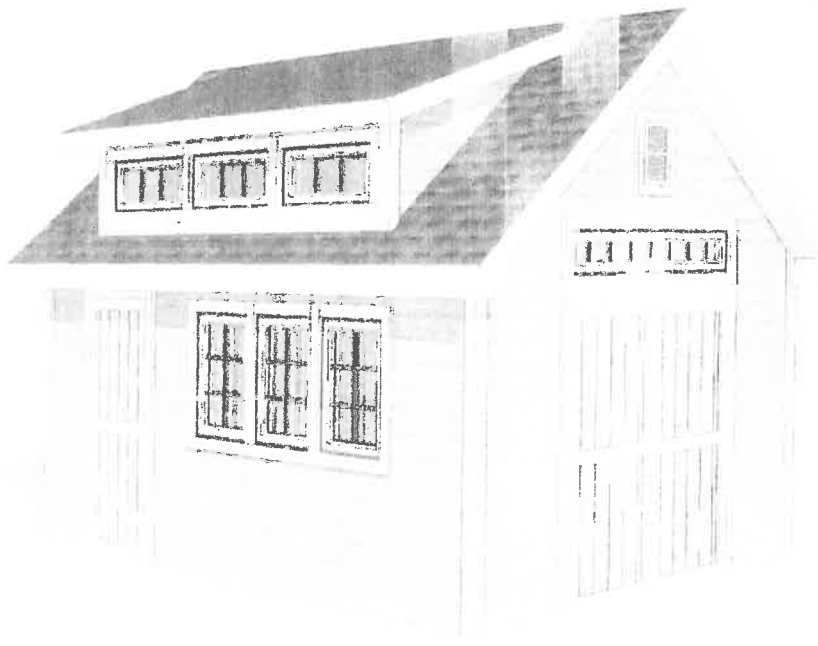
**DESIGN**

**HYDRAULIC LOADING - 5 BEDROO SEPTIC TANI**  
 200% X 550 GAL. = 1,100 GALLONS - I CONCRETE SEPTIC TANK - H-20 RATED. PR OUTLETS W/ OUTLET GAS BAFFLE; PRO CONCRETE COVERS WITHIN 6 INCHES TO SEALED WITH HYDRAULI

**SAS DI**

H-20 RATED C PERCOLATION RATI  
 LONG TERM HYDRAULIC LOA SIDE AREA = 2(2')(42' BOTTOM AREA = 12.  
 LOADING: 537.6 S.F. + 219.2 S.F. = 756.8  
**TOTAL LEACHING CAI**  
 \*THE DESIGN IS NOT SUITABLE FOR U SEE PROFILE DE







Legend

Road Names



Map printed on: 9/2/2020



Approx. Scale: 1 inch = 42 feet



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Old King's Highway Historic District Committee  
200 Main Street, Hyannis, Massachusetts 02601  
Phone 508.862.4787 Email [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

### CERTIFICATE OF EXEMPTION

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Date Sept 2, 2020

Address of Proposed work, Assessor's Map and lot # 257/001/000

House # 2440 Street Main St.

Village: West Barnstable

This application is for an exemption of the proposed construction on the grounds that work:

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

Description of Proposed Work: Install 2 rail split rail <sup>fence</sup> approx 100' total length - 10' parallel to lot, 90' on west lot line. Leading to previously approved fence.  
The split rail will be made from natural wood. Locust posts + OAK rail. The fence will not be higher than 3'.

Agent or contractor (please print): Eagle Fence Co. Tel. no. 508-540-3161

Address 570 E. Falmouth Highway, East Falmouth, MA. 02536

Owner (please print): Anne Welton Tel. no. 508-330-5927

Owners mailing address: PO Box 116, Barnstable, MA. 02630

Signed, Owner/Contractor/Agent Anne Welton

#### Checklist

- Four complete sets of the application and supporting documentation
- \$ \_\_\_\_\_ Filing Fee (see attached schedule)

#### For Committee Use Only

This Certificate is hereby APPROVED/DENIED Date: \_\_\_\_\_  
Committee Members Signatures: \_\_\_\_\_

Conditions of approval: \_\_\_\_\_



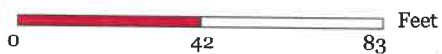


## Legend

Road Names



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