

OLD KINGS HIGHWAY – JULY 22nd MEETING MATERIALS

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AGENDA

Wednesday, July 22, 2020, 6:30pm

The Old King's Highway Historic District Committee will be held by remote participation methods as a result of the COVID-19 state of emergency in the Commonwealth of Massachusetts.

Alternative public access to this meeting shall be provided in the following manner:

1. Real-time access to the Old King's Highway Historic District meeting is available utilizing the Zoom link or telephone number and Meeting ID provided below. Public comment can be addressed to the Old King's Highway Historic District Committee by utilizing the Zoom link or telephone number and Meeting ID provided below:

Link: Join Zoom Meeting <https://zoom.us/j/93408280533>

Phone: 1- 888-475-4499 and entering Meeting ID: 93408280533

2. Following the meeting, a recording will be televised via Channel 18 and may be viewed via the Channel 18 website at <http://streaming85.townofbarnstable.us/CablecastPublicSite/>

3. Applicants, their representatives and individuals required or entitled to appear before the Old King's Highway Historic District Committee may appear remotely and are not permitted to be physically present at the meeting, and may participate through accessing the link or telephone number provided above. Documentary exhibits and/or visual presentations should be submitted in advance of the meeting to erin.logan@town.barnstable.ma.us so that they may be displayed for remote public access viewing.

Plans and applications may be reviewed by calling 508.862.4787 or emailing erin.logan@town.barnstable.ma.us

To all persons deemed interested or affected by the Town of Barnstable's Old King's Highway Historic District Act under Section 9 of Chapter 470, Acts of 1973 as amended. You are hereby notified that a hearing will be held on the following applications:

APPLICATIONS

Minucci, Albert, application submitted by Edie Vonnegut, 3224 Main Street, Barnstable, Map 299, Parcel 029, built 1950

Paint gable end above Post Office light grey; install sculpture of gold striped bass (33" in center)

Mattes, Ronald & Penny, under contract with Collins, Charlotte & Charles, 105 Bayberry Lane, Barnstable, Map 335, Parcel 038, vacant land

Construction of single family home; previously approved October 2018 – Certificate of Appropriateness expired prior to work commencing

Peters, William & Natalie, 2159 Main Street, Barnstable, Map 237, Parcel 040, built 1930

Paint house white, add short pergola to support climbing roses across front façade, shingle all four elevations, change trim and door color to Benjamin Moore Chelsea Gray

Butler, Michael & Sarah, 215 Parker Road, West Barnstable, Map 176, Parcel 017, Manuel Pedroz Almada House, built 1908, inventoried

Construct two-story addition (24'X36'); construct two farmers porches along the northern and eastern addition elevations (30'X7' each elevation)

Chapman, William, 39 Meadow Lane, West Barnstable, Map 133, Parcel 005/003, built 1990

Construct mudroom addition (8'X18.6') on the left of the house, materials to match existing, add one new door and windows per plan

Coggeshall, Melora & Champlin, James, 47 aka 49 Rendezvous Lane, Barnstable, Map 270, Parcel 024, built 1994

Demolish existing main structure and porch (970sqft) retaining the south end to be relocated to the rear of the property to be used as a storage shed

Carswell, Robert, & Young, Cheryl, 68 Hilliard's Hayway, West Barnstable, Map 136, Parcel 045, built 1978

Addition of two screened in porches; re-configure window arrangement; add one door; relocate one door; replace windows and change grill pattern; replace wood shingles and trim to match existing 2-story garage structure

Gallagher, Desmond & Caroline, 69 George Street, Barnstable, Map 319, Parcel 059, built 1941,

Full demolition of the existing single family home and detached garage structures

Gallagher, Desmond & Caroline, 69 George Street, Barnstable, Map 319, Parcel 059, built 1941,

Construct a single family home with front porch, screened porch

Hatch, Carl & Nyki, 35 Acre Hill Road, Barnstable, Map 298, Parcel 115, built 1978

Construct three new additions (10'X18" master bath & closet; 12'X5 ½' foyer; 12x4 ½' covered porch); enclose side porch; remove existing chimney

Bartlett, William & Patricia, Trustees, as submitted by tenant Hudson, Kim, 2235 Main Street, Barnstable, Map 237, Parcel 060, built 1870, Elijah L. Loring House, built c.1878, contributing structure in the Old King's Highway Historic District

Install mixed fencing, heights to range from 3 ½' to 4'; materials proposed – natural picket fence, green pvc metal fencing, and welded wire metal fencing; dimensions and placement as per site plan submitted with application

CERTIFICATE OF EXEMPTION

Burnham, Daniel & Dawn, 63 Bragg's Lane, Barnstable, Map 299, Parcel 056/000, built 1995

Construct a 14'X16' screened in-porch in right rear corner of main structure

Liebowitz, Michael, 111 Lothrop's Lane, West Barnstable, Map 110, Parcel 038/000

Install a swimming pool and fence in the back yard, not visible

OTHER

Vote to nominate Jeffrey Goldstein as alternate

Matters not reasonably anticipated by Chair

APPROVAL OF MINUTES

NEXT MEETING DATES

August 12, 2020 & August 26, 2020

These hearings will be held at the West Barnstable Community Building, 2377 Meetinghouse Way (Route 149), West Barnstable, MA at 6:30PM on Wednesday, July 22, 2020.

All applications and plans may be reviewed at the Town of Barnstable, Office of Old King's Highway Historic District, 200 Main Street, Hyannis, MA. (Phone 508.862.4787)

Please Note: The list of matters, are those reasonably anticipated by the chair, which may be discussed at the meeting. Not all items listed may be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. It is possible that if it so votes, the Committee may go into executive session. The Committee may also act on items in an order other than they appear on this agenda. * Public files are available for viewing during normal business hours at the Old King's Highway Historic District office located at 200 Main Street, Hyannis, MA

BARNSTABLE
TOWN CLERK



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.l@townofbarnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: ^{hanging sculpture} → New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date May 23 2020

NOTE All applications must be signed by the current owner

Owner (print): Albert Minucci Telephone #: 508-681-0933

Address of Proposed Work: Post office 3230 Main St. Village Barnstable Map Lot # _____

Mailing Address (if different) 199 East Bay Road apt 1, Osterville MA 02655

* Owner's Signature Albert Minucci

Description of Proposed Work: Give particulars of work to be done: paint gable end above P.O. light grey. Install sculpture of gold Stripped Bass 33" center

Agent or Contractor (print): Edie Vonnegut Telephone #: 508-362-9125

Address: 9 Scudder's lane, Barnstable, MA 02630

Contractor/Agent signature: Edith Vonnegut

For committee use only This Certificate is hereby APPROVED / DENIED

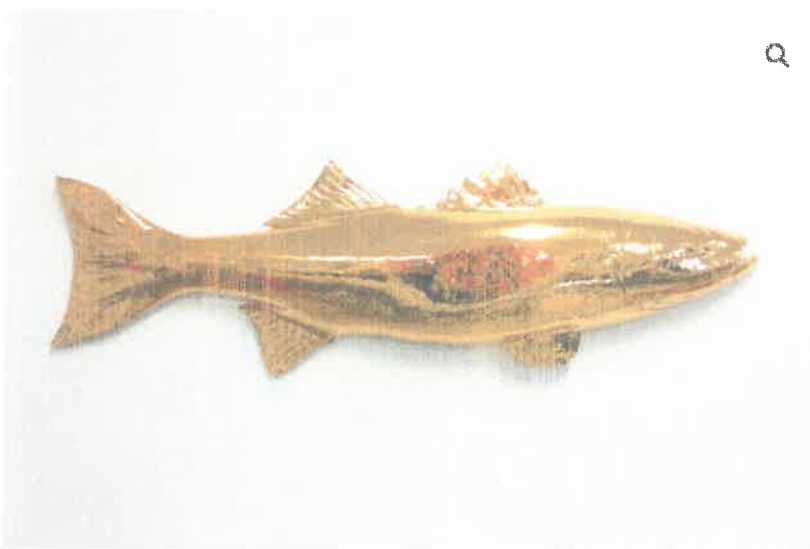
Date _____ Members signatures _____

Conditions of approval _____



Home/ Shells, Claws & Metallics / [Metallic Pottery](#)

< Prev Next >



Striped Bass 33"

\$550.00

Quantity

1

Add to Cart



Gold

GRAINGER POTTERY SANDWICH

2000 Main St.
PO Box 5000
Sandwich, MA
01966
Tel: 508.548.1111
www.graingerpottery.com

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Legend

Road Names



Map printed on: 7/10/2020



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

20 JUL 7 12:29

APPLICATION, CERTIFICATE OF APPROPRIATENESS

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- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 07-01-20

NOTE All applications must be signed by the current owner

Owner (print): RONALD & PENNEY MATTES Telephone #: 774-994-2695
 Address of Proposed Work: 105 BAYBERRY LN Village CUMMAQUID Map Lot # 335,038
 Mailing Address (if different) PO BOX 471 CUMMAQUID MA 02637
 Owner's Signature: Ronald Matte Penney Mattes

Description of Proposed Work: Give particulars of work to be done:
CONSTRUCT NEW 3-BED - 2 BATH CAPE ADDITION - MAIN HOUSE
36X26

Agent or Contractor (print): BERT de MARTIN Telephone #: 508 326 3734
 Address: 54 WEST CLIFF DR PLYMOUTH MA 02360
 Contractor/Agent's signature: Bert J. de Martin

<p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p>
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Handwritten notes: Barnstable, 7/7/20, 2/987, ABCD

Oct. 10



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Email erin.logan@town.barnstable.ma.us



APPLICATION, CERTIFICATE OF APPROPRIATENESS

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- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool: Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 9.11.18

NOTE All applications must be signed by the current owner

Owner (print): RONALD & Penney MATTES Telephone #: 508-326-3734 ^{BERT} ^{RONALD} 774-994-2695

Address of Proposed Work: 105 Bayberry Lane Village CUMMAQUID Map Lot # 335, 038

Mailing Address (if different) P.O. BOX 471 CUMMAQUID 02637

Owner's Signature: [Signature]

Description of Proposed Work: Give particulars of work to be done: CONSTRUCT NEW 3-BEDROOM CAPE WITH 13X14 ADDITION. MAIN HSE. TO MEASURE 36X26

Agent or Contractor (print): BERT deMARTIN Telephone #: 508-326-3734

Address: 54 WEST CLIFF DR. PLYMOUTH, MA. 02360

Contractor/Agent's signature: [Signature]

For committee use only This Certificate is hereby **APPROVED** / DENIED

Date: 10/10/2018 Members signatures: [Signatures]

APPROVED

Conditions of approval: - Field structure for retaining walls
- heavier shutter
- large maple to stay

[Signature]

OCT 10 2018
Town of Barnstable
Old King's Highway
Committee

18 OCT 11 AM

**Town of Barnstable
Old King's Highway Historic District Committee
DECISION**

Wednesday, October 10, 2018, 6:30pm

The Barnstable Committee of the Old King's Highway Historic District Committee, acting in accordance with the Old King's Highway Regional Historic District Act, Chapter 470, Acts of 1973 as amended, has held a hearing and made determinations on the following applications:

APPLICATIONS

Alessi, Alison, & Stoots, Jason, 72 Church Street, West Barnstable, Map 154, Parcel 007, Stephen R. Crocker House, built 1833, Contributing Building in the Meetinghouse Way Historic District Construct 7'X14' addition on the West elevation; construct a 5'X14' screened in porch on the East elevation

****Certificate of Appropriateness Approved as Submitted****

Alessi, Alison, & Stoots, Jason, 72 Church Street, West Barnstable, Map 154, Parcel 007, Stephen R. Crocker House, built 1833, Contributing Building in the Meetinghouse Way Historic District Demolish 840 sqft barn

****Certificate of Appropriateness Approved as Submitted****

Alessi, Alison, & Stoots, Jason, 72 Church Street, West Barnstable, Map 154, Parcel 007, Stephen R. Crocker House, built 1833, Contributing Building in the Meetinghouse Way Historic District Construct 936 sqft barn

****Certificate of Appropriateness Approved as Amended; with the addition of gutters****

Booth, Paul & Michele, 428 Commerce Road, Barnstable, Map 317, Parcel 021/002 Paint clapboard in front of the house, paint shutters, paint front door incl the arbor

****Certificate of Appropriateness Approved as Amended; the clapboard on the front will be Tucker Gray, the shutters and door will be Buxton Blue, the wood arbor will be painted white, and the shutters will be non-louvered as presented ****

Mattes, Ronald & Penney, named buyer in a Purchase & Sales Agreement with Collins, Charlotte, 105 Bayberry Lane, Cummaquid, Map 335, Parcel 038 Construct a single family home

****Certificate of Appropriateness Approved as Amended noting the retaining wall will be faced with fieldstone, a heavier shutter will be used, and the large tree will remain ****

Lepire, Mark, 39 Colonial Way, West Barnstable, Map 237, Parcel 055 Install attic vent and window on the south elevation

****Certificate of Appropriateness Approved as Submitted****



CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) CEMENT

Siding Type: Clapboard ___ shingle other ___
Material: red cedar ___ white cedar other ___ Color: BLEACH OIL

Chimney Material: ___ Color: ___

Roof Material: (make & style) CERTAINTEED, ARCHITECTURAL Color: WEATHERED WOOD

Roof Pitch(s): (7/12 minimum) 12/12 12/6 ^{do not} (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify AZEK

Size of cornerboards 1X8 size of casings (1 X 4 min.) 1X4 color WHITE

Rakes 1st member 1X8 2nd member 1X3 Depth of overhang 8" FLYING RAKES

Window: (make/model) ^{400 SERIES TW} Anderson material VINYL CLAD color WHITE
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
truc divided lights ___ exterior glued grills ___ grills between glass removable interior ___ None ___

Door style and make: 15 lite THERMATU material FIBERGLASS Color: ROYAL BLUE

Garage Door, Style ___ Size of opening ___ Material ___ Color ___

Shutter Type/Style/Material: LOUVER, VINYL Color: ROYAL BLUE

Gutter Type/Material: ALUMINUM, OEE Color: WHITE

Deck material: wood other material, specify ^{FLOOR} MAHOGANY Color: NATURAL

Skylight, type/make/model/: ___ material ___ Color: ___ Size: ___

Sign size: ___ Type/Materials: ___ Color: ___

Fence Type (max 6') Style SPLIT RAIL material: cedar Color: NATURAL

Retaining wall: Material: London Boulders

Lighting, freestanding 3-LAMP POST on building ORION LAMPS illuminating sign ___

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) Bert deMartin Print Name BERT deMARTIN

Divided Lites Pages 163, 167, 177, 183

Simulated Divided Lites with Grilles Between Glass

Choose wood-grained or smooth-textured SDL bars layered over flat bronze GBG bars to achieve the most authentic divided lite look.

Look for the () icons.

80

Shown with flat bronze GBGs, recommended.

Simulated Divided Lites (SDLs)

Wood-grained or smooth SDL bars are adhered to the interior and exterior panes of tempered glass. Can be stained or painted to complement the door and home.

Look for the () icons.

105


Grilles Between Glass (GBGs)

Contour or flat GBG bars are thermally sealed between two panes of tempered glass for the convenience of a smooth, easy-to-clean glass surface.

Look for the () icons.

Removable Wood Grilles

Removable wood grilles snap on and off the interior pane of tempered glass for easy cleaning. Can be stained or painted to complement the home décor.

Look for the () icon.

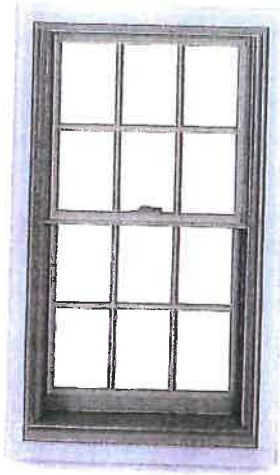
Interior view.

*Available in Special Quote Program.

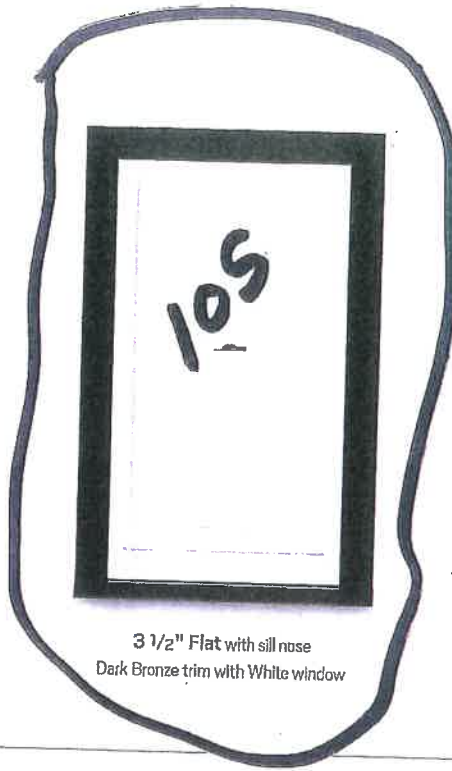
**Not recommended for use behind storm doors or to be painted dark colors, if exposed to direct sunlight.
Note: See page 273 for important product details that may help with your purchase decision.

Right Page: Fiber-Classic Mahogany Collection, Clear Glass with SDLs, Door - FCM608

STYLES



2" Brick Mould with sill nose
Dove Gray trim with Terratone window



3 1/2" Flat with sill nose
Dark Bronze trim with White window



4 1/2" Flat with sill nose
Canvas trim with Forest Green window

HEAD TRIM OPTIONS



Decorative Drip Cap



2" Cornice



3 5/8" Cornice

OPTIONS & ACCESSORIES

COLORS

WINDOW AND DOOR COLORS*



TRIM COLORS



COLOR CHOICES & COMBINATIONS

Available in 11 factory-finished colors that never need painting and won't fade, flake, blister, chalk or peel no matter what the climate.** Mix and match trim and product colors to give your customers the look they want.



Red Rock trim with Sandtone window

* Some products are not available in all colors. See your Andersen supplier for details.

** Visit andersenwindows.com/warranty for details.

Printing limitations prevent exact duplication of colors. See your Andersen supplier for actual color samples.

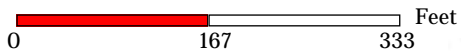


Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

16

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 167 feet



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Town of Barnstable GIS Unit

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508-862-4624

gis@town.barnstable.ma.us



17

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 83 feet



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LEGEND

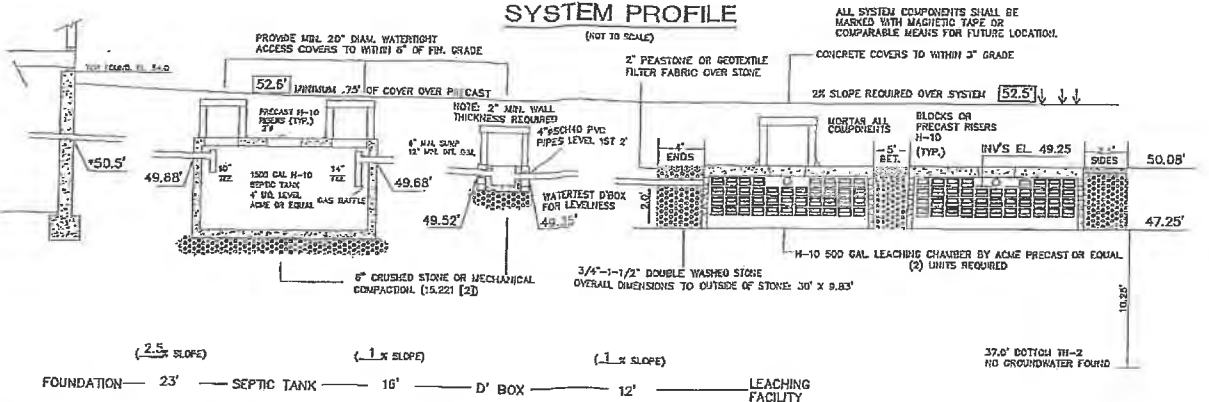
- 89 - EXISTING CONTOUR
- 88.7 - EXIST. SPOT ELEV.
- 89.0 - PROPOSED CONTOUR
- 89.4 - PROPOSED SPOT EL.
- THI - TEST HOLE
- 89.5 - SLOPE OF GROUND
- UT - UTILITY POLE
- FH - FIRE HYDRANT

NOTE: NOT ALL SYMBOLS MAY APPEAR IN DRAWING

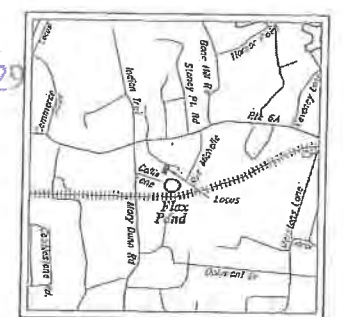
*THE INSTALLER SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND ALL BUILDING SEWER OUTLETS AND ELEVATIONS PRIOR TO INSTALLING ANY PORTION OF SEPTIC SYSTEM

SYSTEM DESIGN:

GARBAGE DISPOSER IS NOT ALLOWED
 DESIGN FLOW: 3 BEDROOMS @ 110 GPD = 330 GPD
 USE A 330 GPD DESIGN FLOW
 SEPTIC TANK: 330 GPD (2) = 660
 USE A 1500 GAL SEPTIC TANK
 LEACHING:
 SIDES: 2 (30 + 9.83) 2 (.74) = 118 GPD
 BOTTOM: 30 x 9.83 (.74) = 218 GPD
 TOTAL: 454 S.F. 336 GPD
 USE (2) 500 GAL LEACHING CHAMBERS (ACME OR EQUAL) WITH 2.5" STONE AT SIDES, 4" AT ENDS AND 5" BETWEEN UNITS



- NOTES**
- DATUM IS NAVD 83
 - MUNICIPAL WATER IS CASING
 - MINIMUM PIPE PITCH TO BE 1/8" PER FOOT
 - DESIGN LOADING FOR ALL PROPOSED PRECAST UNITS TO BE ASHD H-10
 - PIPE JOINTS TO BE MADE WATERTIGHT
 - CONSTRUCTION DETAILS TO BE IN ACCORDANCE WITH 310 CMR 15.000 (TITLE 5)
 - THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE
 - PIPE FOR SEPTIC SYSTEM TO SCH. 40-4" PVC
 - COMPONENTS NOT TO BE BACKFILLED OR CONCEALED WITHOUT INSPECTION BY BOARD OF HEALTH AND PERMISSION OBTAINED FROM BOARD OF HEALTH
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DIGSAFE (1-800-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK
 - ANY UNSUITABLE MATERIAL ENCOUNTERED SHALL BE REMOVED BENEATH AND 5' AROUND THE PROPOSED LEACHING FACILITY
 - WETLAND FLAGGED BY BRAD HALL OF BLH ENVIRONMENTAL (DETERMINATION OF APPLICABILITY RECEIVED JAN. 2017 FOR APPROVAL OF TEST HOLE PROCEDURE)



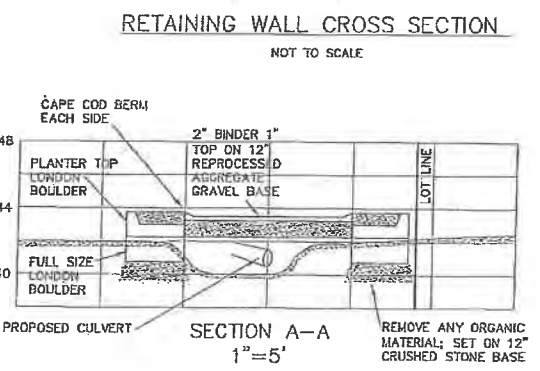
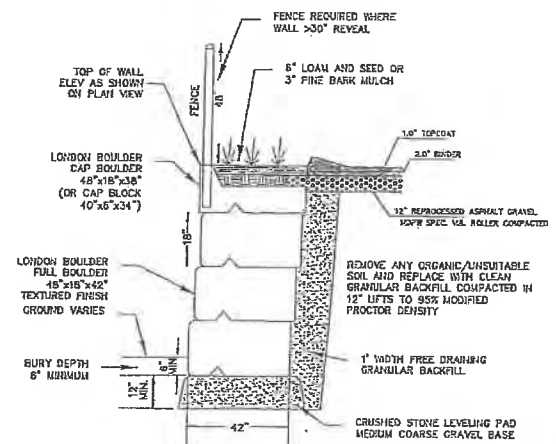
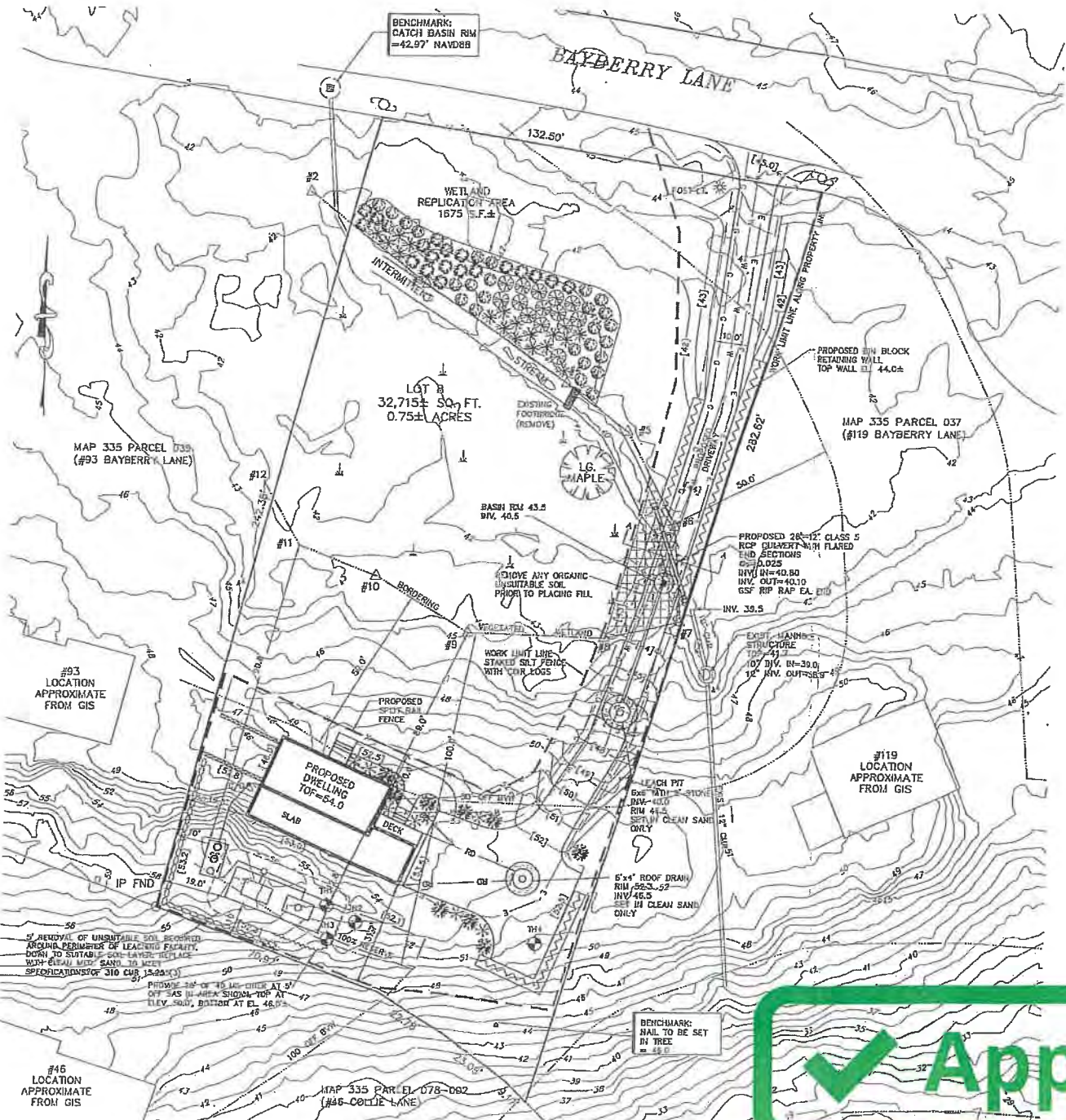
LOCUS MAP
 SCALE 1"=2000'
 ASSESSORS MAP 335 PARCEL 038
 LOCUS IS WITHIN FEMA FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON COMMUNITY PANEL #25001C0550J DATED 7/16/2014

VARIANCE REQUESTED UNDER TOWN OF BARNSTABLE SECTION 360-1:
 PRIMARY AND RESERVE SAS TO BE 89' TO THE BORDERING VEGETATED WETLAND (1' VARIANCE); SEPTIC TANK TO BE 90.8' TO THE BVW (8.2' VARIANCE)

TEST HOLE LOGS

ENGINEER: CRAIG J. FERRARI, SE #13871
 WITNESS: DONALD DESMARIS RS
 DATE: 1-15-2018
 PERC. RATE = < 2 MIN/INCH
 CLASS I SOILS P# 15574

DEPTH	SOIL TYPE	ELEV.	DEPTH	SOIL TYPE	ELEV.
0"	A SL	55'	0"	A SL	54'
9"	10YR 3/2	52'	9"	10YR 3/2	52'
36"	10YR 5/8	52'	24"	10YR 5/8	52'
156"	10YR 6/2	42'	96"	10YR 6/2	46'
	C2			C2	
	MS			MS	
204"	10YR 7/4	38'	204"	10YR 7/4	37'
NO GROUNDWATER ENCOUNTERED					
0"	A SL	52'	0"	A SL	51'
6"	10YR 3/2	52'	6"	10YR 3/2	51'
22"	10YR 5/8	50.2'	18"	10YR 5/8	49.5'
	C1			C1	
	FSL			FSL	
72"	10YR 6/2	46'	84"	10YR 6/2	44'
	C2			C2	
	MS			MS	
144"	10YR 7/4	40'	144"	10YR 7/4	39'
NO GROUNDWATER ENCOUNTERED					



REPLICATION SHRUB PLANTING SCHEDULE

SYMBOL	PLANT NAME	SIZE	QTY	SPACING
⊗	SWEET PEPPERBUSH	#1	19	4' O.C.
⊗	HIGH BUSH BLUEBERRY	#2	27	6' - 8' O.C.
⊗	ARROWWOOD	#2	17	6' O.C.
⊗	COMMON ELDERBERRY	#2	14	4' O.C.

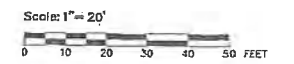
NOTE: 6" LOAM AND HYDROSEED ALL DISTURBED AREAS NOT OTHERWISE NOTED. EROSION CONTROL JUTE NETTING ON ALL SLOPES IN EXCESS OF 10%.

SITE PLAN

OF
 105 BAYBERRY LANE
 CUMMAQUID, MA

PREPARED FOR
RONALD & PENNEY MATTES

DATE: AUGUST 10, 2018
 REV.: SEPTEMBER 6, 2018



Scale: 1"=20'
 939 Main Street (Rio 6A)
 YARMOUTHPORT MA 02875



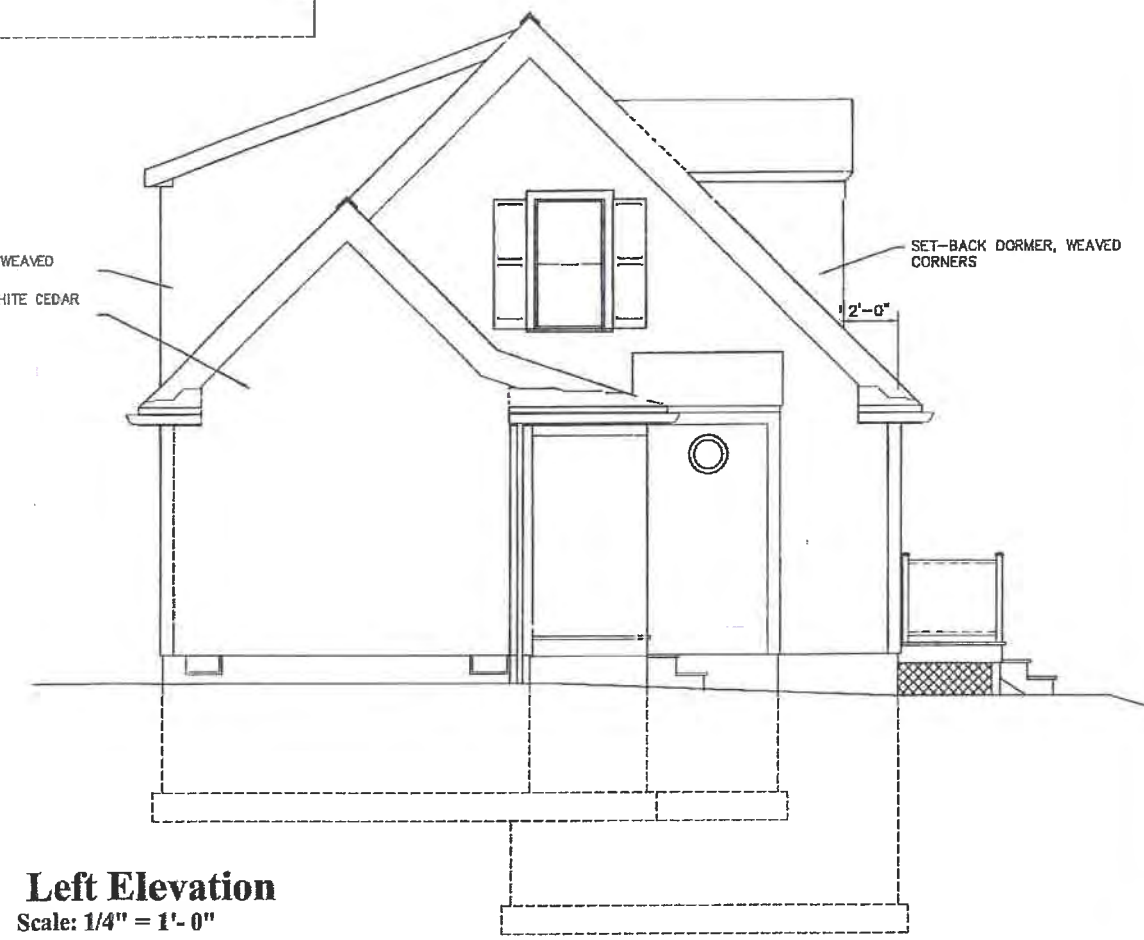
DATE: 9-6-18
 D. A. OJALA, P.E., P.L.S.



- TYPICAL ROOF VENT
- PVC PANEL, WHITE
- TYPICAL ROOF SHINGLES
- ARCHITECTURAL SHINGLES, WEATHERED WOOD
- ALL TRIM PVC, WHITE
- K GUTTERS, WHITE
- 2"-2.5" ROUND DOWNSPOUTS, WHITE
- ANDERSEN TILT WASH WINDOWS WITH BETWEEN GRILLS, ALL WHITE
- VINYL SHUTTER
- PRE-FINISHED WHITE CEDAR
- AZEK OR = FENCE, WHITE

NOTE STAIRS:
 1) 1 1/2" NOMINAL AZECK OR = DECKING, GRAY
 2) 3/4" PVC RISERS, SKIRTS, TRIM
 3) AZEK OR = RAILS
 4) VINYL LATTICE, WHITE

Front Elevation
 Scale: 1/4" = 1'-0"

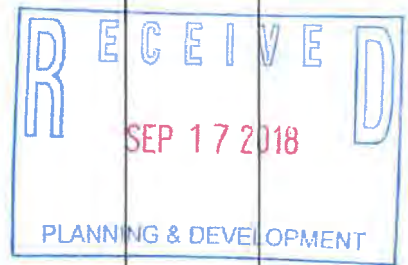


FLUSH DORMER, WEAVED CORNERS
 PRE-FINISHED WHITE CEDAR SIDING, GRAY

SET-BACK DORMER, WEAVED CORNERS

2'-0"

Left Elevation
 Scale: 1/4" = 1'-0"



A1-0

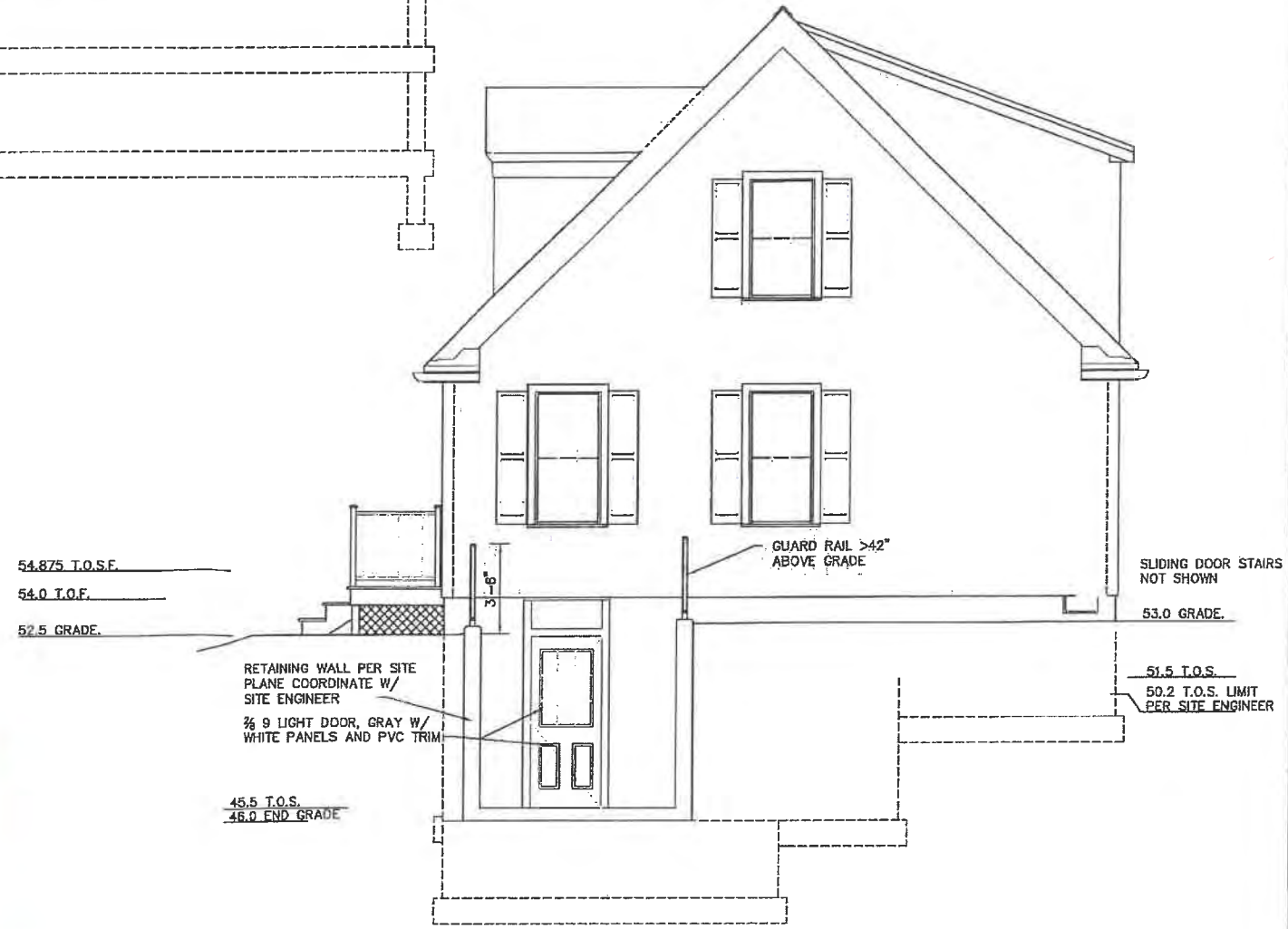
RECEIVED
SEP 17 2018
PLANNING & DEVELOPMENT



SEE FRONT ELEVATION FOR TYPICAL GRADE AND RAIL SECTION AT WALK-OUT

Rear Elevation
Scale: 1/4" = 1'-0"

✓ **Approved**



54.875 T.O.S.F.
54.0 T.O.F.
52.5 GRADE.

RETAINING WALL PER SITE PLANE COORDINATE W/ SITE ENGINEER
1/2\"/>

45.5 T.O.S.
46.0 END GRADE

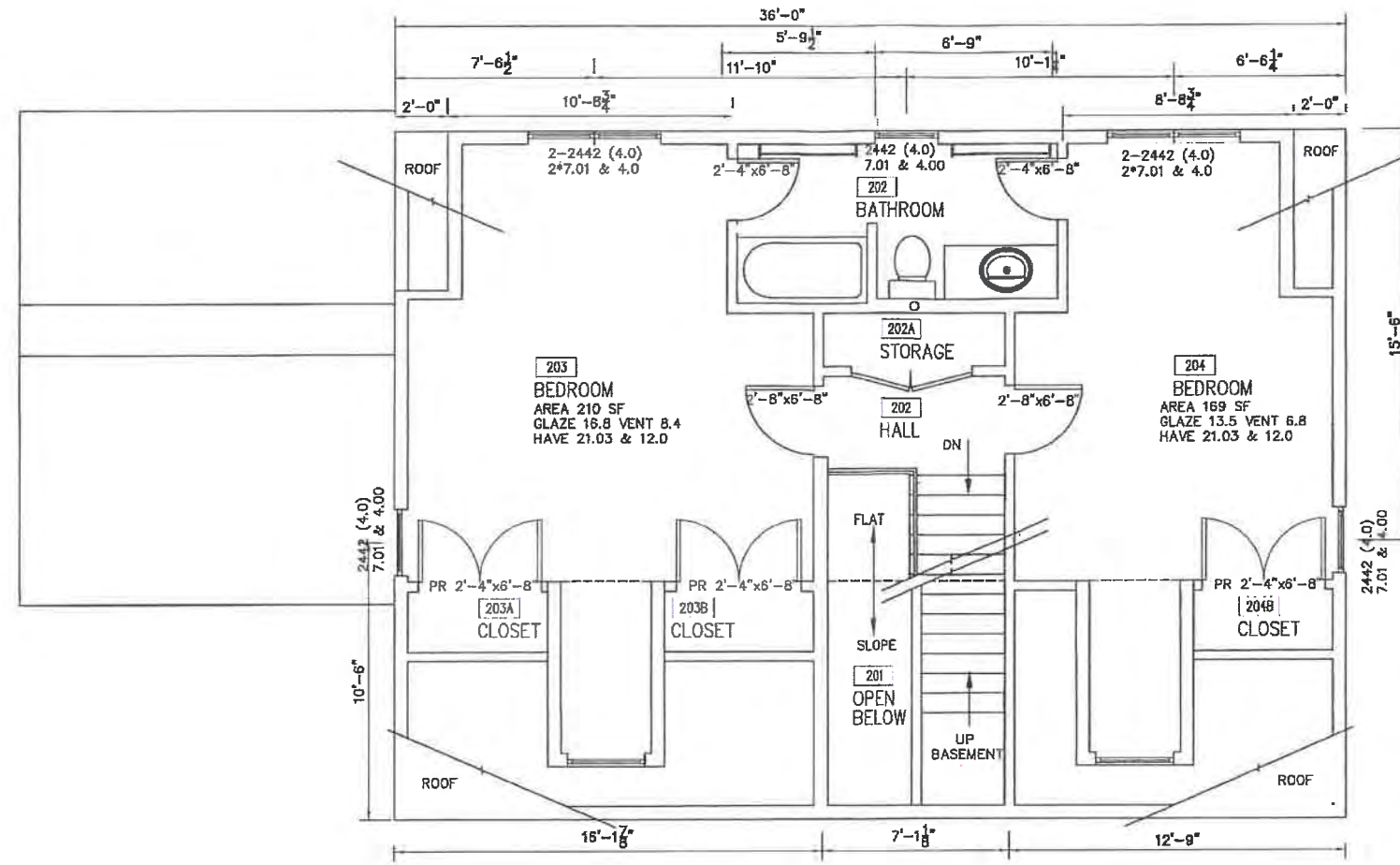
GUARD RAIL >42" ABOVE GRADE

SLIDING DOOR STAIRS NOT SHOWN
53.0 GRADE.

51.5 T.O.S.
50.2 T.O.S. LIMIT PER SITE ENGINEER

Right Elevation
Scale: 1/4" = 1'-0"

A1-1



SECOND Floor Plan (936 sf gross)
 Scale: 1/4" = 1'- 0"

RECEIVED
 SEP 17 2018
 PLANNING & DEVELOPMENT

✓ Approved

A1-3



Barnstable Old Kings Highway Historic District Committee

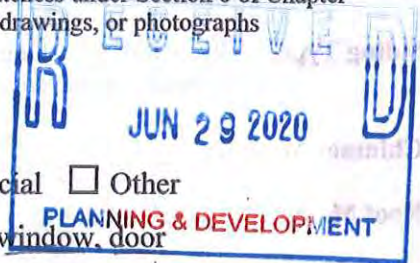
200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

1. Building construction: New Addition Alteration
2. Type of Building: House Garage/barn Shed Commercial Other
3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
4. Sign: New Sign Existing Sign Repainting Existing Sign
5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
6. Pool Swimming Other man-made pool Solar panels Other



Type or Print Legibly: Date _____

NOTE All applications must be signed by the current owner

Owner (print): William and Natalie Peters Telephone #: 443-467-8574

Address of Proposed Work: 2159 Main St. Village Barnstable Map Lot # _____

Mailing Address (if different) 2159 Main St, West Barnstable 02608

Owner's Signature Natalie Peters

Description of Proposed Work: Give particulars of work to be done: Paint house white, ~~add pergola~~, add short pergola to support climbing roses across front facade, shingle all exterior sides currently sided with T-1-11, change trim and door color to Benjamin Moore Chelsea Gray.

Agent or Contractor (print): Johnny Davis Telephone #: 508-237-7215

Address: _____

Contractor/Agent's signature: John Davis

<p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p>
--	--

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ___ other _____
Material: red cedar ___ white cedar ___ other _____ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood _____ other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood _____ other material, specify _____ Color: _____

Skylight, type/make/model: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

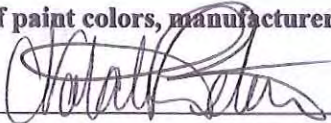
Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

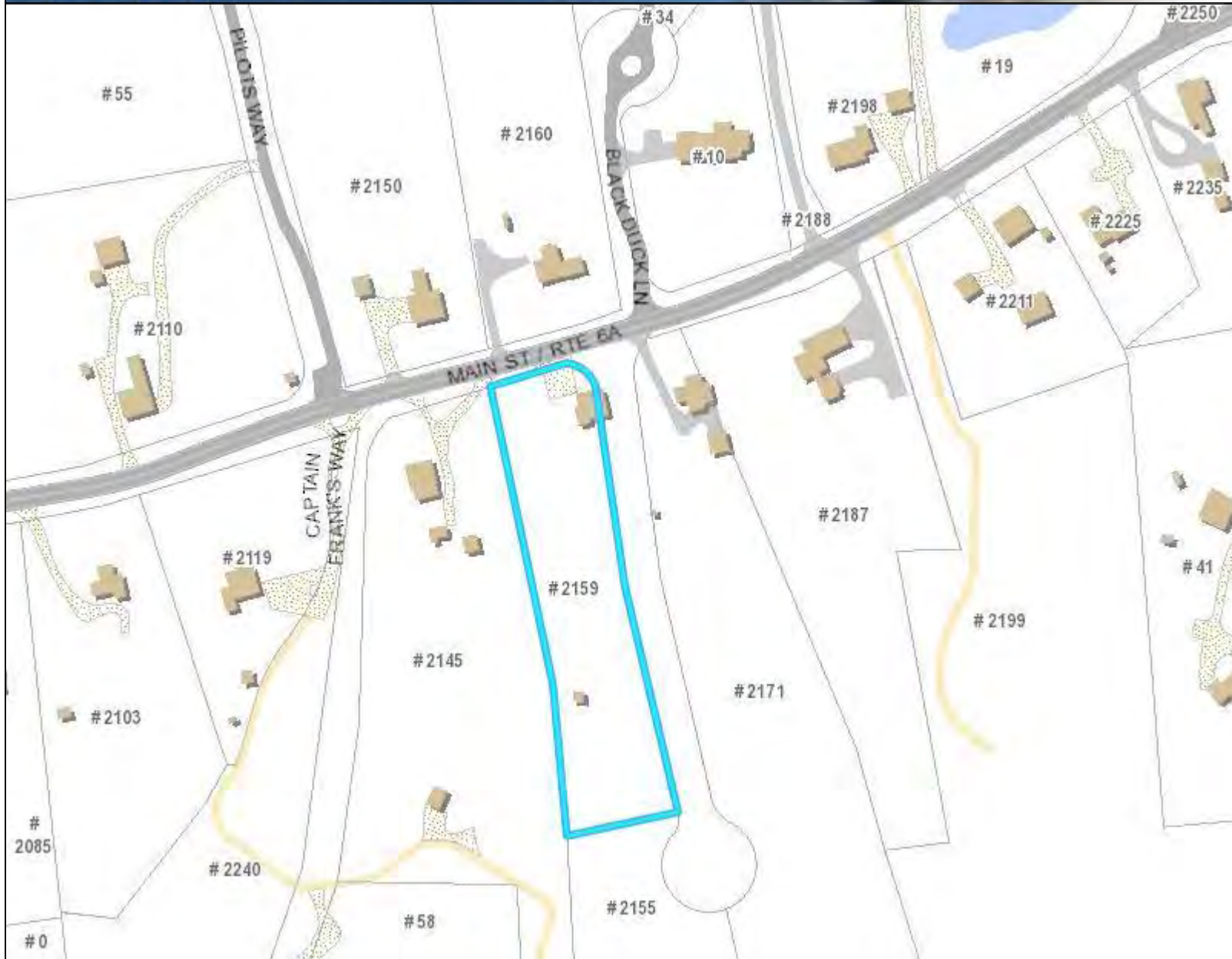
THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer)  _____ **Print Name** Natalie Peters



Benjamin Moore Chelsea Gray ↵
For Front Door and ~~Front~~
Windows
2159 Main St, West Barnstable

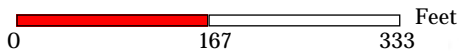


Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

25

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 167 feet



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Town of Barnstable GIS Unit

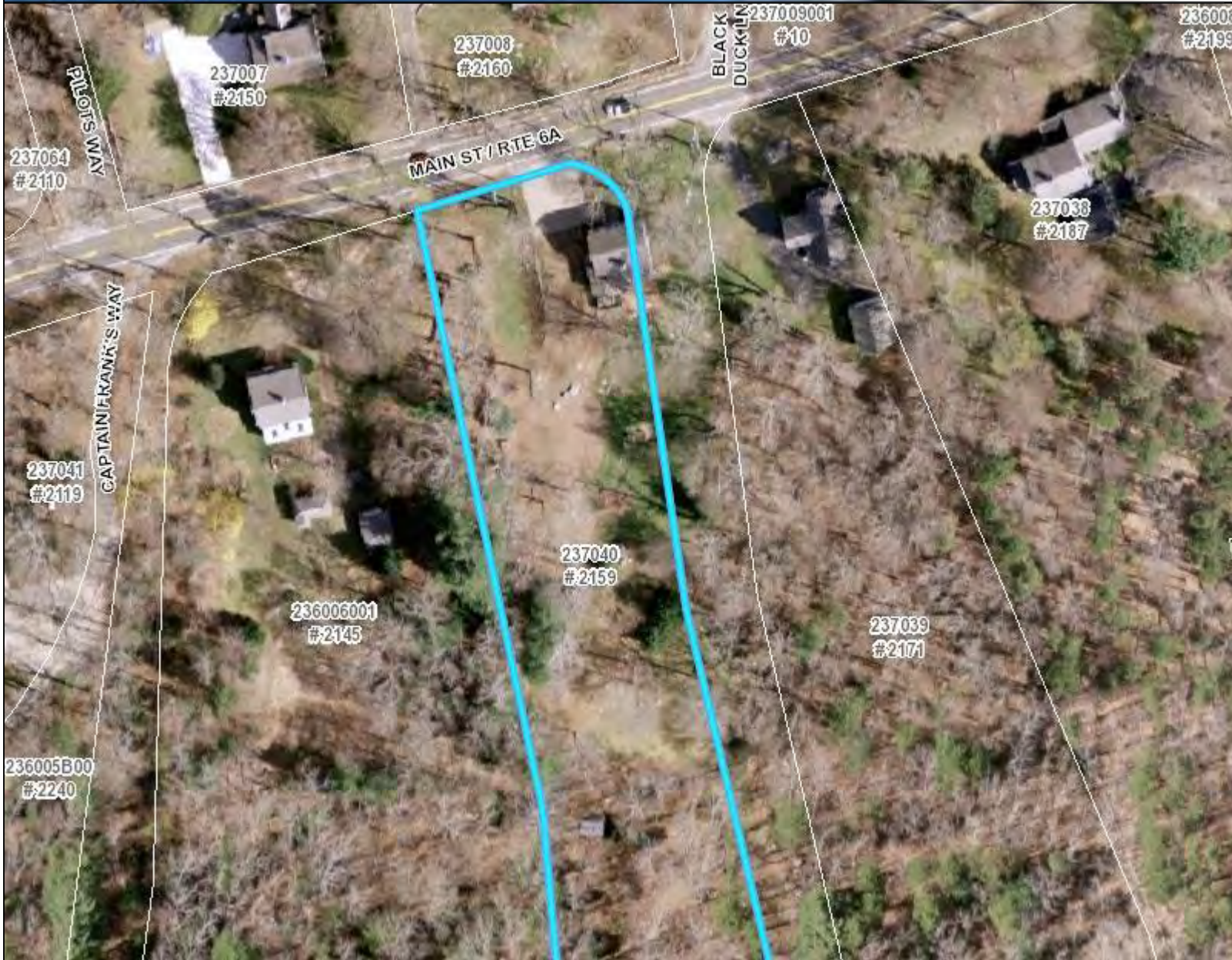
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

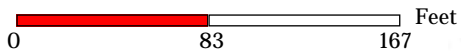
Legend

Road Names



26

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Barnstable Old Kings Highway Historic District Committee
200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.kwan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 6/20/20

NOTE All applications must be signed by the current owner

Owner (print): MICHAEL BUTLER Telephone #: 508-420-2994
 Address of Proposed Work: ADDITION Village W. BARNSTABLE Map Lot # 126 / 017
 Mailing Address (if different) PO Box 608 W. BARNSTABLE, MASS 02608
 Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done: CONSTRUCT 24'x36' TWO
STONE ADDITION TO EXISTING MAIN HOUSE. INCLUDE 80x7'
TWO SIDE FARMERS PORCHES.

Agent or Contractor (print): STEPHEN DEVLIN Telephone #: 508-776-6660
 Address: 820 MAIN ST. CORUI, MASS 02625
 Contractor/Agent signature: [Signature]

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) 8' poured concrete

Siding Type: Clapboard shingle other _____
Material: red cedar _____ white cedar other aspen Color: white cedar - pleanty

Chimney Material: N/A Color: _____

Roof Material: (make & style) Certainteed ~~white~~ black Color: BLACK BLEND

Roof Pitch(s): (7/12 minimum) 8/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood _____ other material, specify PVC KLEER

Size of cornerboards 5 1/2 x 5 1/2 size of casings (1 X 4 min.) 4 1/2 color WHITE

Rakes 1st member 1 x 8 2nd member 1 x 3 Depth of overhang 4 1/2"

Window: (make/model) ANDERSEN material COMPOSITE color WHITE
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights _____ exterior glued grills grills between glass _____ removable interior _____ None _____
Simulated w/ spacer bar

Door style and make: DAEWHA - TAN material FIBERGLASS Color: BLACK

Garage Door, Style N/A Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: VINYL Color: BLACK

Gutter Type/Material: ALUMINIUM Color: WHITE

Deck material: wood other material, specify _____ Color: IMMAGINE - NATURAL

Skylight, type/make/model: N/A material _____ Color: _____ Size: _____

Sign size: N/A Type/Materials: _____ Color: _____

Fence Type (max 6') Style N/A material: _____ Color: _____

Retaining wall: Material: N/A

Lighting, freestanding _____ on building (with copes) illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name STACE DEULIN

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.
- Landscaping plan, 5 copies drawn on a certified perimeter plan containing the following information:
 - Name of applicant, street address, assessor's map and parcel number.
 - Name address and telephone number of the plan preparer, plan date, & dates of revisions
 - The location of existing and proposed buildings and structures, and lot lines.
 - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
 - Existing buffer areas to remain.
 - Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
 - The location, number, size and name of proposed new trees and plants.
 - Driveway, parking areas, walkways, and patios indicating materials to be used.
 - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
 - All proposed exterior lighting and signs.
- Sketch or photos of adjacent properties, (1 copy only)
 - A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- Photographs of all sides of existing buildings to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 520 sq. ft. Building 2 ~~864~~ 864 N/A

Existing Building, gross floor area, including area of finished basement:

Building 1 520 sq. ft. Building 2 ~~864~~ N/A

New building or addition, foot print:

Building 1 864 sq. ft. Building 2 _____

New Building or addition, gross floor area, including area of finished basement:

Building 1 864 sq. ft. Building 2 _____

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Fees according to schedule, made payable to the Town of Barnstable
- \$17.25 check made payable to the Barnstable Patriot for the required legal ad notification
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) [Signature] Print STEPHEN DEVLIN
 Date: 6/20/20 Tel. Phone no's: 508-776-6660
 Email: CE+MARK@STURVICKS.COM (EJAMMILL.COM)

NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS

ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

APPEAL PERIOD	APPROVED PLANS	PLAN PICK UP
---------------	----------------	--------------

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.
 Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038
 Conservation Division 508-862-4093 Health Division 508-862-4644

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787





32



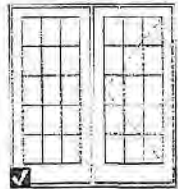
33





Viewed from Exterior

Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
0003	3	A281 (V)		\$ 463.41	\$ 1390.23
RO Size = 2' 8" W x 2' 0 5/8" H Unit Size = 2' 7 1/2" W x 2' 0 1/8" H					
400 Series					
Unit, Black/White - Factory Painted, V Handing, High Performance Low-E4 Glass, Divided Light without Spacer, Specified Equal Lite, 2W2H, 3/4", Ext Grille - Black, Int Grille - Prefinished White (Includes 6 9/16" Factory Applied White - Painted Head and Side Member Extension Jambs)					
Insect Screen, White					
Hardware Pack, PSA, Contemporary Folding - White					
Zone: Northern					
U-Factor: 0.28, SHGC: 0.29, ENERGY STAR® Certified: No					



Viewed from Exterior

0004	2	FWHID6068 (SAL)		\$ 3486.50	\$ 6973.00
RO Size = 6' 0" W x 6' 8" H Unit Size = 5' 11 1/4" W x 6' 7 1/2" H					
A Series					
Unit, Inswing, 6 9/16" Frame Depth, Gray Sill, SAL Handing, Black/Pine, White - Factory Painted, High Performance Low-E4 Tempered, Divided Light without Spacer, Colonial, 3W5H, 7/8", Ext Grille - Black, Int Species - Pine, Int Grille - White - Factory Painted, Factory Applied White Hinges					
Top Hung Gliding Insect Screen Track, SAL, Black					
Top Hung Gliding Insect Screen, SAL, Black					
Hardware Trim Set, FWH/FWO, LH, Albany - White					
Zone: Northern					
U-Factor: 0.30, SHGC: 0.21, ENERGY STAR® Certified: Yes					

35

Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
			Total Load Factor	Subtotal	\$ 17,088.33
Customer Signature			4.966	Tax (6.250%)	\$ 1,068.02
				Grand Total	\$ 18,156.35

Dealer Signature

**** All graphics viewed from the exterior**

**** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.**



Ask to see if all of the products you purchase can be upgraded to be ENERGY STAR® certified.



This image indicates that the product selected is certified in the US ENERGY STAR® climate zone that you have selected.

Data is current as of November 2019. This data may change over time due to ongoing product changes or updated test results or requirements. Ratings for all sizes are specified by NFRC for testing and certification. Ratings may vary depending on the use of tempered glass or different grille options or glass for high altitudes etc.

Nexia is a registered trademark of Ingersoll Rand Inc.

Project Comments:

36

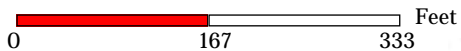


Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

37

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 167 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

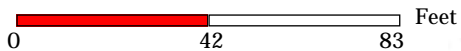
Legend

Road Names



38

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 42 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

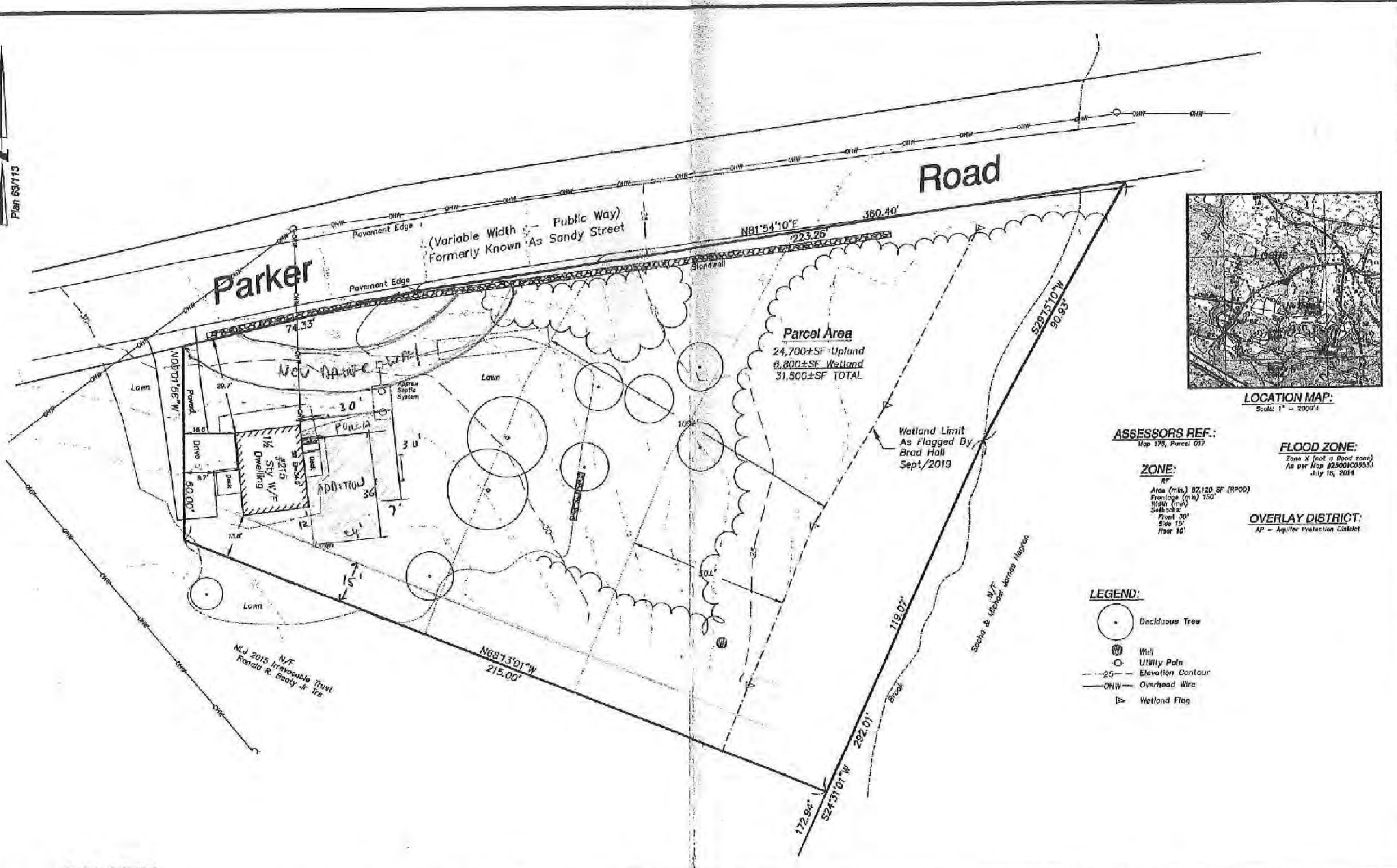
508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 176017

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
176015	LAMPI, IRENE MARTHA		765 RTE 6A		YARMOUTH PORT	MA	02675
176017	BUTLER, MICHAEL J & SARAH M		215 PARKER ROAD	P O BOX 608	WEST BARNSTABLE	MA	02668
176018	BEATY, RONALD R JR TR	NLJ 2015 IRREVOCABLE TRUST	PO BOX 342		HYANNIS	MA	02601
176023	BARNSTABLE LAND TRUST INC		1540 MAIN STREET		WEST BARNSTABLE	MA	02668
176027	NEGRON, SACHA & MICHAEL JAMES		PO BOX 718		WEST BARNSTABLE	MA	02668
177007	BECHTEL, DENNIS A & BRENDA L		164 PARKER RD		WEST BARNSTABLE	MA	02668



LOCATION MAP:
Scale: 1" = 2000'

ASSESSORS REF.:
Map 176, Parcel 017

FLOOD ZONE:
Zone X (not a flood zone)
As per Map #2800100553
July 15, 2014

ZONE:
RF
Area (ma.) 87,120 SF (RP00)
Frontage (ma) 150'
Width (ma)
Setbacks:
Front 30'
Side 15'
Rear 10'

OVERLAY DISTRICT:
AP - Aquifer Protection District

LEGEND:

- Deciduous Tree
- Well
- Utility Pole
- Elevation Contour
- Overhead Wire
- Wetland Flag

DRAFT

Title:
**Existing Conditions Plan of Land
at 215 Parker Road in
Barnstable, (West Barnstable) Mass.**

PREPARED BY:
CapeSurv
23 West Bay Rd, Suite G
Osterville MA 02655
(508) 420-3994 / 420-3995 fax
www.capesurv.com

PREPARED FOR:
Michael & Sarah Butler

Notes/Revision:
NOTE:
1.) The property line information shown was compiled from available record information.
2.) The topographic information was obtained from an on the ground survey performed on or between 09/SEP/19 and 22/OCT/19.
3.) The datum used approximate NAVD'88.

Date: **December 11, 2019**

Scale: **1"=20'**

Field: WHK/ASK
Comp./Draft: RRL/WHK

Review: RRL
Drawing # C376_2G1 ex1



Sheet **1** of **1**

PROJECT TITLE

Proposed Addition

215 Parker Rd.

West Bellingham, Mass

CENTRAL CAPE
CONSTRUCTION COMPANY, INC.
820 MAIN STREET
COTUIT, MA 02635

PREPARED FOR

Mike and Sarah Rutler



Central Construction Company, Inc.

Steve Devlin - President

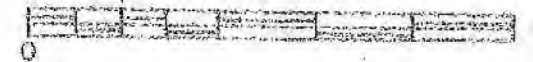
"The Excitement is Building"

820 Main Street • Cotuit, MA • 508-420-1340

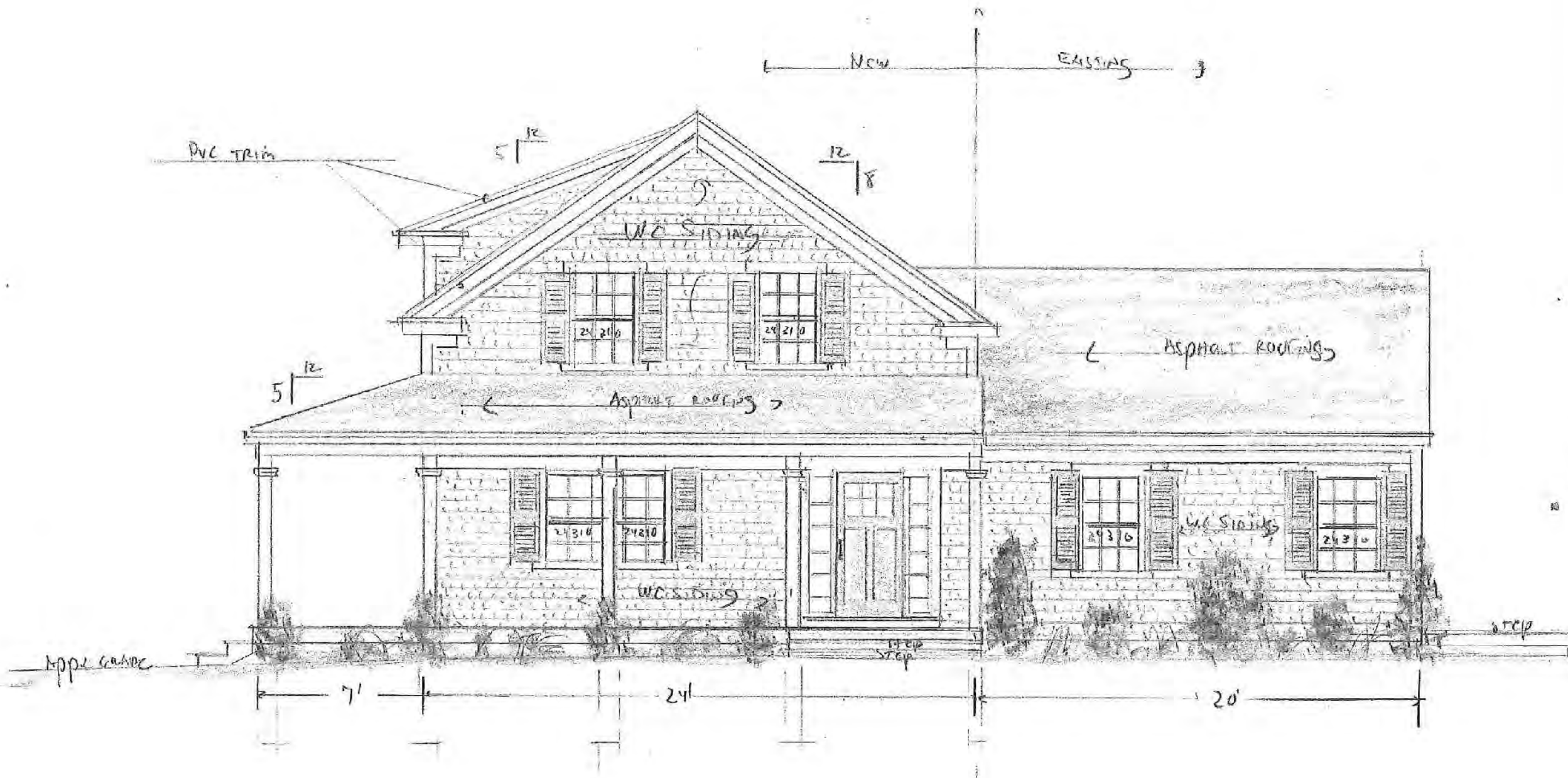
e-mail: centralconstructionco@gmail.com

Website: www.centralcapeconstruction.com

SCALE $\frac{3}{16}'' = 1'$



DATE	3/28/20	DWG NO.	
DESIGN	Steve Devlin	AC	
CHECK			
DRAWN			
JOB NO.		SHEET	OF



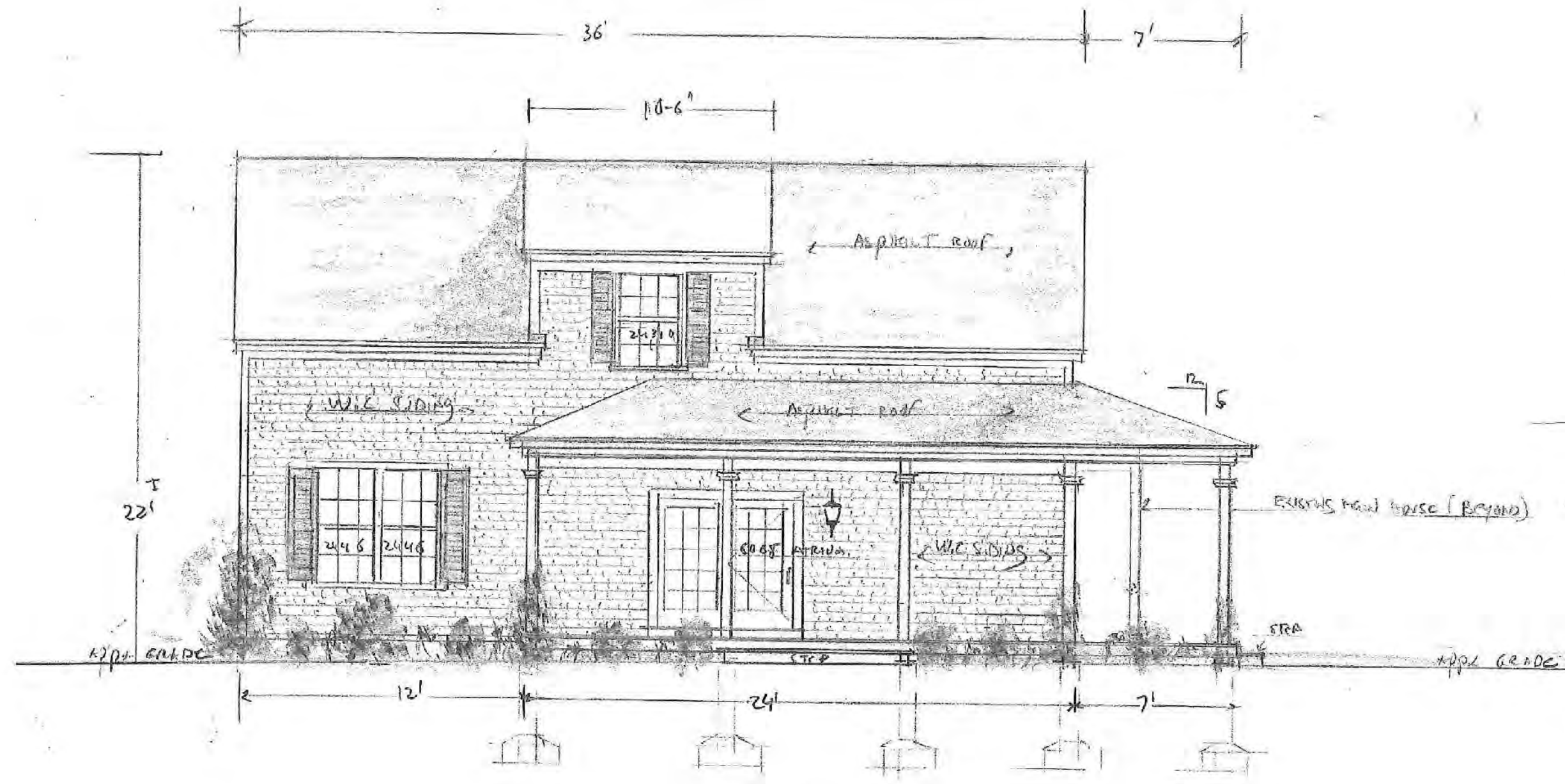
Front Elevation $\frac{3}{16}'' = 1'$

PROJECT TITLE

Proposed Addition

215 PARKER RD.

WEST BARNSTABLE, MA



PREPARED FOR

MIKE and SARAH BUTLER



Central Construction Company, Inc.

Steve Devlin - President

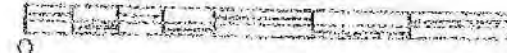
"The Excitement is Building"

820 Main Street - Cotuit, MA • 508-420-1340

e-mail: centralconstructionco@gmail.com

Website: www.centralcapcconstruction.com

SCALE 3/16" = 1'



Side Elevation 3/16" = 1'

DATE	3/25/20	DWG NO.	
DESIGN	STAC DEVLIN		A2
CHECK			
DRAWN			
JOB NO		SHEET	OF

PROJECT TITLE
Proposed Addition
215 Parker Rd
West Barnstable, Mass



PREPARED FOR
Mike and Sarah Butler



Central Construction Company, Inc.
 Steve Devlin • President
 "The Excitement is Building"
 820 Main Street • Cotuit, MA • 508-420-1340
 e-mail: centralconstructionco@gmail.com
 Website: www.centralcapeconstruction.com

SCALE $\frac{3}{16}'' = 1'$

DATE	3/28/20	DWG NO.	
DESIGN	Steve Devlin		
CHECK			A3
DRAWN			
JOB NO		SHEET	OF

PROJECT TITLE

Proposed Addition

215 PARKER RD.

WEST BARNSTABLE, MA.



Side Elevation 3/16" = 1'

PREPARED FOR

Mike and Sarah Butler



Central Construction Company, Inc.

Steve Devlin - President

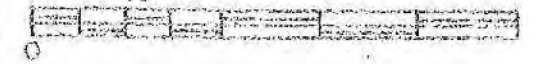
"The Excitement is Building"

820 Main Street • Cotuit, MA • 508-420-1340

e-mail: centralconstructionco@gmail.com

Website: www.centralcapeconstruction.com

SCALE 3/16" = 1'



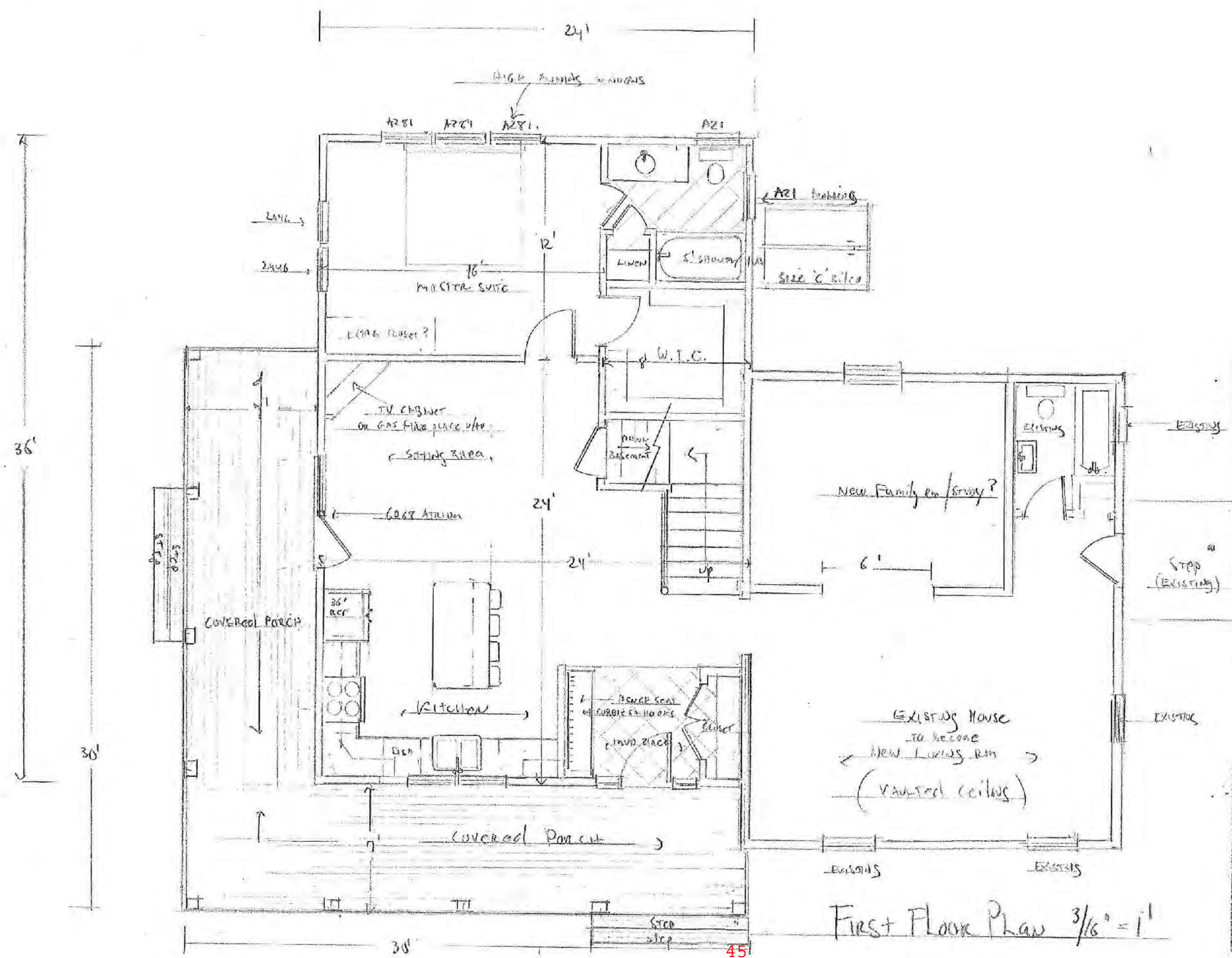
DATE	3/28/20	DWG NO.	
DESIGN	STEVE DEVLIN		
CHECK			A4
DRAWN			
JOB NO.		SHEET	OF

PROJECT TITLE

Proposed Addition

215 PARKER RD.

WEST BARNSTABLE, MA



PREPARED FOR
Mike and Sarah Breen



Central Construction Company, Inc.

Steve Devlin • President
 "The Excitement is Building"
 820 Main Street • Cotuit, MA • 508-420-1340
 e-mail: centralconstructionco@gmail.com
 Website: www.centralcapeconstruction.com

SCALE 3/16" = 1'

DATE	3/28/20	DWG NO.	
DESIGN	Steve Devlin		
CHECK			A5
DRAWN			
JOB NO		SHEET	OF

First Floor Plan 3/16" = 1'



Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

2020 JUL 2 PM 12:08
 BARNSTABLE TOWN CLERK

**APPLICATION, CERTIFICATE OF APPROPRIATENESS FOR
 DEMOLITION OR RELOCATION OF A BUILDING OR STRUCTURE
 (including partial demolitions of buildings, structures; outbuildings, stone walls, etc.)**

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Assessors Map 270

Date: June 29, 2020 Address of Proposed work: Assessors Map and lot # Parcel 024
 House # 47 Street Rendezvous Lane Village: Barnstable

Demolition of: house part of house Garage barn stable commercial stone wall other

Description of Proposed Work: Demolition of entire house and porch EXCEPT for the small bedroom at the south end of the house to be relocated and used as a storage shed as noted on the attached drawing.

If application is for removal to a different location, state where: _____

Please complete the following information:

Square footage of footprint of building(s) to be demolished: Building 1: 970 s.f. 2: _____
 Square footage of total floor area of building(s) to be demolished: Building 1: 970 s.f. 2: _____

Owner:

Owner (please print): Melora Coggeshall & James Champlin Tel #: 207-400-4559
 Owner's mailing address: 47 Rendezvous Lane • Barnstable, MA 02630
 Signature of Owner: _____

Note: All applications must be signed by the owner, or evidence of authority to act for the owner submitted

Contractor:

Agent:

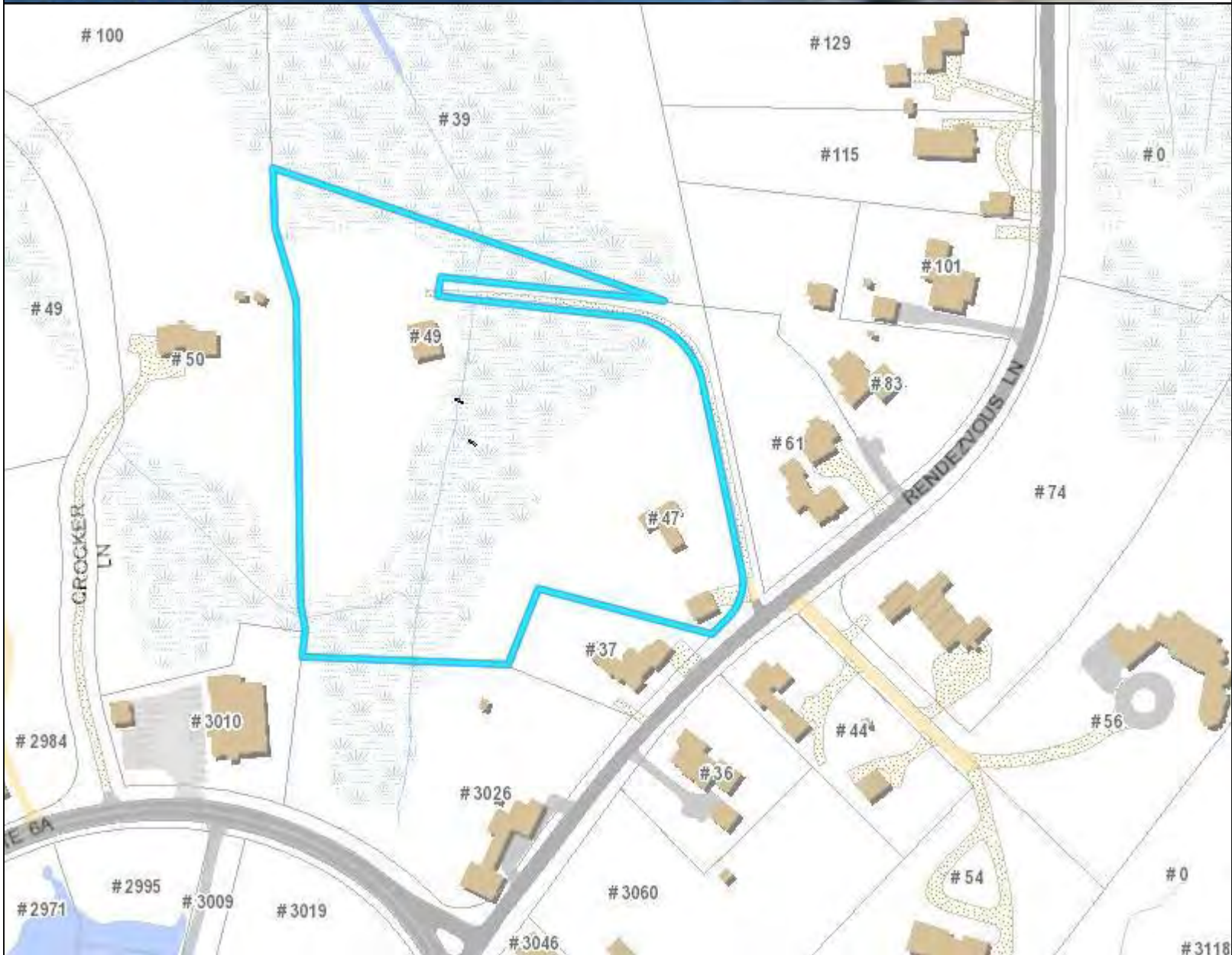
Agent/Contractor (please print): Denise & Ben Thompson Tel #: 617-852-6835
 Address: 33 Glenwood Avenue • Cambridge, MA 02139
 Signature of Contractor/Agent: _____

<p>For Committee Use Only</p> <div style="border: 1px solid black; width: 100%; height: 100%;"></div>	<p>This Certificate is hereby APPROVED/DENIED Date: _____ Committee Members Signatures: _____ _____ _____</p>
	<p>Conditions of approval: _____</p>
	<p>_____</p>

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 279024

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
279020	DAVIS, LEE C JR & BRACKETT, CYNTHIA D		14 PLANT RD		HYANNIS	MA	02601
279021	BARNSTABLE HOUSE LLC		3010 MAIN STREET		BARNSTABLE	MA	02630
279022	TEMPLE, JOHN & MILLER, ANN M		P O BOX 520		BARNSTABLE	MA	02630
279023	LAY, RICHARD BRITAIN & KATHY MATTIA TRS	THE PEACEFUL NOMINEE TRUST	37 RENDEZVOUS LANE		BARNSTABLE	MA	02630
279024	COGGESHALL, ELLEN B		49 RENDEZVOUS LANE		BARNSTABLE	MA	02630
279025	HETZER, KNUT & JACQUELINE A TRS		PO BOX 644		BARNSTABLE	MA	02630
279026	COGGESHALL, TIMOTHY ESTATE OF ET AL	C/O CAROLINE COGGESHALL	61 RENDEZVOUS LANE		BARNSTABLE	MA	02630
279032	ALLEN, ROBERT Y & JANE B		P O BOX 1184		BARNSTABLE	MA	02630

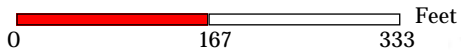


Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

48

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



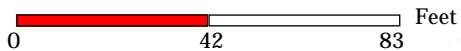
Legend

Road Names



49

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 42 feet



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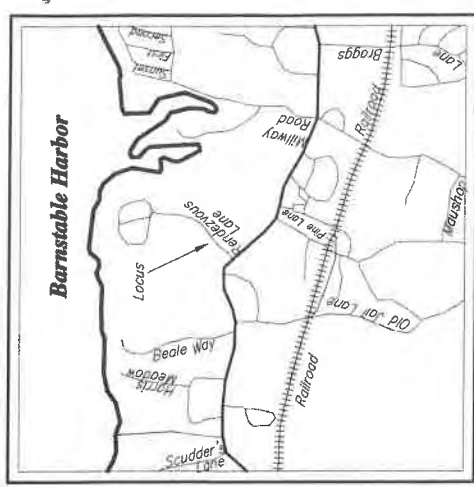


Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



LOCUS MAP

SCALE 1"=2000'±

ASSESSORS MAP 279 PARCEL 024

LOCUS IS WITHIN FEMA FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) & AE ELEV. 14 AS PER PANEL 250001C0558J

ZONING SUMMARY

ZONING DISTRICT: SPLIT RF-1/RF-2 DISTRICT

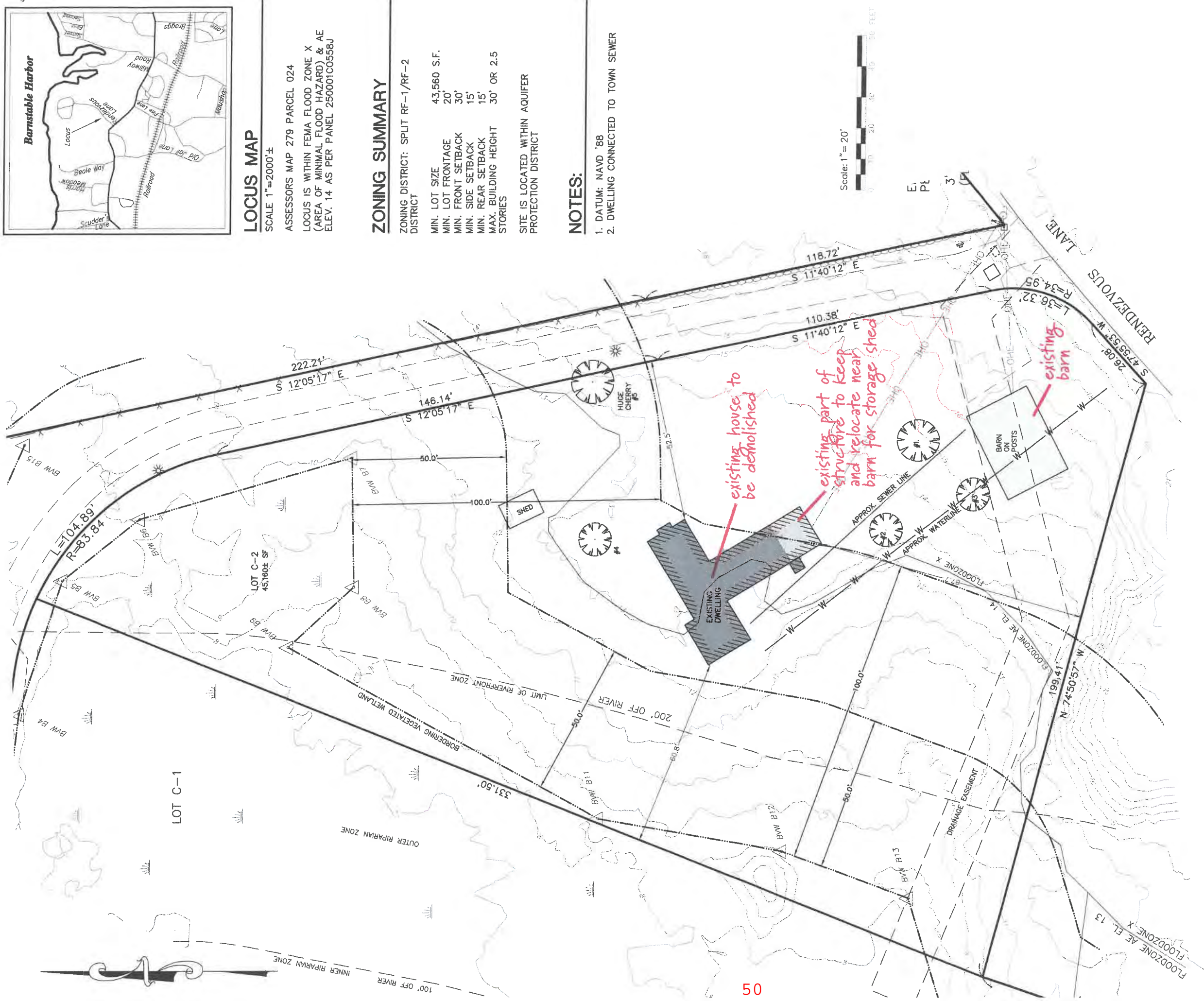
- MIN. LOT SIZE 43,560 S.F.
- MIN. LOT FRONTAGE 20'
- MIN. FRONT SETBACK 30'
- MIN. SIDE SETBACK 15'
- MIN. REAR SETBACK 15'
- MAX. BUILDING HEIGHT 30' OR 2.5 STORIES

SITE IS LOCATED WITHIN AQUIFER PROTECTION DISTRICT

NOTES:

1. DATUM: NAVD '88
2. DWELLING CONNECTED TO TOWN SEWER

Scale: 1" = 20'



Coggeshall-Champlin - Barnstable, MA

47 Rendezvous Lane

Henrich Thompson Studios - 33 Glenwood Avenue - Cambridge, MA 02139 617-576-2191

Drawing Title:

Site Plan

Scale:

bar scale

Date:

7-2-20

Revision:



←———— South Facing —————→



save ←

save ←

East Facing

Existing House Photos 47 Rendezvous Lane

Coggeshall-Champlin - Barnstable, MA

Henrich Thompson Studios - 33 Glenwood Avenue - Cambridge, MA 02139 617-576-2191

Drawing Title:

Existing House Photos

Scale:

n/a

Date:

6-29-20

Revision:

7-10-20



North Facing



West Facing

Existing House Photos 47 Rendezvous Lane

Coggeshall-Champlin - Barnstable, MA

Henrich Thompson Studios - 33 Glenwood Avenue - Cambridge, MA 02139 617-576-2191

Drawing Title:

Existing House Photos

Scale:

n/a

Date:

6-29-20

Revision:

7-10-20



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. **Building construction:** New Addition Alteration
- 2. **Type of Building:** House Garage/barn Shed Commercial Other
- 3. **Exterior Painting, roof** new roof color/material change, of trim, siding, window, door
- 4. **Sign:** New Sign Existing Sign Repainting Existing Sign
- 5. **Structure:** Fence Wall Flagpole Retaining wall Tennis court Other
- 6. **Pool** Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 06/30/2020

NOTE: All applications must be signed by the current owner

Owner (print): William Chapman Telephone #: 559/392-3107
 Address of Proposed Work: 39 meadow Ln Village W. Barn. Map Lot # 133/005/003
 Mailing Address (if different) _____

Owner's Signature Bill Chapman

Description of Proposed Work: Give particulars of work to be done: ADDITION OF A —
NEW HUD ROOM 8'x11'6 ON LEFT SIDE OF HOUSE
MATCH ROOF color/material to existing on house
1 NEW DOOR and ANGLE IRON WINDOWS, AS PER PLAN (NOTE VERY EARLY READ)

Agent or Contractor (print): JACK LeBOEUF Telephone #: 508/280-4156
 Address: P.O. Box 21 Centerville MA 02632 Email: JA.LEBOEUF@Gmail.com
 Contractor/Agent's signature: John LeBoeuf

For committee use only This Certificate is hereby APPROVED / DENIED

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) ^{16'} 12' FOOTINGS POURED CONCRETE

Siding Type: Clapboard ___ shingle other ___
Material: red cedar ___ white cedar other ___ Color: NATURAL

Chimney Material: N/A Color: _____

Roof Material: (make & style) ASPHALT CERTAINTEED TO MATCH EXISTING Color: BLACK

Roof Pitch(s): (7/12 minimum) 4/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify AZEK BEN MOORE GRAY (AURA)

Size of cornerboards 1 x 6 size of casings (1 X 4 min.) ___ color TO MATCH EXISTING
LOUIS

Rakes 1st member 1 x 8 2nd member 1 x 3 Depth of overhang 7'

Window: (make/model) ANDERSON material CLAD color White

(Provide window schedule on plan for new buildings, major additions)
FRONT view - Double hung 6/6 REAR 2 WIDE D.H 9/9 REAR TRANSOM (2) 6/6

Window grills (please check all that apply):
true divided lights ___ exterior glazed grills ___ grills between glass removable interior ___ None ___

Door style and make: THERMATRUE FCM775 material FIBERGLASS Color: OAK (Light)
FIBERGLASS W/IN GLASS IN BLACK NICKEL FCM KENINGTON

Garage Door, Style ___ Size of opening ___ Material ___ Color ___

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: ALUMINUM Color: White

Deck material: wood ___ other material, specify ___ Color: _____

Skylight, type/make/model: / material ___ Color: ___ Size: _____

Sign size: / Type/Materials: ___ Color: _____

Fence Type (max 6') Style / material: ___ Color: _____

Retaining wall: Material: /

Lighting, freestanding / on building / illuminating sign /

OTHER INFORMATION: 5 TONNE DOOR FULL VIEW

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name John LeBout

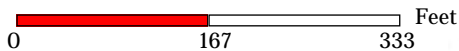


Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
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- Streams
- Marsh
- Water Bodies

55

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 167 feet



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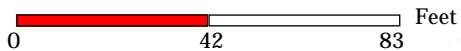
Legend

Road Names



56

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 42 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 133005003

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
133005002	ORENDA WILDLIFE LAND TRUST, INC		1000 MAIN ST		WEST BARNSTABLE	MA	02668
133005003	CHAPMAN, WILLIAM G & MONTHIAN		39 MEADOW LANE		WEST BARNSTABLE	MA	02668
133006	HESSE, ERIC M & LEE ANN		53 MEADOW LANE		WEST BARNSTABLE	MA	02668
133019	JOHNSON, CARL G TR	CARL G JOHNSON 2007 TRUST	28 MEADOW LANE		WEST BARNSTABLE	MA	02668
133020	ANGELO, JACOB R		46 MEADOW LANE		WEST BARNSTABLE	MA	02668
133055	SHOEMAKER, NANCY VIALL		21 MEADOW LANE		WEST BARNSTABLE	MA	02668

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) John L. Boeuf Print JACK LEBOEUF

Date: 6-28-2020 Tel. Phone no's: 508-280-4156
 Email JA LEBOEUF@GMAIL.COM

NOTE: The Old Kings Highway Historic District Committee **MAY DENY INCOMPLETE APPLICATIONS**

ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either **CONTINUED OR DENIED**

APPEAL PERIOD	APPROVED PLANS	PLAN PICK UP
----------------------	-----------------------	---------------------

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

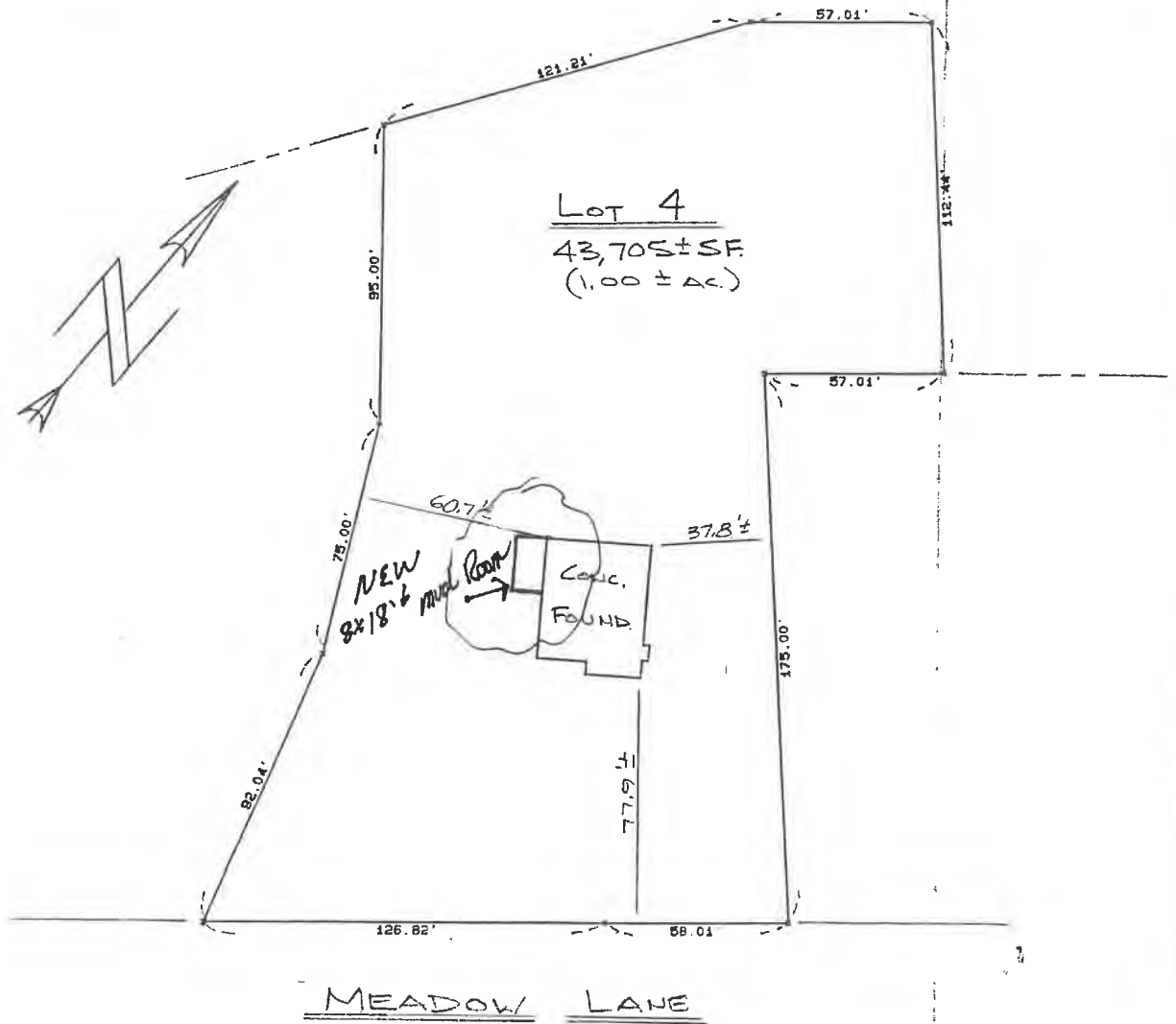
Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS
--

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787
--



JOB # 89-204

CERTIFIED PLOT PLAN

PREPARED FOR:

LOCATION: MEADOW LN. W. BARN.
 SCALE: 1"=50' DATE: 12/4/89
 REFERENCE:

DAN WEATHERBEE

L-4 PB 446 PG 47

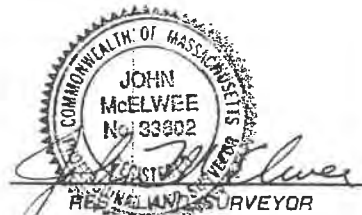
I HEREBY CERTIFY THAT THE STRUCTURE
 SHOWN ON THIS PLAN IS LOCATED ON THE
 GROUND AS SHOWN HEREON.

down cape engineering, inc.

CIVIL ENGINEERS
 LAND SURVEYORS

ROUTE 6A YARMOUTH MA

Dec. 4 1989
 DATE



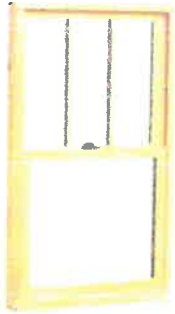
Front



AREA OF NEW MUD ROOM
/



DOUBLE-HUNG WINDOWS



400 SERIES WOODWRIGHT® WINDOWS

Woodwright® windows help replicate the look of traditional architecture. Their thick, sloped sills and historically accurate grille patterns express old-world character. To help match existing interiors, they're available in a variety of wood species and with a range of hardware and grille options, including custom grilles. And the all-new, easy tilt-release lock system makes cleaning easy. **For more information, see page 59.**



400 SERIES WOODWRIGHT® INSERT WINDOWS

Woodwright® insert windows give all the advantages of Woodwright full-frame windows, with faster and easier installation, less mess and fewer disruptions. In most cases, you can even keep the original trim and preserve the character of your customers' homes. And the all-new, easy tilt-release lock system makes cleaning easy. **Installation materials included.** **For more information, see page 79.**



Woodwright® windows give you the option to use a variety of graceful arches that can add a unique elegance.



Unequal Arch



Arch



Springline™



400 SERIES TILT-WASH WINDOWS

Year after year, the Andersen® 400 Series tilt-wash window is our best-selling double-hung window — and for good reason. **A new, taller sill stop increases performance to PG40 while still maintaining egress on our most popular sizes.** It's extremely energy efficient and offers a wide array of decorative and performance options. **For more information, see page 87.**



Storm WATCH
PROTECTION

This product is available with Storm Watch® protection. Visit andersenwindows.com/compal for more details.



400 SERIES TILT-WASH INSERT WINDOWS

All the features of our best-selling double-hung window are now available in an insert window that's faster and easier to install. **Installation materials included.** **For more information, see page 101.**



200 SERIES TILT-WASH WINDOWS

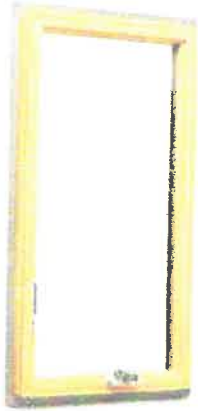
200 Series tilt-wash double-hung windows come in our most popular sizes and with our most requested options. They feature low-maintenance exteriors and real wood interiors. **For more information, see page 221.**



NARROLINE® WINDOW CONVERSION KIT

For homes with Andersen® Narroline® windows that were made after 1967, our quick conversion kit lets you turn them into tilt-wash double-hung windows with High-Performance Low-E4® glass. **For more information, see page 99.**

CASEMENT | AWNING | GLIDING WINDOWS



400 SERIES CASEMENT WINDOWS

The Andersen® 400 Series casement window is our best-selling casement window. It starts with a design that is extremely energy efficient. The sash is solid wood and covered inside and out by low-maintenance Perma-Shield™ cladding to protect against water damage. And the interior features rich, natural pine that creates a perfect frame for art glass and grille patterns.

For more information, see page 31.



This product is available with Stormwatch® protection. Visit andersenwindows.com/coastal for more details.



400 SERIES REPLACEMENT CASEMENT WINDOWS

The casement window that set the standard for performance and durability comes ready for replacement. Provided with predrilled, through-the-jamb installation holes and the nailing flange removed. Special replacement extension jambs are also available to preserve the original alignment of trim and paint lines. **Installation materials included.** **For more information, see page 49.**



400 SERIES AWNING WINDOWS

These windows are built on the same platform as our casement windows and deliver the same outstanding performance. **For more information, see page 31.**



This product is available with Stormwatch® protection. Visit andersenwindows.com/coastal for more details.

with grids



400 SERIES REPLACEMENT AWNING WINDOWS

Like our replacement casement, this window comes without a nailing flange and is available with special replacement extension jambs to preserve the original alignment of trim and paint lines. It also has predrilled, through-the-jamb installation holes, so it installs easily from inside or out. **Installation materials included.** **For more information, see page 49.**



400 SERIES GLIDING WINDOWS

In addition to providing superior energy efficiency, reliable performance and uncommon beauty, both sash on our 400 Series gliding windows can be opened for improved ventilation.

For more information, see page 123.



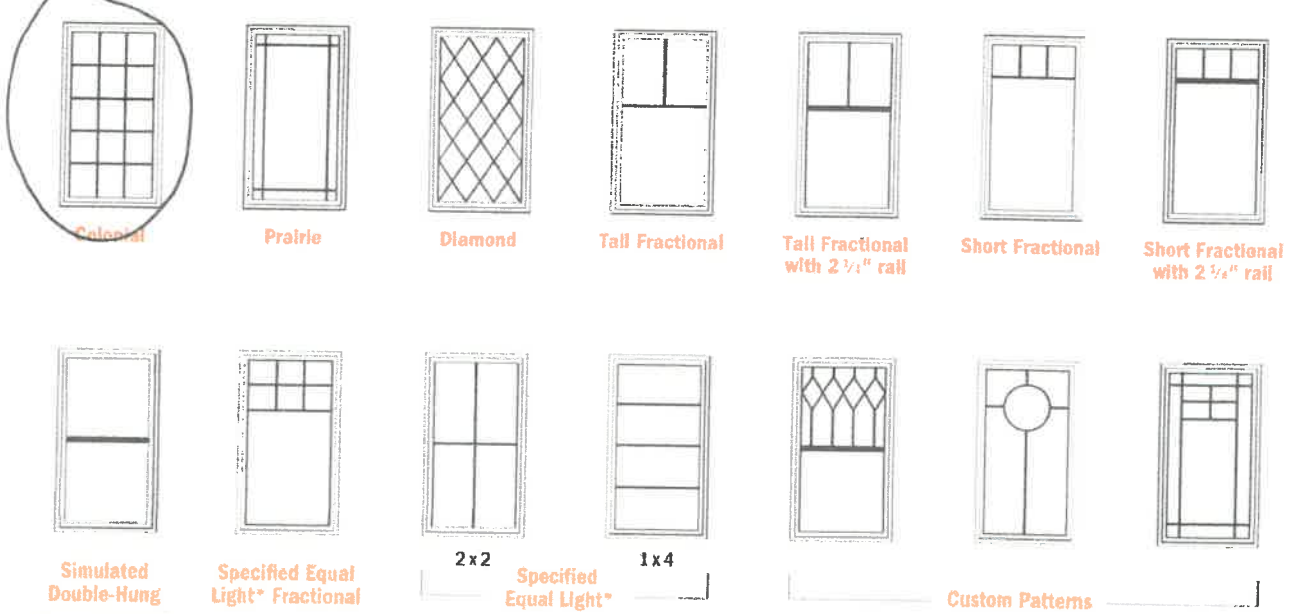
200 SERIES GLIDING WINDOWS

Andersen® 200 Series gliding windows are available in our most popular sizes. They come with low-maintenance exteriors and real wood or prefinished white interiors. **For more information, see page 227.**

GRILLE OPTIONS

With Andersen, you'll find grille patterns, widths and configurations to fit any architectural style or the taste of any homeowner. If you're replacing windows and doors, we can match virtually any existing grille. We'll even work with you and your customers to create custom patterns.

Note: Some grille patterns not available in all configurations and products.



Simulated Double-Hung
Our 2 1/4-inch-wide grille can make a casement window look like a double-hung.

Contact your Andersen supplier for your custom needs.

OPTIONS & ACCESSORIES

To see all of the standard patterns available for a specific window or door, refer to the detailed sections in this book for each product or contact your Andersen supplier.

Between Glass

GRILLE CONFIGURATIONS

Full Divided Light

For an authentic look, Full Divided Light grilles are permanently applied to the interior and exterior of the window with a spacer between the glass.



Permanent Exterior
Permanent Interior
with Spacer

Simulated Divided Light

Simulated Divided Light offers permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles in natural wood or prefinished white.



Permanent Exterior
Permanent Interior



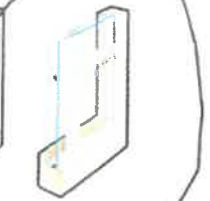
Permanent Exterior
Removable Interior

Convenient Cleaning Options

Removable interior grilles come off for easy cleaning. Andersen® Finelight™ grilles are installed between the glass panes and feature a contoured 1" or 3/4" profile.



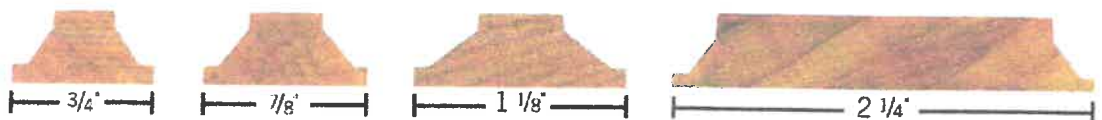
Removable
Interior Grille



Finelight™ Grilles—
Between-the-Glass

Grille Widths

(actual size shown)



*Specify number of same-size rectangles across or down.

Kensington™

Fiber-Classic® Mahogany



FCM148
 ● ● 6
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"



FCM626
 ● ● ● 6
 2'8" x 6'8" Δ ‡
 2'10" x 6'8" Δ ‡
 3'0" x 6'8" Δ ‡



FCM156
 ● ● 6
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"



FCM149
 ● ● 6
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"



FCM8149
 ● ● 6
 2'8" x 8'0"
 2'10" x 8'0"
 3'0" x 8'0"



FCM6036
 ● ● 6
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"



FCM6056
 ● ● 6
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"



FCM151
 ● ●
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"

IN LIGHT OAK



FCM789
 ● ●
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"



FCM150
 ● ●
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"



FCM813SL
 ● ● ● 6
 10" x 6'8"
 12" x 6'8" Δ ‡
 14" x 6'8" Δ ‡



FCM1442SL
 ● ● 6
 12" x 6'8"
 14" x 6'8"



FCM8107SL
 ● ● 6
 12" x 8'0"
 14" x 8'0"

FCM149SL
 ● ● 6
 12" x 6'8"
 14" x 6'8"

FCM867SL
 ● ● 6
 12" x 8'0"
 14" x 8'0"

Fiber-Classic® Oak



FC148
 ● ● 6
 2'8" x 6'8" ‡
 2'10" x 6'8" ‡
 3'0" x 6'8" ‡



FC626
 ● ● ● 6
 2'8" x 6'8" Δ ‡
 2'10" x 6'8" Δ ‡
 3'0" x 6'8" Δ ‡



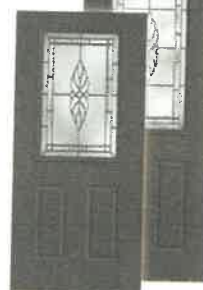
FC20042
 ● ● 6
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"



81961P
 ● ● 6
 2'8" x 8'0"
 2'10" x 8'0"
 3'0" x 8'0"



FC156
 ● ● 6
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"



FC149
 ● ● 6
 2'8" x 6'8" ‡
 2'10" x 6'8" ‡
 3'0" x 6'8" ‡



FC8149
 ● ● 6
 2'8" x 8'0"
 2'10" x 8'0"
 3'0" x 8'0"

FC89701
 ● ● 6
 2'8" x 8'0"
 2'10" x 8'0"
 3'0" x 8'0"



FC152
 ● ●
 2'8" x 6'8"
 2'10" x 6'8"
 3'0" x 6'8"

Key

■ No Stile Lines

● Black Nickel Caming (1D)

■ Brushed Nickel Caming (1C)

◆ Brass Caming (1A)

▤ Flat Lite Frame

● Vented Sidelite (No Impact)
 (6'8" & 6'8" only in 12" & 14")
 (8'0" only in 14")

● WBDR Options

● WBDR / HVHZ Options

Δ 6'6" Height Available

‡ 7'0" Height Available

Kensington Glass Continues on next page.

Fiber-Classic & Smooth-Star Fiberglass Doors

Therma-Tru gives the homeowner options to choose the style that best fits their personality and home without compromise. Fiber-Classic and Smooth-Star share many door styles in common. And the available glass families cross over between door collections. Find flexible options to fit virtually every entrance from front entry to patio to utility doors.



Fiber-Classic & Smooth-Star fiberglass doors offer:

- High-definition panel embossments.
- Composite top and bottom rails.
- 1-1/4" engineered lumber lock stiles.
- 22-1/2" lock block in Fiber-Classic and 12-1/2" lock block in Smooth-Star.
- Durable, long-lasting fiberglass skins.

- Ⓜ **WBDR Options:** Look for this icon to find door styles that can be configured for WBDR.*
- Ⓜ **WBDR / HVHZ Options:** Look for this icon to find door styles that can be configured for WBDR or HVHZ.*
- 🔥 **Fire-rated options** available on solid-panel doors. See pages 230–235.

Warranty Riders

- 🔥 See page 31 for details on the EnLiten™ Flush-Glazed Rider for Construction & Installation, and the EnLiten™ Flush-Glazed Rider for Homeowners.
- ⊕ **Tru-Defense:** Warranty Rider eligible when properly assembled and installed with all Therma-Tru specified system components, in accordance with the Rider.

112

*OAK
Collection*



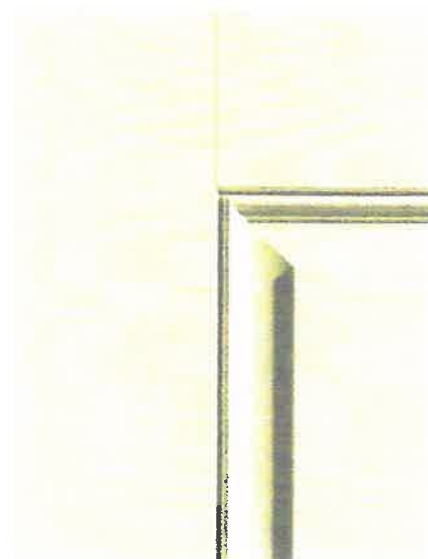
**Fiber-Classic
Mahogany
Collection**

Features deep Mahogany graining to complement homes with richer wood tones.



**Fiber-Classic
Oak Collection**

Features the warm look and feel of Oak graining.



Smooth-Star

Features smooth, ready-to-paint surfaces.

*Please verify that there is a Therma-Tru Impact-rated product approval for the configuration before buying. Note: Finish colors may vary from an actual application due to fluctuations in finishing or printing. See your Therma-Tru seller or visit www.thermatru.com for more, including details on limited warranties and exclusions, Riders, ENERGY STAR qualified products and product approvals.

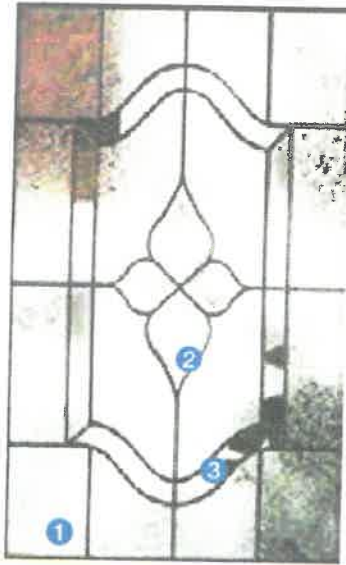
Concorde™ Page 129

There's just something friendly about Concorde's cheery four-leaf design.

- 1 Glue chip glass, 2 clear curved bevels, 3 clear glass and coming make up its Old World charm.



Black Nickel



Brass



Brushed Nickel

Kensington™ Page 132

Kensington speaks European elegance while offering modest privacy with its

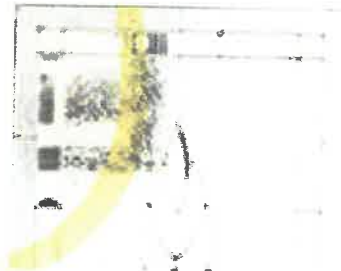
- 1 clear bevels, 2 glue chip glass, 3 granite glass and coming.



Black Nickel



GLASS
IN DOOR
39 MEADOW LN



Brushed Nickel

Crystal Diamonds™

Page 134

Perfect for the place where friends and families meet. And with its 1 glue chip glass, 2 clear bevels and brass coming, Crystal Diamonds provides privacy with a welcoming touch.



Brass



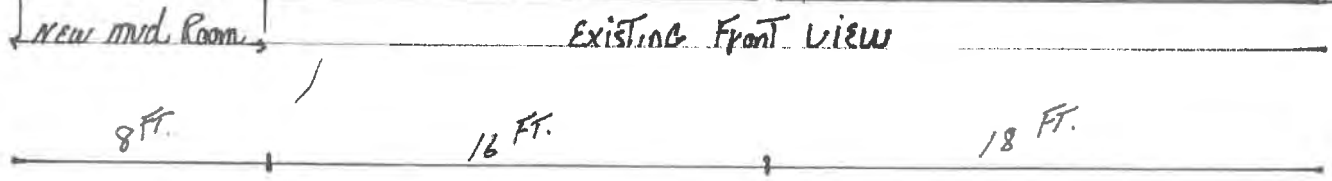
Note: Glass privacy ratings may be more or less than indicated, based on glass design and size of glass. Glass designs may differ from depiction due to size of glass and hand craftsmanship. See your Thermo-Tru seller or visit www.thermatru.com for more details.

Bill Chapman
39 MEADOW LANE
WEST BARNSTABLE

MATCH EXISTING ROOF SHINGLES

12x6 Trim on all NEW work.
Painted TO MATCH EXISTING.

NEW 3-0 x 6-8 Fiber Glass Door
STAINED PINE OAK
WITH OVAL GLASS. - 6 over 6 -
NEW ANDERSON 2-6 x 4-0 Double Hung
5000 series
WHITE CEDAR SHINGLES SIDING.



1/4" = 1 FT.

--- 0 0 --- 1152

Bill Chapman
39 MEADOW Lane
WEST Barnstable

NEW 8x18'6" mud Room

16x30
venting window

10 inch thick + 16 wide
footing

NEW Foundation

8 in x 6 FT High

5/8 anchor Bolts 3 FT. OC.

DRILL in
1/2" REBAR

8 FT.

EXISTING Foundation

16 FT.

18 FT.

42 FT.

15' 0"

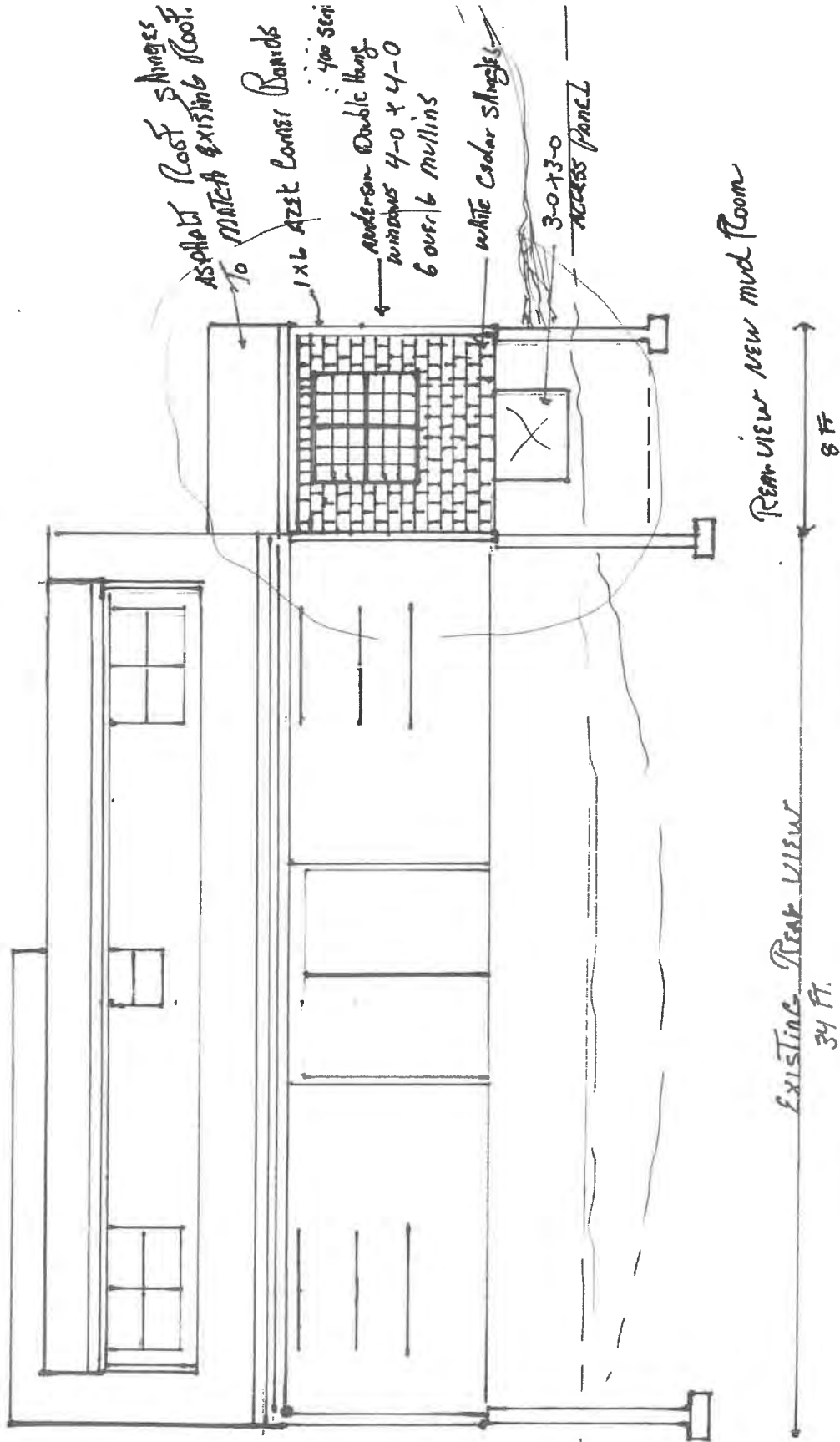
1/4" = 1 FT. SCALE

0 10 20 30 40 50

69

Bill CHAPMAN
39 MEADOW LANE
WEST STONSTABLE

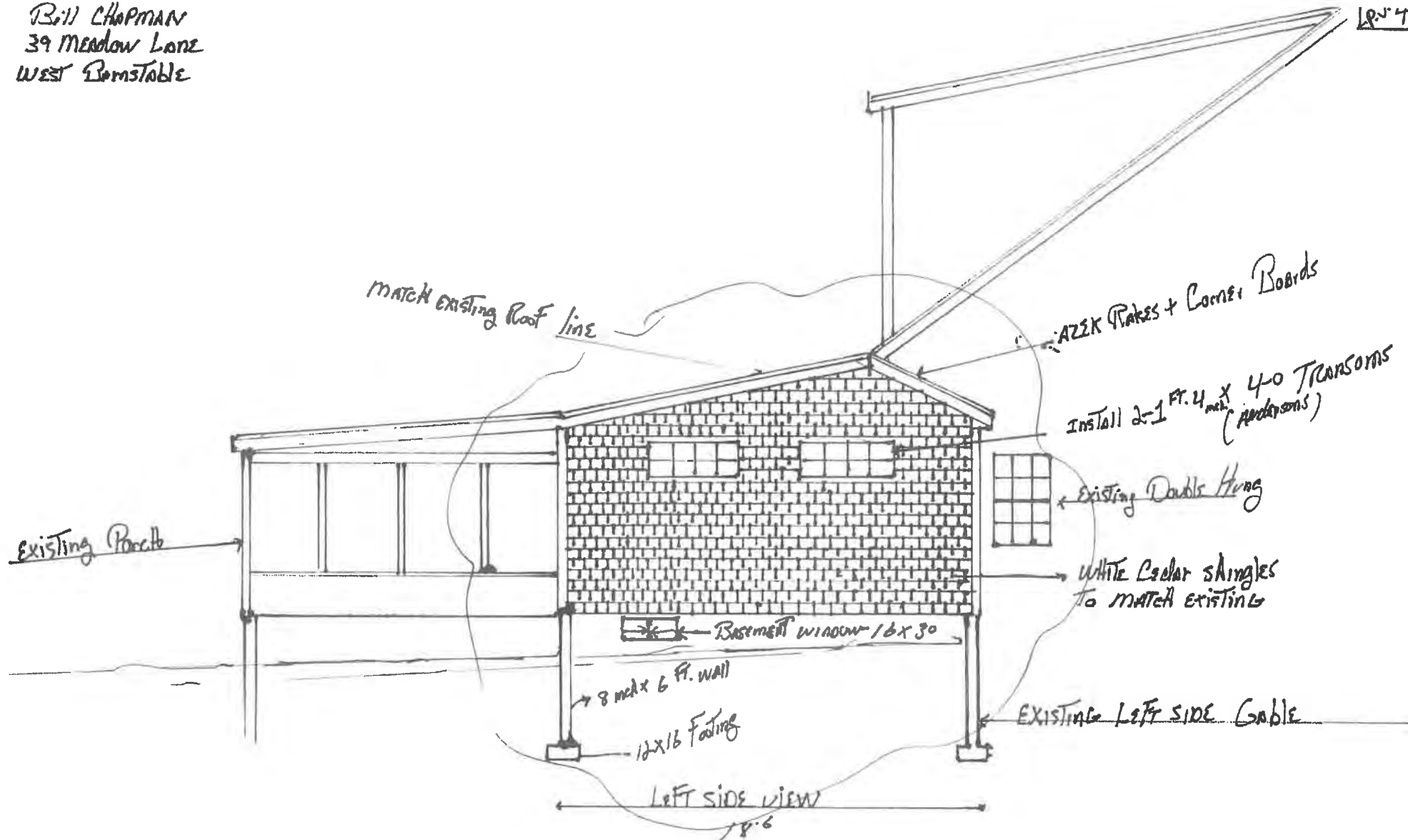
PS 3



1/4 = 1 FT.
T.O.L. 1.0 R.O.F. 10m 1.151.

Bill CHOPMAN
39 Meadow Lane
West Barnstable

10-2-7



NEW mud Room

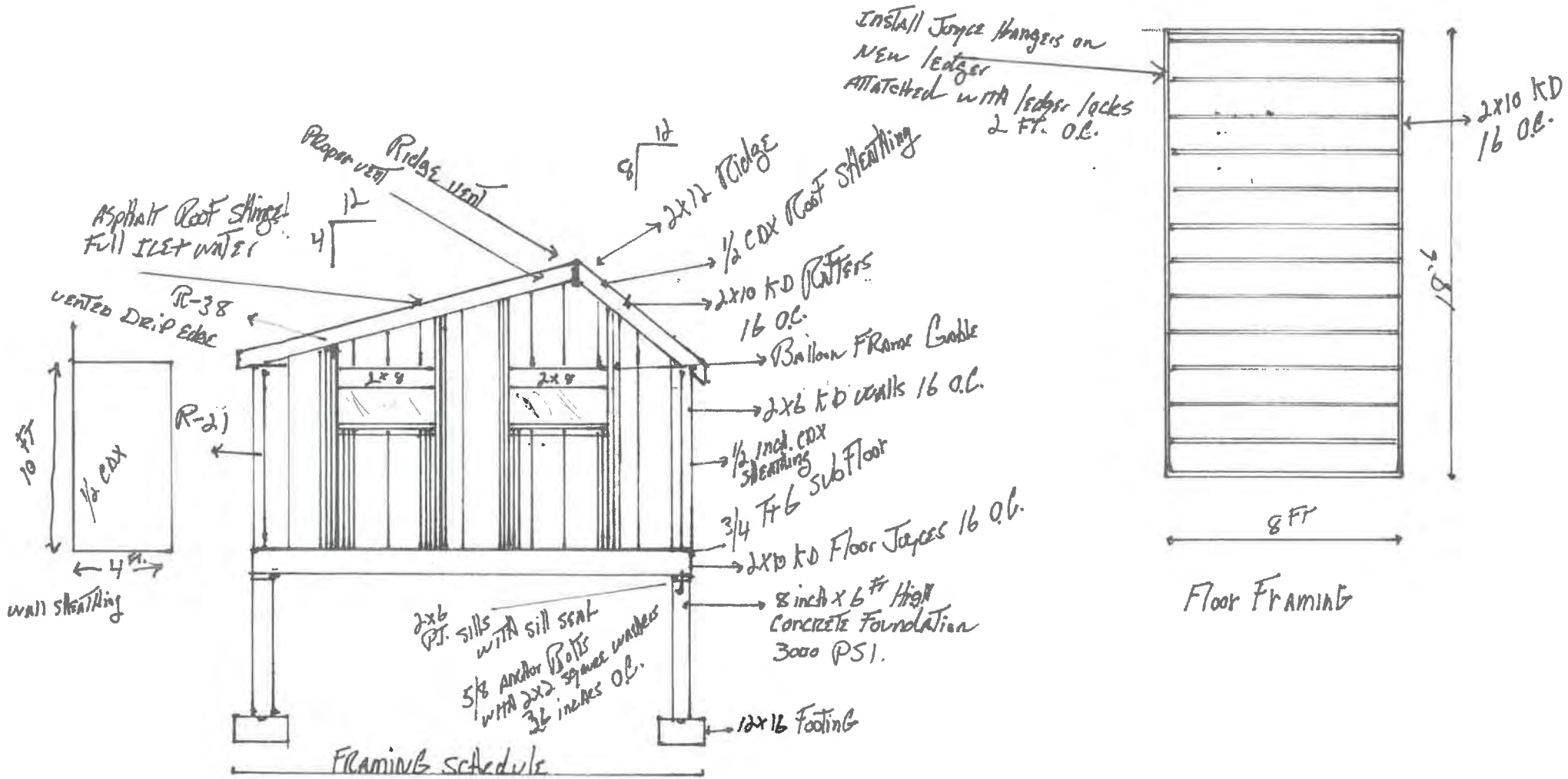
1/4 = 1

1-R-F 10-11-56

71

Bill Chapman
 39 MEADOW LANE
 WEST BARNSTABLE

125



72



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

20 JUL 5 P2:06

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 7/1/2020

NOTE: All applications must be signed by the current owner

Owner (print): Robert Carswell Cheryl Young Telephone #: 917 838 8652

Address of Proposed Work: 68 Hilliards Hay Way Village W. Barnstable Map Lot # 136 parcel 45

Mailing Address (if different) _____

Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done: Addition of 2 screened porches to existing structure, replace windows in existing two story "garage" structure, majority are changing to 6 over 1 from a variety of types. 9 over 6, 12 over 12, 6 over 6; one mullioned window at 2nd floor South elevation changing to single pane picture: existing windows under south porch addition changing to small hopper windows: Windows on north elevation in area of new screened porch being reconfigured and new door added. Replace wood shingles and trim to match existing on entire 2 story "garage structure". Relocate existing entry door in South elevation to within screened porch area.

Agent or Contractor (print): _____ Telephone #: _____

Address: _____ Email: _____

Contractor/Agent' signature: _____

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit **5** copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Concrete

Siding Type: Clapboard ___ shingle other ___
Material: red cedar ___ white cedar other and cedar lattice Color: to match existing

Chimney Material: NA Color: _____

Roof Material: (make & style) Front porch: G&F/Marquis Weather Max 3 tab Fiberglass Asphalt
Rear porch: retractable fabric roof Color: to match existing

Roof Pitch(s): (7/12 minimum) Screened porch 2/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood other material, specify _____

Size of cornerboards 4" size of casings (1 X 4 min.) 3 color to match existing

Rakes 1st member to match 2nd member _____ Depth of overhang to match existing

Window: (make/model) Marvin Integrity material wood interior/ultrax exterior color white
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights exterior glued grills ___ grills between glass ___ removable interior ___ None

Door: All custom. New passage doors at garage to be custom to match existing west elevation door. New entry door south elevation to be custom Dutch door, new door in existing east elevation to be wood bottom and multiioned upper glass.

Garage Door, Style 4 part top glazed Size of opening existing Material to match Color white

Shutter Type/Style/Material: none Color: _____

Gutter Type/Material: match existing Color: _____

Deck material: rear wood other material, specify Front: bluestone match existing Color: _____

Skylight, type/make/model/: none material _____ Color: _____ Size: _____

Sign size: NR Type/Materials: _____ Color: _____

Fence Type (max 6') Style NA material: _____ Color: _____

Retaining wall: Material: NA

Lighting, freestanding NA on building _____ illuminating sign _____

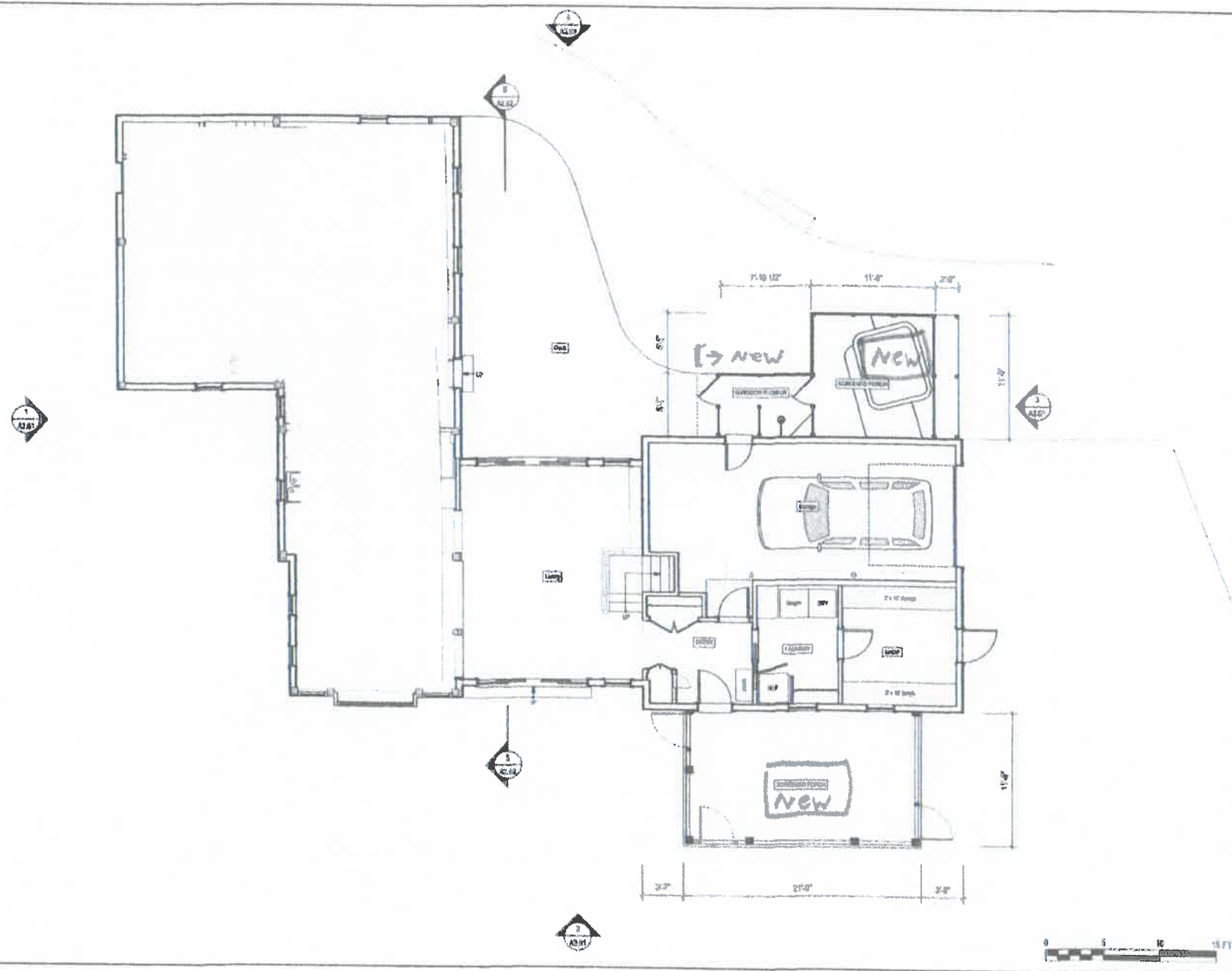
OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) _____ Print Name _____

75



FIRST FLOOR PLAN

CARSWELL / YOUNG RESIDENCE
68 Hilliards Way, Barnstable, MA

DATE OF ISSUE:
July 2, 2020
- Issued for Permit
Review

SCALE: AS NOTED

NOT FOR
CONSTRUCTION

TWR
DESIGN

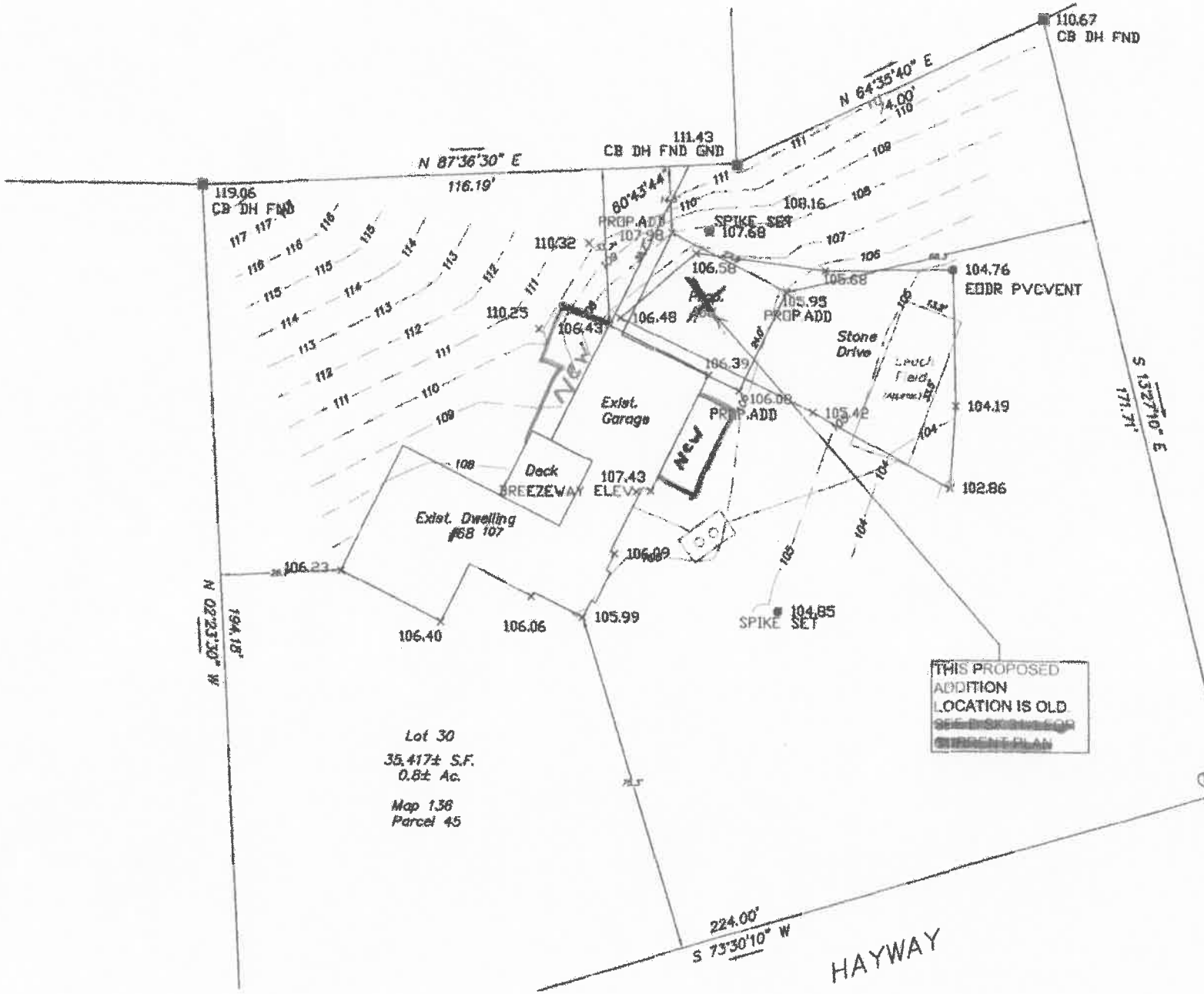
100 State Street, Suite 200
Barnstable, MA 02532
www.twrdesign.com

A
1.01

PL BK. 249 PG. 107



Site plan



THIS PROPOSED
ADDITION
LOCATION IS OLD.
SEE CURRENT PLAN

Lot 30
35,417± S.F.
0.8± Ac.
Map 136
Parcel 45

Scale: 1"=20'



HAYWAY

224.00'
S 73°30'10" W

S 132°10' E
171.71'

N 02°23'30" W
194.18'

N 87°36'30" E
176.19'

N 64°35'40" E
174.00'
110

111.43
CB DH FND GND

119.06
CB DH FND

PROG. ADD
107.98

SPIKE SET
107.68

104.76
EDBR PVCENT

107.43
ELEV

104.85
SPIKE SET

ECT PEDS TRANS
88.91

76

MG_20200702_124038.jpg (PNG Image, 640 × 360 pixels)

<https://webmail.spectrum.net/index.php/mail/viewmessage/getattac...>



G_20200702_124132.jpg (PNG Image, 640 × 360 pixels)

<https://webm>



From Road

20200702_124210.jpg (PNG Image, 640 × 360 pixels)

<https://webmail>



From Road

IMG_20200702_125323.jpg (PNG Image, 640 × 360 pixels)



<https://webmail.spectrum.net/index.php/mail/viewmessage/getattac...>

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 136045

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
136037	FLOYD, MAUREEN O & RICHARD B TRS	MAUREN O FLOYD 2010 TRUST	88 HILLIARD'S HAYWAY		WEST BARNSTABLE	MA	02668
136038	RILEY, WILLIAM T TR	WILLIAM T RILEY 2015 FAM TR	51 HOLWAY DRIVE		WEST BARNSTABLE	MA	02668
136039	HAGERTY, JAMES P & LYNDA J		31 HOLWAY DRIVE		WEST BARNSTABLE	MA	02668
136044	SMITH, DAVID & SUZANNE M		PO BOX 310		EAST SANDWICH	MA	02537
136045	YOUNG, CHERYL A & CARSWELL, ROBERT I		265 RIVERSIDE DRIVE 5C		NEW YORK	NY	10025
136047	CAHILL, PATRICIA A		55 HILLIARDS HAYWAY		WEST BARNSTABLE	MA	02668
136053	THATCHER, D SCOTT		220 COMMONWEALTH AVE APT 3		BOSTON	MA	02116

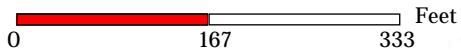


Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

79

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 7/10/2020



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

80



2 SOUTH ELEVATION
A2.01



1 WEST ELEVATION
A2.01



EXTERIOR ELEVATIONS - 1

CARSWELL / YOUNG RESIDENCE
68 Hilliards Hay Way, Barnstable, MA

DATE OF ISSUE:
July 2, 2020
- Issued for Historic Review

SCALE: AS NOTED

NOT FOR CONSTRUCTION

TWR
DESIGN

THOMAS W ROBINSON, AIA
195 Davis Avenue, Unit 4
Brookline, MA 02445
tel 617-599-3054
e-mail: twrarch@yahoo.com

A
2.01



4 NORTH ELEVATION
A2.02 Scale: 1/4" = 1'-0"



3 EAST ELEVATION
A2.02



EXTERIOR ELEVATIONS - 2

CARSWELL / YOUNG RESIDENCE
68 Hilliards Hay Way, Barnstable, MA

DATE OF ISSUE:
July 2, 2020
- Issued for Historic
Review

SCALE: AS NOTED

NOT FOR
CONSTRUCTION

TWR
DESIGN

THOMAS W. ROBINSON, AIA
195 Davis Avenue, Unit 4
Brookline, MA 02445
tel 617-599-3054
e-mail twrarch@yahoo.com

A
2.02



Town of Barnstable
Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Telephone (508) 862-4787, Email erin.logan@town.barnstable.ma.us



Application for
DEMOLITION OR REMOVAL OF A BUILDING OR STRUCTURE
 (including partial demolition of buildings, structures; outbuildings, stonewalls, etc.)

Application is hereby made, with five (5) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 06/29/20 **Map & Parcel** 319-059

Homeowner DESMOND & CAROLINE GALLACHER Phone 857-204-5111

Street address 69 GEORGE ST Email DES_GALLACHER@HOTMAIL.COM

Village BARNSTABLE VILLAGE

Mailing address 28 FAIRVIEW ST HINGHAM MA 02043 Signature SEE ATTACHED

Agent/Contractor REEF BUILDERS, JIM HAGERTY Phone 508-258-7069

Agent Address PO Box 186 W. DENNIS MA 02670 Email JHAGERTY@CAPECODBUILDER.COM

Agent Signature [Signature]

This certificate expires one year from the stamped approval date or upon the expiration of Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received at least 30 days prior to the date of expiration.

There is a 10 day appeal period (14 day waiting period) for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable code requirements.

DEMOLITION OF House Part of House Garage Barn Stable Stone Wall Commercial

Other HOUSE & DETACHED GARAGE

Square footage of footprint of building (s) to be demolished: Building 1: ALL Building 2: _____

Square footage of total floor area of building (s) to be demolished: Building 1: 1202 Building 2: 320

If application is for removal and relocation, state where: _____

Note: A separate Certificate of Appropriateness is required for a relocation of a building or structure within the Barnstable Old King's Highway Historic District.

Checklist: Application, 5 copies Site Plan, 5 copies Photographs of all elevations to be demolished

\$120 Application fee \$17.25 Legal ad fee Postage Stamps (7)

	For Committee use only	This Certificate is hereby	APPROVED	DENIED
	By a vote of	_Aye_ _Nay_ _Abstain	Date _____	
	Members signatures _____			
	Conditions of Approval _____			

BARNSTABLE TOWN CLERK
 2020 JUN 30 PM 1:09



Parcel: 319-059

Location: 69 GEORGE STREET, Barnstable

Owner: GALLACHER, DESMOND JOHN & CAROLINE



Parcel 319-059
Location 69 GEORGE STREET
Village Barnstable
Town sewer account Active

Developer lot: LOT 13
Road index 0597
Fire district Barnstable

Secondary road HARBOR VIEW ROAD
Interactive map

Owner: GALLACHER, DESMOND JOHN & CAROLINE

Owner: GALLACHER, DESMOND JOHN & CAROLINE
Co-Owner: [Blank]
Book page: 32536/ 133
Street1: 28 FAIRVIEW STREET
Street2: [Blank]
City: HINGHAM
State Zip Country: MA 02043

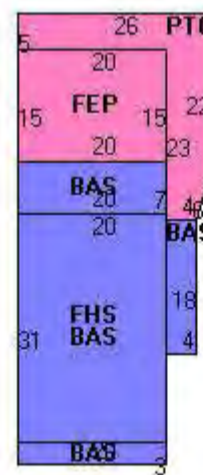
Land

Acres: 0.12
Use: Single Fam M-01
Zoning: RB
Neighborhood: 0112
Topography: [Blank]
Street factor: [Blank]
Town Zone of Contribution: AP (Aquifer Protection Overlay District)
Utilities: [Blank]
Location factor: [Blank]
State Zone of Contribution: OUT

Construction

Building 1 of 1

Year built: 1941
Roof structure: Gable/Hip
Heat type: Hot Air
Living area: 1295
Roof cover: Asph/F Gls/Cmp
Heat fuel: Gas
Gross area: 2074
Exterior wall: Wood Shingle
AC type: None
Style: Cape Cod
Interior wall: Plastered
Bedrooms: 3 Bedrooms
Model: Residential
Interior floor: Carpet, Vinyl/Asphalt
Bath rooms: 1 Full-1 Half
Grade: Average Minus
Foundation: Blk/Pour Ftgs
Total rooms: 7
Stories: 1 3/4 Stories



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
06/28/2019	Sid/Wind/Roof/Door	19-2115	\$7,100	06/30/2019	siding white cedar & roof - yarmouth
06/02/1999	Remodel-Addition	38809	\$15,000	06/09/2000	

Sale History

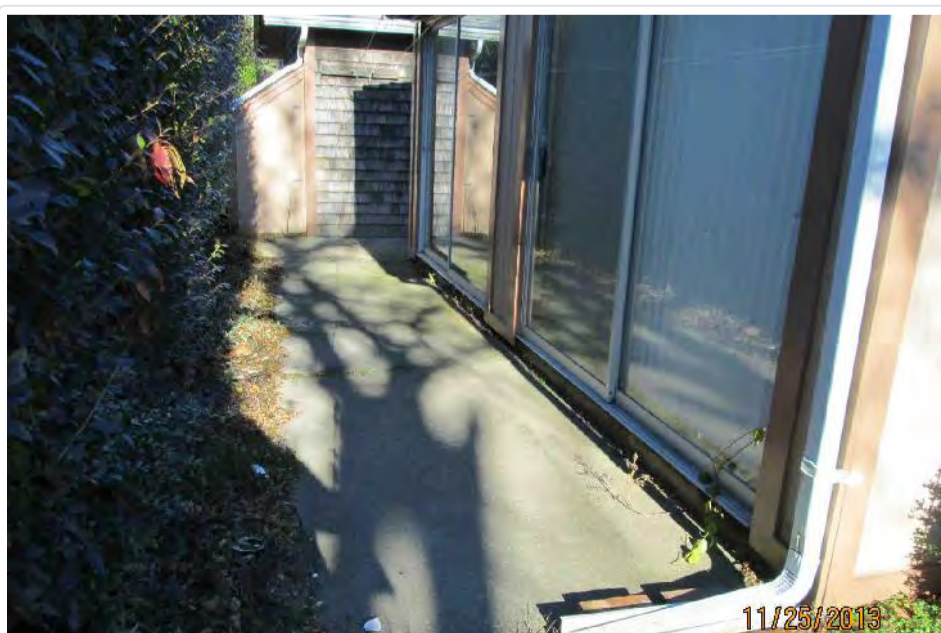
Line	Sale Date	Owner	Book/Page	Sale Price
1	12/11/2019	GALLACHER, DESMOND JOHN & CAROLINE	32536/ 133	\$604,000
2	08/04/2017	OLDERSHAW, ALAN C TR	30679/ 179	\$1
3	12/15/2015	PUCHALSKI, SHARON, OLDERSHAW, ALAN C &	29333/ 346	\$1
4	12/15/2015	PUCHALSKI, SHARON, TR	29333/ 344	\$0
5	07/05/2007	OLDERSHAW, VIRGINIA C TR	22166/ 44	\$1
6	12/31/1997	OLDERSHAW, BRUCE R & VIRGINIA C	11146/ 291	\$185,000
7	10/20/1989	PUDELKA, JAMES M & PATRICIA & SCHIER, DO	6926/ 301	\$130,000
8	10/26/1948	SANTOS, LOUIS G & ARLENE R	706/ 12	\$0

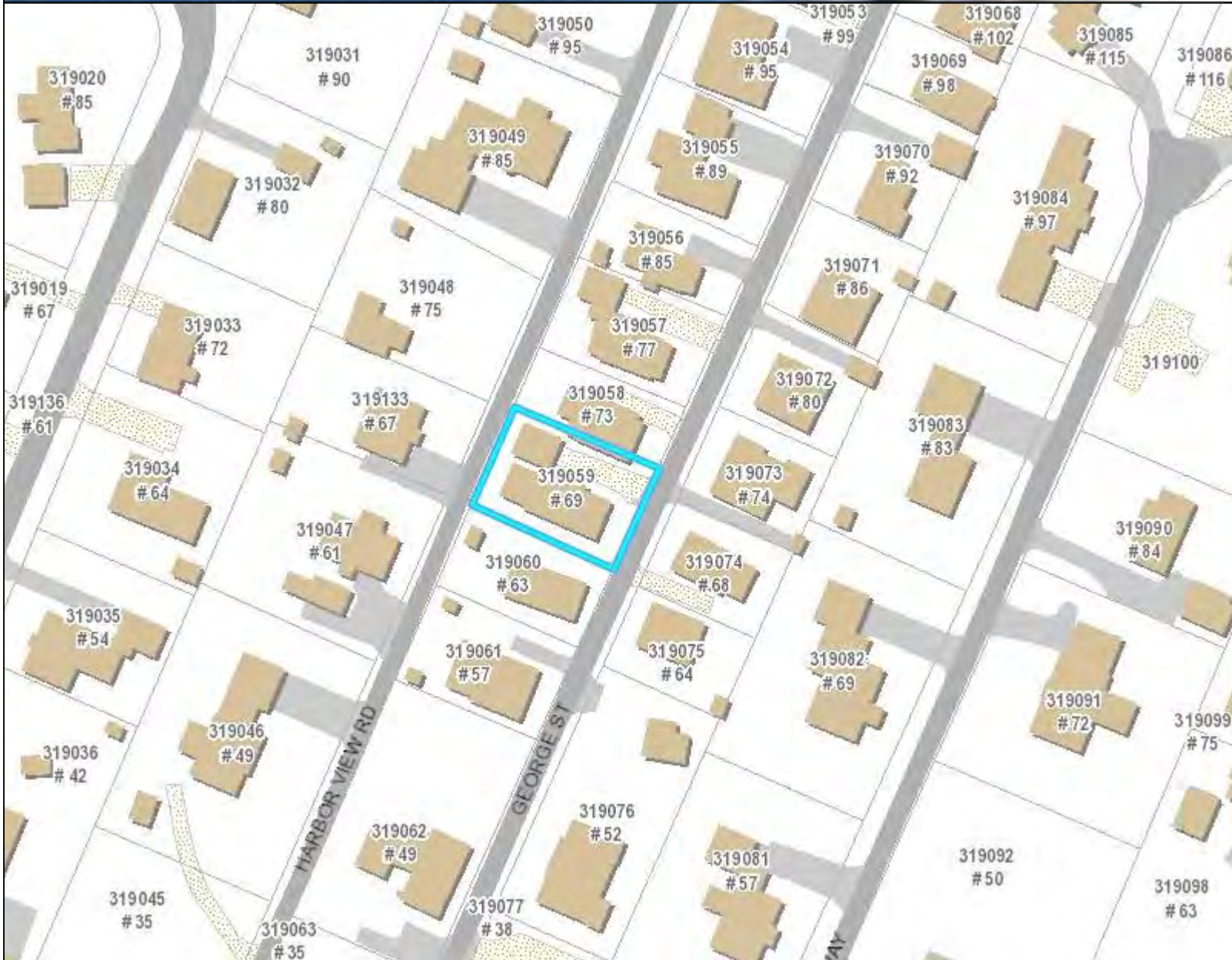
▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2020	\$119,400	\$9,700	\$11,100	\$357,500	\$497,700
2	2019	\$103,500	\$9,700	\$11,500	\$375,400	\$500,100
3	2018	\$86,000	\$9,700	\$11,600	\$357,500	\$464,800
4	2017	\$80,400	\$9,400	\$11,300	\$357,500	\$458,600
5	2016	\$80,400	\$9,400	\$9,500	\$390,500	\$489,800
6	2015	\$102,800	\$11,500	\$9,400	\$355,700	\$479,400
7	2014	\$97,300	\$11,500	\$9,500	\$355,700	\$474,000
8	2013	\$97,300	\$11,500	\$9,600	\$355,700	\$474,100
9	2012	\$99,400	\$10,500	\$9,100	\$355,700	\$474,700
10	2011	\$117,600	\$0	\$8,200	\$355,700	\$481,500
11	2010	\$117,200	\$0	\$8,400	\$355,700	\$481,300
12	2009	\$110,800	\$0	\$6,600	\$358,600	\$476,000
13	2008	\$115,100	\$0	\$6,600	\$366,000	\$487,700
15	2007	\$132,000	\$0	\$6,600	\$366,000	\$504,600
16	2006	\$114,400	\$0	\$6,800	\$349,800	\$471,000
17	2005	\$101,500	\$0	\$7,000	\$298,500	\$407,000
18	2004	\$83,700	\$0	\$7,000	\$183,100	\$273,800
19	2003	\$73,600	\$0	\$7,200	\$124,000	\$204,800
20	2002	\$73,600	\$0	\$7,200	\$124,000	\$204,800
21	2001	\$73,600	\$0	\$7,200	\$103,400	\$184,200
22	2000	\$57,200	\$0	\$5,800	\$67,400	\$130,400
23	1999	\$55,900	\$0	\$4,700	\$67,400	\$128,000
24	1998	\$55,900	\$0	\$4,700	\$67,400	\$128,000
25	1997	\$54,000	\$0	\$0	\$40,400	\$99,000
26	1996	\$56,900	\$0	\$0	\$40,400	\$99,400
27	1995	\$56,900	\$0	\$0	\$40,400	\$99,400
28	1994	\$60,000	\$0	\$0	\$31,500	\$93,900
29	1993	\$60,000	\$0	\$0	\$31,500	\$93,900
30	1992	\$68,200	\$0	\$0	\$35,000	\$106,000
31	1991	\$71,100	\$0	\$0	\$67,400	\$145,700
32	1990	\$71,100	\$0	\$0	\$67,400	\$145,700
33	1989	\$71,100	\$0	\$0	\$67,400	\$145,700
34	1988	\$67,500	\$0	\$0	\$34,200	\$108,300
35	1987	\$67,500	\$0	\$0	\$34,200	\$108,300
36	1986	\$67,500	\$0	\$0	\$34,200	\$108,300

▼ Photos



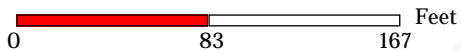




Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

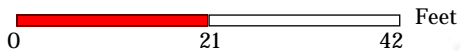
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Map printed on: 7/10/2020



Approx. Scale: 1 inch = 21 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

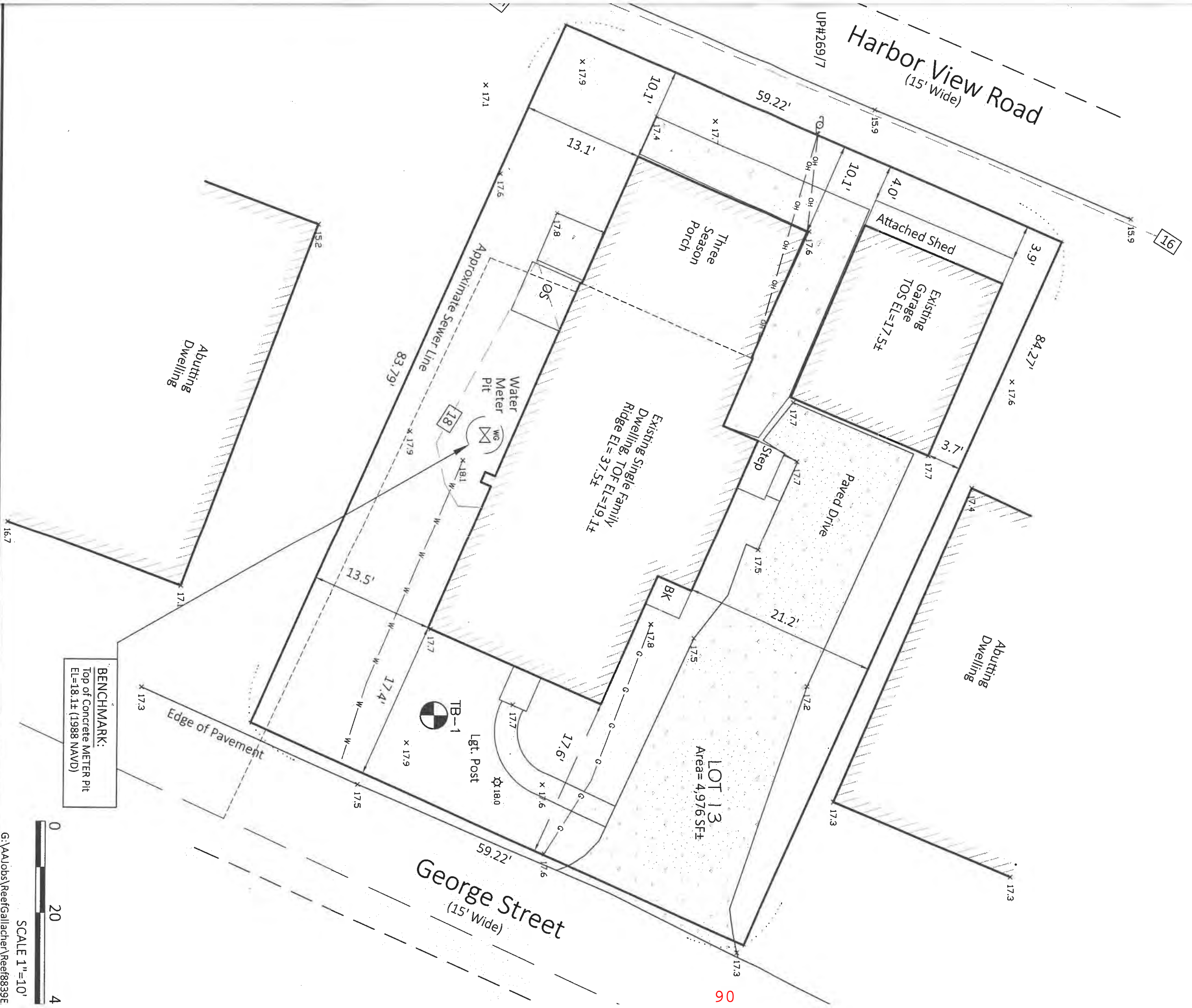
508-862-4624

gis@town.barnstable.ma.us

SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
Loamy Fine Sand	10YR2/2	NONE	
Loamy Fine Sand	10YR5/6	NONE	
Coarse Loamy Sand	10YR7/6	NONE	H20 Standing 60"

PROPERTY IS NOT LOCATED IN THE FEMA 100 YEAR PLANE, AE FLOOD ZONE EL=13.0 PER MAP# 25001C0558J

30/20
 ESTIMATED RATE BASED ON SOIL, <5 MIN/IN
 LEW. T. FARRELL, EIT, J.M. O'REILLY & ASSOCIATES, INC.
 T 5.0' BELOW GRADE, EL= 12.8±



BENCHMARK:
 Top of Concrete Meter Pit
 EL=18.1± (1988 NAVD)



SCALE 1"=10'
 G:\AA\Jobs\ReefGallacher\Reef8339E



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign : New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 6/29/20

NOTE All applications must be signed by the current owner

Owner (print): DESMOND & CAROLINE GALLACHER Telephone #: 857-204-5111
 Address of Proposed Work: 69 GEORGE ST Village BARNSTABLE Map Lot # 319-059
 Mailing Address (if different) 28 FAIRVIEW ST, HINGHAM MA 02043
 Owner's Signature SEE ATTACHED

Description of Proposed Work: Give particulars of work to be done: CONSTRUCT A NEW SINGLE FAMILY HOME W/ FRONT PORCH, SCREEN PORCH AND TRADITIONAL COTTAGE DETAILS.

Agent or Contractor (print): REE BUILDERS - JIM HANEETY Telephone #: 508-258-7069
 Address: PO BOX 186 W. DENNIS MA
 Contractor/Agent signature: [Signature]

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) CONCRETE 12" MAX EXP.

Siding Type: Clapboard shingle other
Material: red cedar white cedar other Color: WHITE

Chimney Material: NONE Color: _____

Roof Material: (make & style) ASPHAL - ARCH. STYLE Color: PENNTREWOOD

Roof Pitch(s): (7/12 minimum) 9/12 (specify on plans for new buildings, major additions)
LEAD COATED COPPER @ PORCH

Window and door trim material: wood other material, specify _____

Size of cornerboards 1x6 size of casings (1 X 4 min.) 1x4 color WHITE

Rakes 1st member 1x6 2nd member 1x3 Depth of overhang 12"

Window: (make/model) ANDERSEN TW 400 material UNAD EXTREMO color BLACK
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights exterior glued grills grills between glass removable interior None

Door style and make: GLITE / 2 PANEL material FIBERGLASS Color: BLACK

Garage Door, Style NONE Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: NONE Color: _____

Gutter Type/Material: ALUMINUM / U-SHAPE W/ ROUND P.S. Color: WHITE

Deck material: wood other material, specify MAHOGANY Color: NATURAL

Skylight, type/make/model: NONE material _____ Color: _____ Size: _____

Sign size: NONE Type/Materials: _____ Color: _____

Fence Type (max 6') Style NONE material: _____ Color: _____

Retaining wall: Material: NONE

Lighting, freestanding RECESS on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name JAME HAGERTY

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.
- Landscaping plan, 5 copies drawn on a certified perimeter plan containing the following information:
 - Name of applicant, street address, assessor's map and parcel number.
Name address and telephone number of the plan preparer, plan date, & dates of revisions
 - The location of existing and proposed buildings and structures, and lot lines.
 - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
 - Existing buffer areas to remain.
 - Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
 - The location, number, size and name of proposed new trees and plants.
 - Driveway, parking areas, walkways, and patios indicating materials to be used.
 - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
 - All proposed exterior lighting and signs.

Sketch or photos of adjacent properties, (1 copy only)

A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.

Photographs of all sides of existing buildings to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 1192 # sq. ft. Building 2 320 GARAGE

Existing Building, gross floor area, including area of finished basement:

Building 1 1202 # sq. ft. Building 2 320 GARAGE

New building or addition, foot print:

Building 1 893 # sq. ft. Building 2 0

New Building or addition, gross floor area, including area of finished basement:

Building 1 1402 # sq. ft. Building 2 0

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Fees according to schedule, made payable to the Town of Barnstable
- ~~\$17.25~~ check made payable to the Barnstable Patriot for the required legal ad notification - *TOWN OF BARNSTABLE* - \$19.84
- First Class Postage Stamps for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer)

J. Haggerty

Print JAMES HAGERTY

Date: 6/30/20

Tel. Phone no's: 508-258-7069

Email JHAGERTY@CAPECODBUILDER.COM

NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS

ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

APPEAL PERIOD

APPROVED PLANS

PLAN PICK UP

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038

Conservation Division 508-862-4093 Health Division 508-862-4644

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787



CONSTRUCTION SPECIFICATIONS FOR:

Gallacher Residence

69 George Street, Barnstable, MA

- 1. SIDING: White Painted cedar clapboards on front, sides and rear.**



- 2. ROOF: Architectural Style, Asphalt Shingles by CertainTeed, Color: Pewterwood**



BARNSTABLE TOWN CLERK
2020 JUN 30 PM 1:20

Lead coated Copper, standing seam roof at front porch

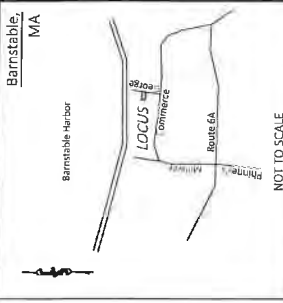


3. **WINDOWS: Andersen, 400 Series, Double-Hung, Black Exterior Finish. See plans for grille pattern. True divided light grills. See schedule for sizes and quantities.**



4. **FRONT ENTRY DOOR COLOR: Black on Fiberglass Entry Door, Smooth-Star by ThermaTru, 6-lite with 2 panels.**





NOT TO SCALE

PLAN BOOK 75
DEED BOOK 32526
ASSESSORS' MAP 319

PAGE 155
PARCELS 1, 2, 3
PARCEL 59

LEGEND

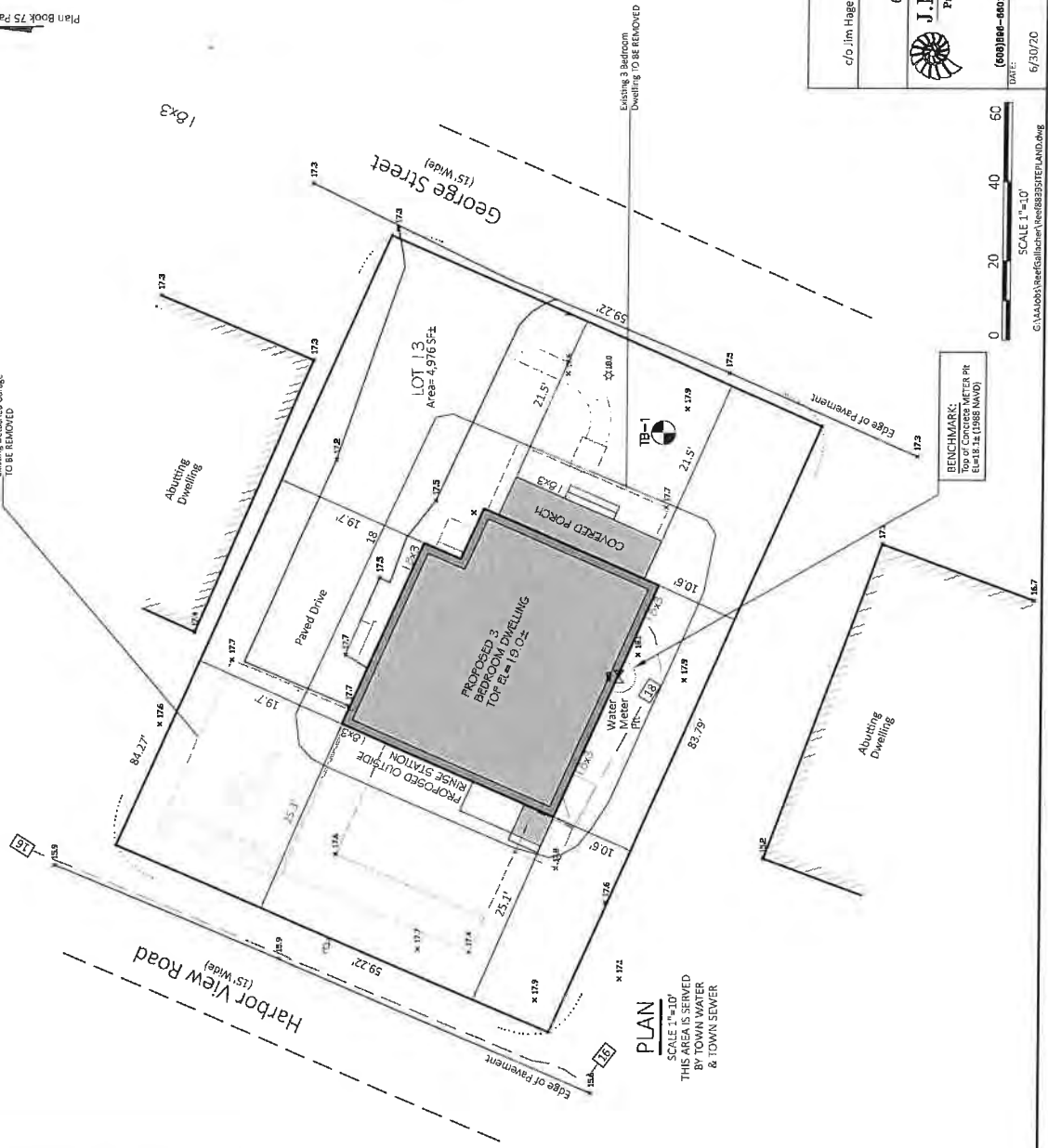
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- WATER SERVICE LINE
- OVERHEAD UTILITY SERVICE
- UNDERGROUND UTILITY SERVICE
- GAS SERVICE LINE
- TEST HOLE / BORING LOCATION
- SEPTIC TANK
- DISTRIBUTION BOX
- SOIL ABSORPTION SYSTEM
- UTILITY POLE
- RESERVED FOR FUTURE
- CATCH BASIN
- FIRE HYDRANT
- WELL
- DRAINAGE MANHOLE
- CONCRETE BOUND, FOUND
- TOP OF BANK
- LIMIT OF WORK
- FENCE
- EDGE OF CLEARING



PROPERTY IS NOT LOCATED IN THE FEMA 100 YEAR PLANE, AE FLOOD ZONE EL=13.0 PER MAP# 25001C05581

DEPTH FROM FINISH	SOIL HORIZON	SOIL TYPE	SOIL COLOR	MOISTURE	OTHER
0-24"	A	CLAYEY FINE SAND	10YR5.2	NOIF	
24-32"	B	CLAYEY FINE SAND	10YR5.6	NOIL	
32-58"	C	CLAYEY FINE SAND	10YR5.6	NOIE	H2O SPLITTING

DATE OF TESTING: 10/20/21
PERCOLATION RATE: ESTIMATED RATE BASED ON SOIL CLASSIFICATION
WITNESSED BY: MATTHEW T. FARRELL, ET. AL. O'REILLY & ASSOCIATES, INC.
WATER TABLE FOUND AT 5.0' BELOW GRADE, EL=12.8.



ZONING TABLE	
AP - ACQUFER PROTECTION OVERLAY	
RR - RESIDENTIAL DISTRICT	
REQUIREMENTS:	
LOT SIZE:	43,500 SF
FRONT SETBACK:	10 FEET
SIDE SETBACK:	10 FEET
REAR SETBACK:	10 FEET
MINIMUM FRONT YARD SETBACK:	20 FEET
WIDTH:	100 FEET
EXISTING COVERAGE	4,976 SF
LOT AREA:	4,976 SF
LOT COVERAGE:	1,248 SF
GALE:	248 SF
GAR. SHED:	48 SF
TOTAL:	1,827 SF
COVERAGE=(1,827/4,976)x100%= 36.7%	
PROPOSED COVERAGE	4,976 SF
LOT AREA:	4,976 SF
LOT COVERAGE:	892 SF
COV. ENTRY:	51 SF
TOTAL:	944 SF
COVERAGE=(944/4,976)x100%= 19.2%	
PROPOSED GRADE PLANE AND HEIGHT	
NORTH: 17.5417572= 17.5	
EAST: 17.5417572= 17.5	
SOUTH: 17.5417572= 17.5	
WEST: 17.5417572= 17.5	
GRADE PLANE:	EL=17.5
EXISTING PEAK EL:	EL=17.5
PROPOSED DWELLING:	EL=19.02
24.4 FEET FROM TOP TO ROOF PEAK	
PROPOSED HEIGHT: EL= 24.4 + 19.5 = 43.9	
PEAK EL= 43.9 < EL=47.5: HEIGHT OK	

Gallagher Residence
c/o Jim Hagerly, Reef Builders, PO Box 186, West Dennis, MA 02670

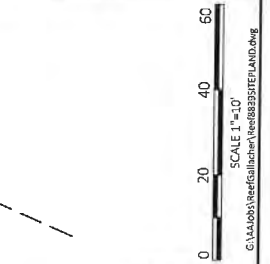
PROPOSED SITE PLAN
69 George Street, Barnstable, MA

J.M. O'REILLY & ASSOCIATES, INC.
Professional Engineering & Land Surveying Services

1678 Main Street - Route 6A
P.O. Box 1775
Barnstable, MA 02581

DATE: 6/30/20
SCALE: As Noted
BY: MTF
CHECKED: JMO
JOB NUMBER: JMO-8839

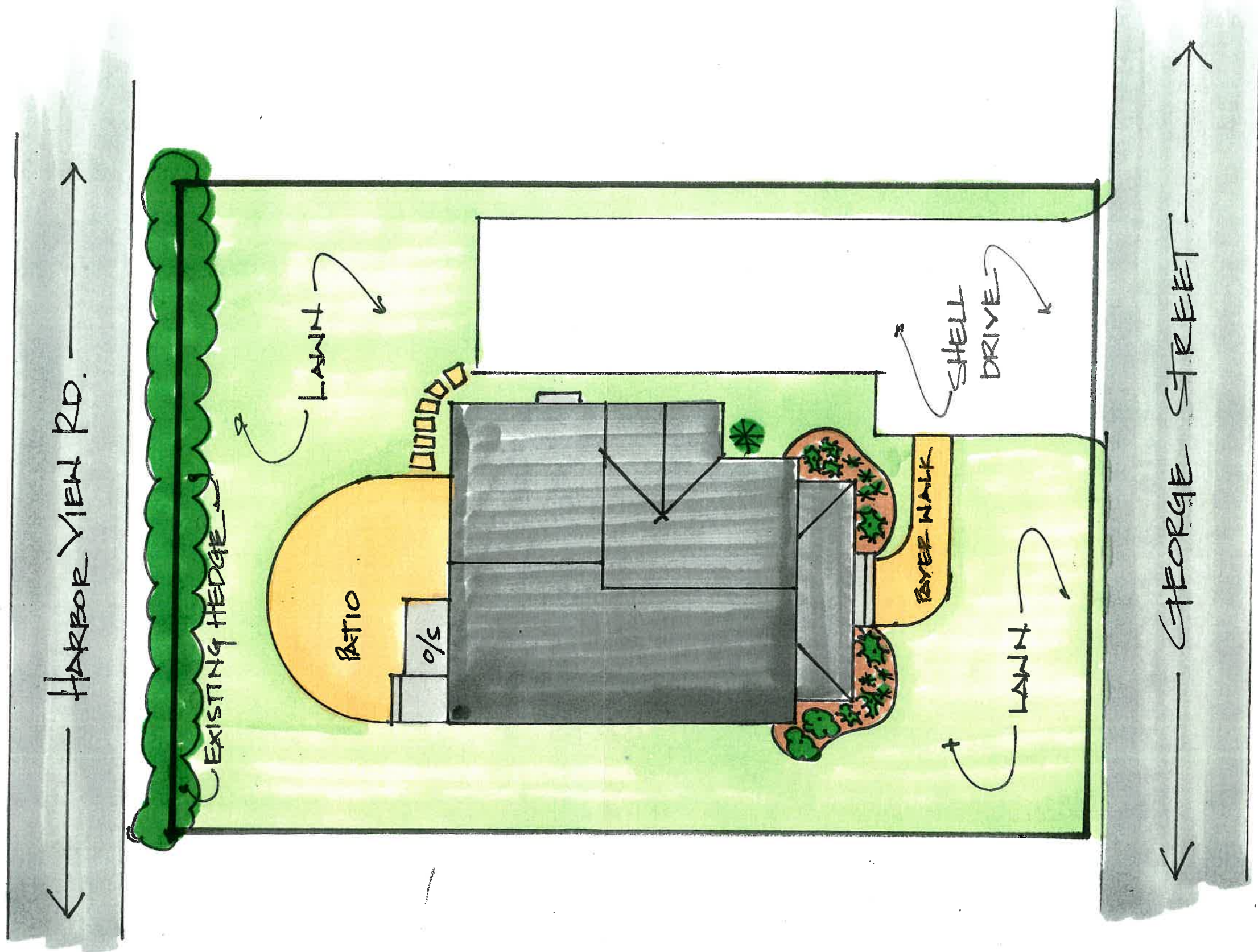
TEL: (508) 994-6601
FAX: (508) 994-6602



2020 JUN 30 PM 1:24
BARNSTABLE TOWN CLERK



GALLAGHER RESIDENCE
69 GEORGE ST, BARNSTABLE 319/059
REEF BUILDERS
PO Box 186 W. DENNIS, MA 508-374-3090
DATE: 6.30.2020



SCALE 1"=10'



REEF BUILDERS
CAPE COD BUILDER, LLC

24 School Street PO Box 166
West Dennis, MA 02670
508.394.3050 |
www.capecodbuilder.com

Door Schedule - Historic		
Mark	Width	Height
113	2' - 6"	7' - 6"
106	2' - 8"	7' - 0"
109	3' - 0"	7' - 0"

Window Schedule - Historic			
Type Mark	Count	Width	Height
A	11	2' - 7 5/8"	5' - 0 7/8"
B	2	2' - 7 1/2"	2' - 7 1/2"
C	2	3' - 5 5/8"	5' - 4 7/8"
E	4	2' - 5 5/8"	4' - 4 7/8"



5 Exterior Perspective 1



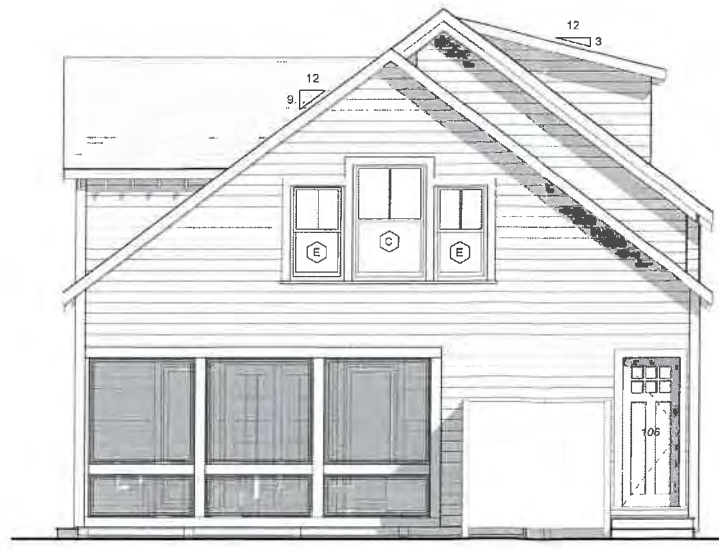
1 Front Elevation
1/4" = 1'-0"



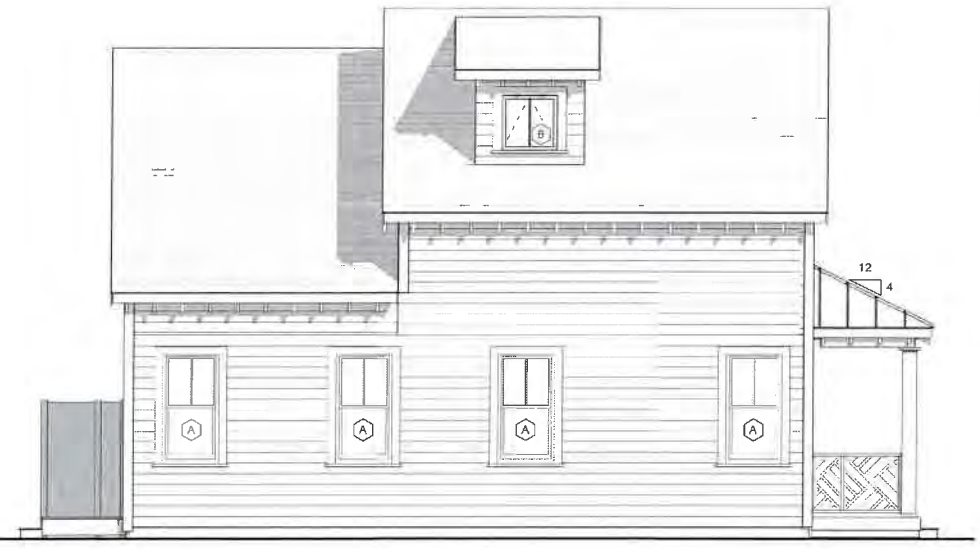
2 Right Elevation
1/4" = 1'-0"



6 Exterior Perspective 2



4 Rear Elevation
1/4" = 1'-0"

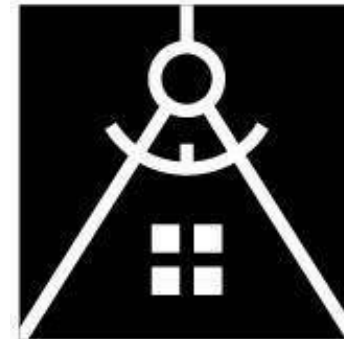


3 Left Elevation
1/4" = 1'-0"

PRIVATE RESIDENCE
69 GEORGE STREET
BARNSTABLE, MA

#	Date	Note
1	06.31.20	001
2	06.30.20	002
3	06.30.20	Historic

A1.1



REEF BUILDERS
CAPECODBUILDER.COM

24 School Street PO Box 186
West Dennis, MA 02670
| 508.394.3090 |
www.capecodbuilder.com

PRIVATE RESIDENCE

69 GEORGE STREET
BARNSTABLE, MA
Exterior Perspective 1

SK03

6/30/2020 9:27:12 AM

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REEF BUILDERS
CAPECODBUILDER.COM

24 School Street PO Box 186
West Dennis, MA 02670
| 508.394.3090 |
www.capecodbuilder.com



PRIVATE RESIDENCE

69 GEORGE STREET
BARNSTABLE, MA
Exterior Perspective 2

SK04

6/30/2020 9:27:20 AM



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

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- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date July 2, 2020

NOTE All applications must be signed by the current owner

Owner (print): CARL HATCH & NYKI HATCH Telephone #: 508-680-2326
 Address of Proposed Work: 35 ACRE HILL RD Village BARNSTABLE Map Lot # PARCEL # 298115
 Mailing Address (if different) _____ Lot # 35

Owner's Signature C.L. Hatch & Nyki M. Hatch

Description of Proposed Work: Give particulars of work to be done: REMOVAL OF EXISTING CHIMNEY

① NEW ADDITION 10' x 18' MASTER BATH AND CLOSET TO EXISTING BEDROOM

② NEW ADDITION 12' x 5 1/2' FOYER

③ NEW ADDITION 12 x 4 1/2' COVERED FRONT PORCH (AND) CLOSING IN EXISTING SIDE PORCH TO CREATE A SMALL STUDY

Agent or Contractor (print): SELF Telephone #: 508-680-2326

Address: 35 ACRE HILL RD BARNSTABLE, MA, 02630

Contractor/Agent's signature: _____

For committee use only This Certificate is hereby **APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) FORMED CONCRETE 4 1/2' DEEP / 9" EXPOSED TO MATCH GRADE

Siding Type: Clapboard shingle other
Material: red cedar white cedar other Color: WHITE

Chimney Material: CHIMNEY BEING REMOVED Color: _____

Roof Material: (make & style) ARCHITECTURAL ASPHALT SHINGLES Color: LIGHT GRAY TO MATCH EXISTING ROOF

Roof Pitch(s): (7/12 minimum) 8/12 ON NEW ADDITION (specify on plans for new buildings, major additions)

Window and door trim material: wood other material, specify WHITE AZEK

Size of cornerboards 1X4 1/2 size of casings (1 X 4 min.) 1X4 1/2 color WHITE

Rakes 1st member 1X6 2nd member _____ Depth of overhang NONE

Window: (make/model) MATHEWS BROTHERS SANDFORD HILLS material DOUBLEHUNG/VINYL color WHITE
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights exterior glued grills grills between glass removable interior None

Door style and make MASONITE CRAFTSMAN FULL LITE DECORATIVE GLASS material FIBERGLASS Color: WHITE

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: NONE Color: _____

Gutter Type/Material: ALUMINUM Color: WHITE

Deck material: wood other material, specify _____ Color: _____

Skylight, type/make/model: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) C.L. Hatch Nyki M. Hatch Print Name CARL L. HATCH NYKI M. HATCH

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.
- Landscaping plan, 5 copies drawn on a certified perimeter plan containing the following information:
 - Name of applicant, street address, assessor's map and parcel number.
Name address and telephone number of the plan preparer, plan date, & dates of revisions
 - The location of existing and proposed buildings and structures, and lot lines.
 - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
 - Existing buffer areas to remain.
 - Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
 - The location, number, size and name of proposed new trees and plants.
 - Driveway, parking areas, walkways, and patios indicating materials to be used.
 - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
 - All proposed exterior lighting and signs.
- Sketch or photos of adjacent properties, (1 copy only)

A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- Photographs of all sides of existing buildings to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 1564.25 sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

Building 1 1267.60 sq. ft. Building 2 _____

New building or (addition), foot print:

Building 1 30x10 = 300 SF (CLOSED IN PORCH / SINCE IT WAS INCLUDED ON "EXISTING FOOTPRINT") sq. ft. Building 2 _____

New Building or (addition), gross floor area, including area of finished basement:

Building 1 BATH/CLOSET AREA 17x9.5 = 166.50 sq. ft. Building 2 _____
FOYER 11.5x5 = 57.50
CLOSED IN PORCH 9.5x9.5 = 90.25
314.25 sq. Ft.

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Fees according to schedule, made payable to the Town of Barnstable
- \$17.25 check made payable to the Barnstable Patriot for the required legal ad notification
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) CL Hatch Nyki M. Hatch Print CARL HATCH & NYKI M. HATCH

Date: July 2, 2020 Tel. Phone no's: 508-680-2326 603-583-3828

Email COPSAGENT@COMCAST.NET

NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS

ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

APPEAL PERIOD	APPROVED PLANS	PLAN PICK UP
----------------------	-----------------------	---------------------

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS
--

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038
 Conservation Division 508-862-4093 Health Division 508-862-4644

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787
--

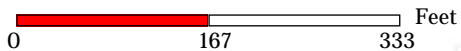


Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

107

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Legend

Road Names

108



Map printed on: 7/10/2020



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

FRONT OF OUR HOUSE
35 ACRE HILL RD.
BARNSTABLE, MA 02630

109



FRONT OF OUR HOUSE
35 ACRE HILL RD.
BARNSTABLE, MA. 02630



GARAGE SIDE OF OUR HOUSE
35 ACRE Hill Rd.
BARNSTABLE, MA. 02630



OTHER SIDE OF HOUSE
RT. SIDE IF STANDING IN FRONT OF HOUSE
35 ACRE Hill Rd.
BARNSTABLE, MA 0230



BACK OF OUR HOUSE
35 ACRE Hill Rd.
BARNSTABLE, MA. 02630

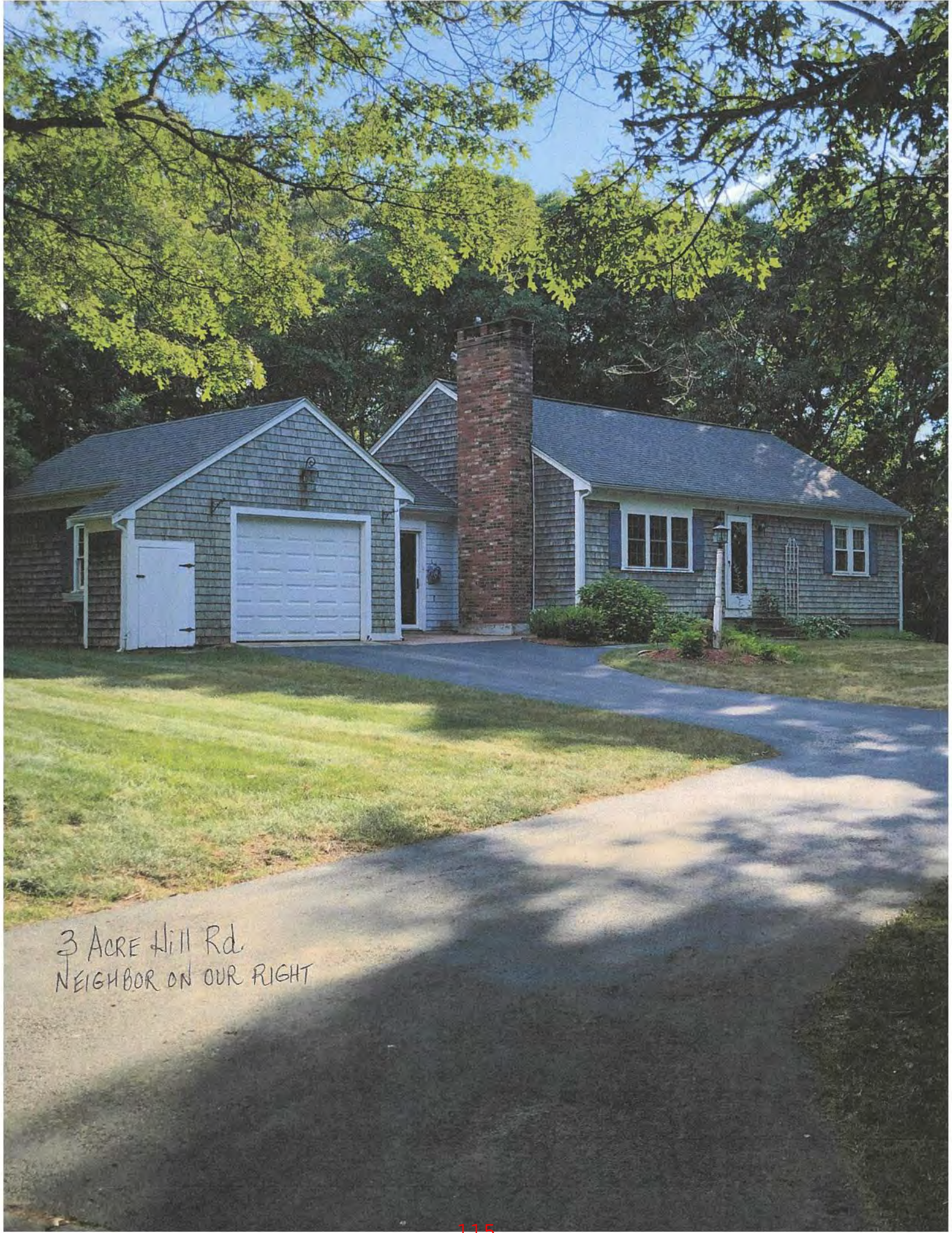
113



114



49 ACRE HILL Rd.
NEIGHBOR ON OUR LEFT SIDE



3 ACRE Hill Rd
NEIGHBOR ON OUR RIGHT

20 ACRE Hill Rd.
NEIGHBOR ACROSS THE STREET
FROM US



350 BRAGGS LANE



Vision Pro Double 5" Siding

Vision Pro

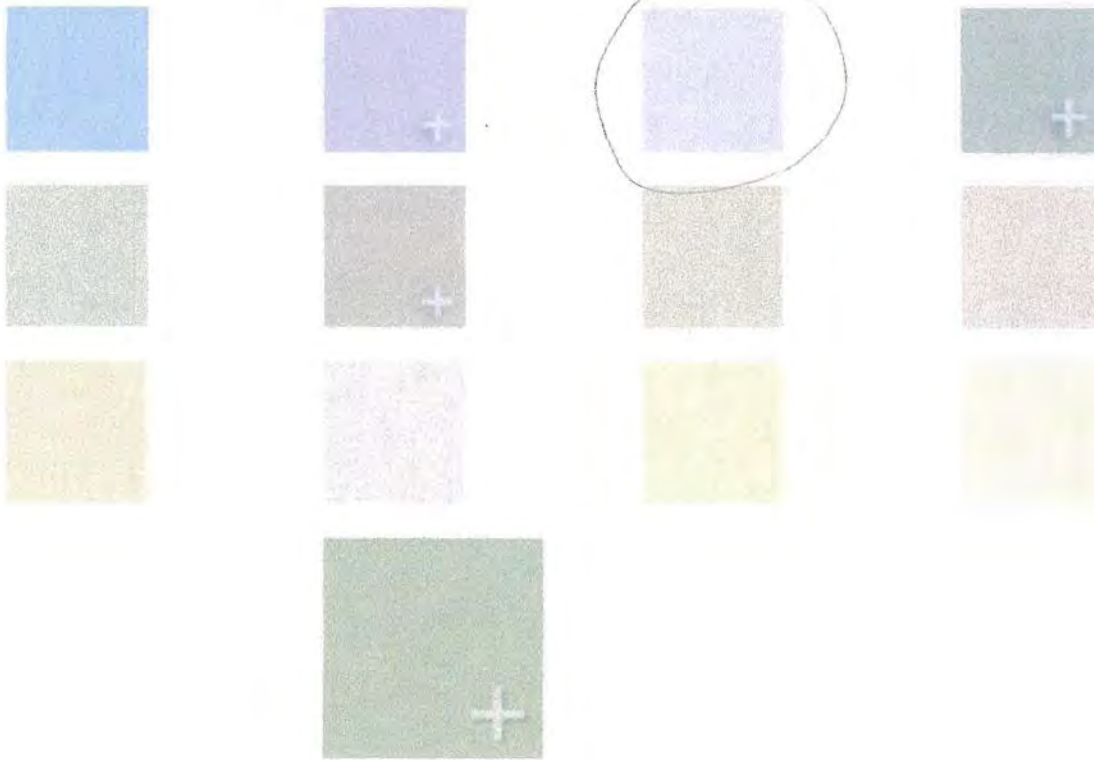


Double 5" traditional lap siding offers 25% more siding panel exposure on the wall than 4" siding, and a narrower reveal than 6" traditional lap siding, and can give a larger home a more modern look. *Due to screen resolution limitations, product colors may not be exactly as shown.

Colors

USED ONLY ON NEW FRONT PORCH

14 Exterior Colours Available



Color Legend



Upcharge Applies

Accessories

GEORGIA-PACIFIC™ VINYL SIDING AND ACCESSORIES

Accent Panels



Cedar Spectrum™ Shingle Siding



Board & Batten



Ply Gem Stone

Outside Corner Options

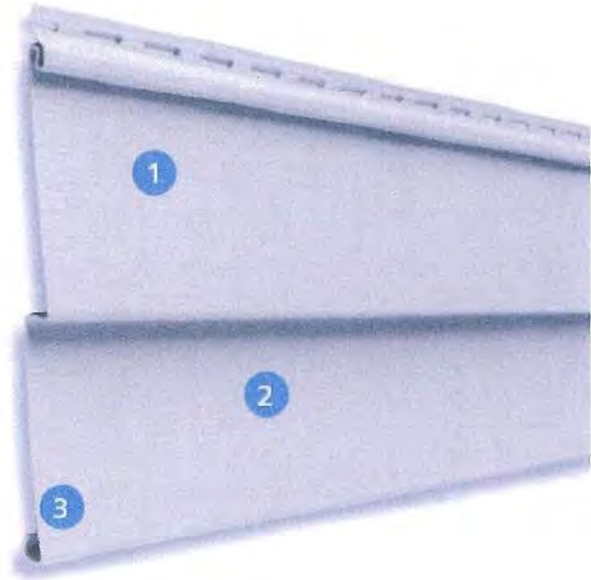


VISION PRO®

- 1 Wood grain finish with color-through technology minimizes the appearance of scratches
- 2 Proven, cost-effective solution for durable, long-term protection
- 3 Durable .040" panel thickness helps resist wind loads up to 165 mph*



Limited Lifetime Transferrable Warranty for your peace of mind.**



*Tested in accordance with ASTM D5206. Wind Speed rating will vary depending on specific code region and construction method. Refer to local building codes for detailed requirements concerning allowable wind loads and specified conversion tables for actual wind speeds.

**For complete warranty details call 1-888-502-BLUE.

Performance

VISION PRO®

CAREFREE BEAUTY FOR YOUR HOME

- Durable .040" panel thickness and curl-over nail hem deliver a 165 mph wind load.*
- Never needs painting, scraping or staining
- Resists damage from insects and will not rot



Limited Lifetime Transferrable Warranty for your peace of mind.**



This product has been certified by Home Innovation Research Labs. This means you can be assured that this product complies with specific green practice criteria in the National Green Building Standard (NGBS). Visit www.HomeInnovation.com/GreenProducts for more details.

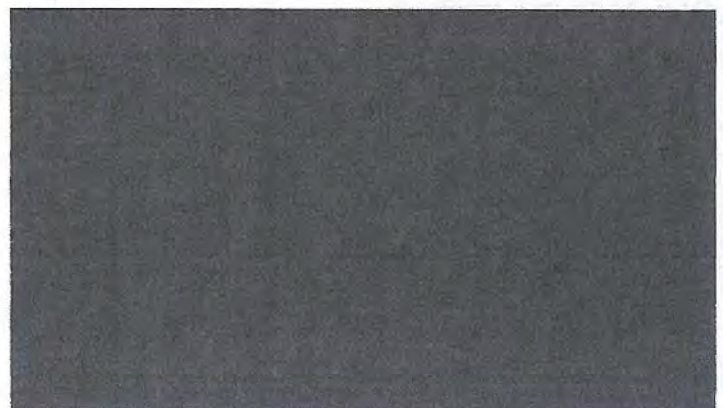
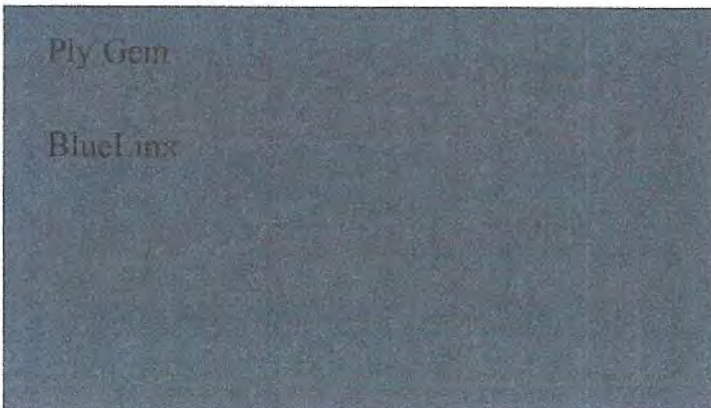


ASTM D 3679



*Tested in accordance with ASTM D5206. Wind Speed rating will vary depending on specific code region and construction method. Refer to local building codes for detailed requirements concerning allowable wind loads and specified conversion tables for actual wind speeds.

**For complete warranty details call 1-888-502-BLUE.



STRUCTURAL RATINGS

PRODUCT UNIT	TEST SIZE (IN INCHES)	AIR INFILTRATION (cfm/ft ²)	WATER RESISTANCE (psf)	UNIFORM LOAD TEST PRESSURE (psf)	DESIGN PRESSURE (psf)	OVERALL PERFORMANCE
Sanford Hills - DH	40" X 63"	<0.01	7.52	75.20	50.13	R-PG50
Sanford Hills - DH	36" X 72"	0.01	7.52	75.20	50.13	R-PG50
Sanford Hills - DH	42" X 78"	0.15	7.52	75.20	50.13	LC-PG50
Sanford Hills - DH	44" X 75"	0.02	7.52	75.20	50.13	LC-PG50
Sanford Hills - DH	48" X 84"	<0.01	12.11	90.23	60.15	LC-PG50
Sanford Hills - DH PW	60" x 60"	<0.01	12.11	90.23	60.15	CW-PG60
Sanford Hills - DH PW	72" x 72"	<0.01	7.52	75.2	50.13	LC-PG50
Sanford Hills - CA	35" x 72"	<0.01	9.19	120.30	65.16	CW-PG65
Sanford Hills - Stationary Casement (Dual)	60" x 60"	<0.01	10.65	97.73	65.15	CW-PG65
Sanford Hills - Stationary Casement (Dual)	72" x 84"	<0.01	7.52	75.2	50.13	LC-PG50
Sanford Hills - Stationary Casement (Triple)	60" x 60"	<0.01	10.65	90.23	60.15	CW-PG60
Sanford Hills - AW	48" x 32"	<0.01	12.11	120.30	80.2	LC-PG80

U-Value U-Factor is the measurement of the rate of Heat Loss through the window, so the lower the number, the better. U-Factor takes into consideration framing, glazing and spacer conductivity, so it is a rating of the entire window unit.
 SHGC SHGC is the Solar Heat Gain Coefficient of the glass unit. Since the SHGC typically drops with the U-Factor, any potential passive solar heating will also be reduced.
 VLT VT is the Visible Light Transmittance of the glass unit. This is an important rating to consider when specifying glazing packages that include Low-e glass. Low-E glass reduces radiated heat loss, but also reduces visible light.
 CR CR is the unit's Condensation Resistance Factor, and measures the unit's ability to resist excessive interior condensation during winter months.

THERMAL RATINGS

PRODUCT UNIT	U-VALUE	SHGC	VLT	CR	
DOUBLE HUNG	Dual Pane Low-e/Argon	0.26	0.23	0.51	60
	Triple Pane Low-e/Clear/Clear (Argon)	0.22	0.26	0.46	69
	Triple Pane Low-e/Clear/Low-e (Argon)	0.19	0.24	0.40	73
	PassivGlas	0.23	0.44	0.54	67
	PassivGlas Plus	0.20	0.43	0.53	71

THERMAL RATINGS

PRODUCT UNIT	U-VALUE	SHGC	VLT	CR	
CASEMENT	Dual Pane Low-e/Argon	0.23	0.23	0.42	62
	Triple Pane Low-e/Clear/Clear (Argon)	0.20	0.22	0.38	69
	Triple Pane Low-e/Clear/Low-e (Argon)	0.18	0.22	0.38	73
	PassivGlas	0.21	0.37	0.44	66
	PassivGlas Plus	0.19	0.35	0.43	72

THERMAL RATINGS

PRODUCT UNIT	U-VALUE	SHGC	VLT	CR	
DOUBLE HUNG PICTURE	Dual Pane Low-e/Argon	0.25	0.29	0.53	63
	Triple Pane Low-e/Clear/Clear (Argon)	0.21	0.27	0.48	72
	Triple Pane Low-e/Clear/Low-e (Argon)	0.18	0.25	0.41	77
	PassivGlas	0.22	0.46	0.55	70
	PassivGlas Plus	0.19	0.44	0.54	75

THERMAL RATINGS

PRODUCT UNIT	U-VALUE	SHGC	VLT	CR	
CASEMENT PICTURE	Dual Pane Low-e/Argon	0.24	0.29	0.52	62
	Triple Pane Low-e/Clear/Clear (Argon)	0.20	0.22	0.38	69
	Triple Pane Low-e/Clear/Low-e (Argon)	0.18	0.22	0.38	73
	PassivGlas	0.21	0.37	0.44	68
	PassivGlas Plus	0.19	0.35	0.43	72

THERMAL RATINGS

PRODUCT UNIT	U-VALUE	SHGC	VLT	CR	
AWNING	Dual Pane Low-e/Argon	0.24	0.23	0.42	60
	Triple Pane Low-e/Clear/Clear (Argon)	0.20	0.22	0.38	70
	Triple Pane Low-e/Clear/Low-e (Argon)	0.18	0.22	0.38	74
	PassivGlas	0.21	0.37	0.44	69
	PassivGlas Plus	0.19	0.35	0.43	73



SANFORD HILLS
VINYL DOUBLE HUNG
WINDOWS

Dramatically Different

This is not just another window. This is not even just another vinyl window. This is a window unlike any window you've ever seen. It's not just a little different; it's dramatically different.

We've taken our years of experience making wood windows and put them into this truly remarkable family of products. Combining the traditional historic look of wood with the thermal and structural performance of vinyl, the Sanford Hills is truly a breakthrough product.

The look of wood is everywhere... sash members that are a full 1 $\frac{3}{4}$ " deep, low-profile or completely hidden tilt latches, multiple exterior casing options, standard or historic sill nose options, either $\frac{3}{4}$ " Dual or 1 $\frac{1}{8}$ " Triple Insulating Glass Units, optional unfinished wood-based interior and multiple grille options.

The beauty of this family of products is only the beginning; the world class structural and thermal performance will blow you away. The Double Hung boasts Performance Grade 50 rating without any structural upgrades, while the Casement boasts Commercial Grade 65, also without any structural upgrades. Energy Star® 6.0 rating is standard, with U-Factors as low as 0.19 available.

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Windows & Doors / Exterior Doors / Entry Doors

\$1,040^{.72} [View Q&A](#)



Masonite Craftsman Full Lite Decorative Glass Left-Hand Inswing Arctic White Painted Fiberglass Prehung Entry Door with Insulating Core (Common: 36-in x 80-in; Actual: 37.5-in x 81.625-in)

Item #803414 Model #803414

Door slab is professionally finished on all sides (door jamb and...

The Craftsman style glass offers an authentic interpretation of...

The Masonite Craftsman door is a complete door system with all...



In use

lifestyle image. accessories not included




Manufacturer Color/Finish:
Arctic White



- Door slab is professionally finished on all sides (door jamb and brickmould supplied primed and ready to paint or stain)
- The Craftsman style glass offers an authentic interpretation of traditional architecture The time-honored symmetry along with square bevels set off the Eaton and granite textured glass giving any entry way a sense of ornate charm
- The Masonite Craftsman door is a complete door system with all necessary assembled components (jambs, brickmould, weather stripping, sill and hinges) that makes it ready for an easy install
- Double bored for easy installation of handle set and deadbolt lock
- Glass supplied with Patina (black) coming and an obscurity rating of 7 for a more classic look, without sacrificing security
- Door slab is injected with a high performance polyurethane foam insulated core that helps saves money on energy costs
- Two-year limited warranty on factory applied finish
- Manufacture trimming limitations: up to 3 in off bottom; up to 2 in off top; any and all trimming voids warranty

 [Installation Guide](#)
PDF

 [Warranty Guide](#)
PDF

 [CA Prop 65](#)
PDF

CA Residents:  [Prop 65 Warning\(s\)](#) 

Specifications

Rating & Reviews 2

Community Q & A

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 298115

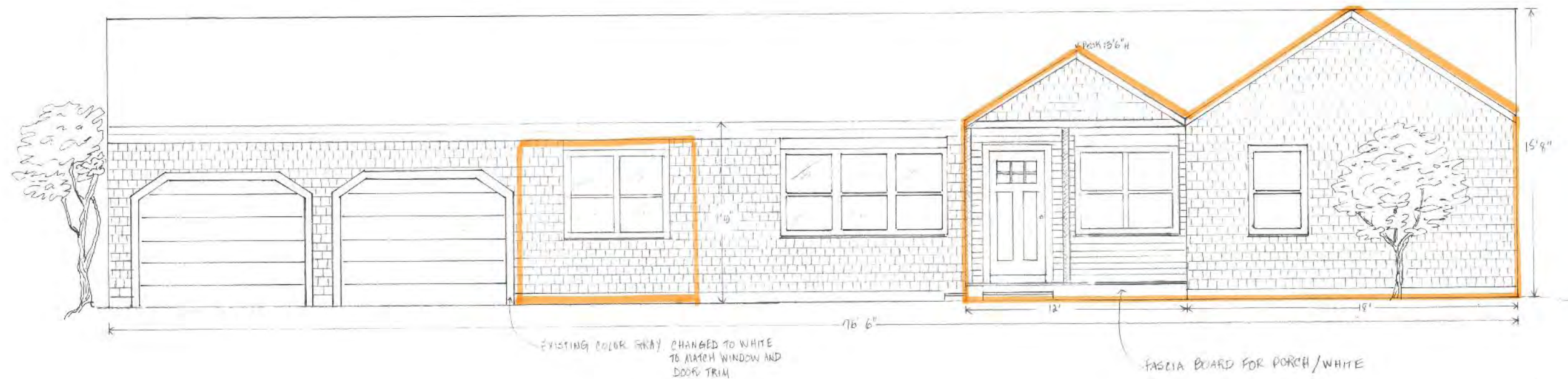
Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
297070	CARTY, LUCY L		49 ACRE HILL RD		BARNSTABLE	MA	02630
298110	DESMARAIS, PATRICK R		28 ACRE HILL RD		BARNSTABLE	MA	02630
298111	DALY, RICHARD E		20 ACRE HILL ROAD		BARNSTABLE	MA	02630
298112	OSIMO-CLOUTIER, CHERYL		32 ACRE HILL ROAD		BARNSTABLE	MA	02630
298113	PROUTY, DONALD N TR	PROUTY FAMILY TRUST OF 2015	40 ACRE HILL ROAD		BARNSTABLE	MA	02630
298114	ODONOGHUE, BERNARD J & RITA A		3 ACRE HILL RD		BARNSTABLE	MA	02630
298115	HATCH, NYKI M & CARL L		35 ACRE HILL ROAD		BARNSTABLE	MA	02630
298116	VER EECKE, WILFRIED & JOSIANE TRS	WILFRIED VER EECKE REV TRUST	4100 NEBRASKA AVE NW		WASHINGTON	DC	20016



35 ACRE HILL

PLOT PLAN		
SCALE: 1" = 19.25'	APPROVED BY:	DRAWN BY: CARL HATCH
DATE: 6/21/20		REVISED:
35 ACRE HILL RD BARNSTABLE MA		
CARL & NYKI HATCH		DRAWING NUMBER: 1



SIDING

PEDAR SHAKES - NATURAL
 VINYL CLARBOARD 1/2" WIDE IN WHITE FRONT PORCH WALLS

WINDOW TRIM

WHITE 4" BOARDS TO MATCH EXISTING WINDOWS

FASCIA TRIM ON EAVES

WHITE 4" BOARDS TO MATCH EXISTING TRIM

SHINGLES

LIGHT GRAY, ARCHITECTURAL STYLE
 TO MATCH EXISTING SHINGLES

DOOR

FIBER GLASS DOOR WITH WOOD TEXTURE, PAINTED WHITE

GARAGE DOORS

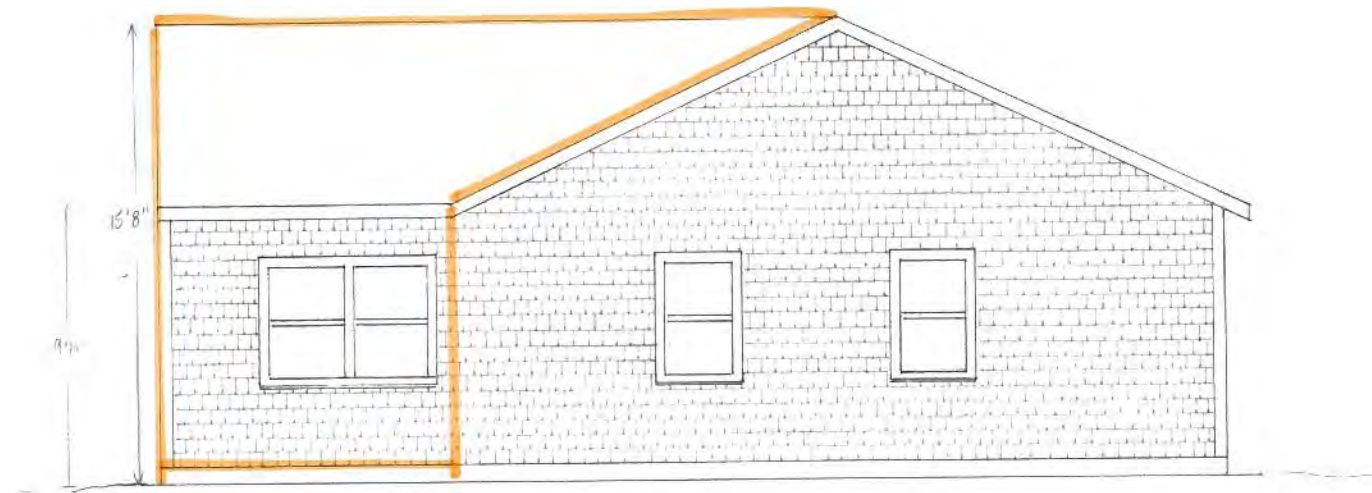
STAY THE SAME/PAINTED WHITE

FASCIA BOARD FOR PORCH / WHITE

PORCH DECKING

TIMBER TECH AZEK DECKING / COLOR GRAY

FRONT ELEVATION		
SCALE: 1/4" = 1'	APPROVED BY:	DRAWN BY: NM HATCH
DATE: 6/21/20		REVISED:
35 ACRE HILL RD		BARNSTABLE, MA. 02730
ARI AND NYKI HATCH		DRAWING NUMBER
		2



SIDING

CEGAR SHAKE SIDING

WINDOW TRIM

WHITE 1/4" BOARDS TO MATCH EXISTING WINDOWS

FACIATIA ON EAVES

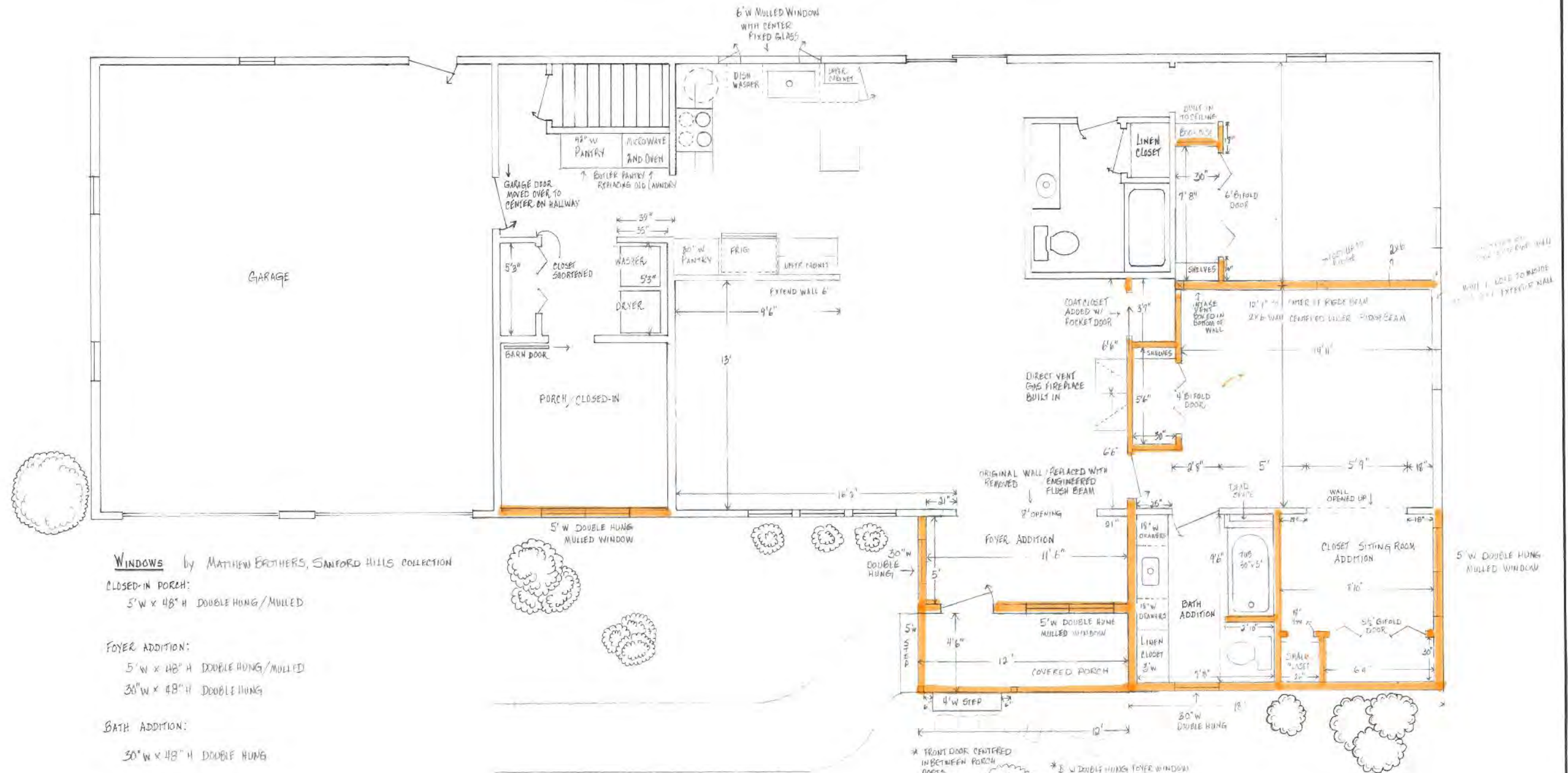
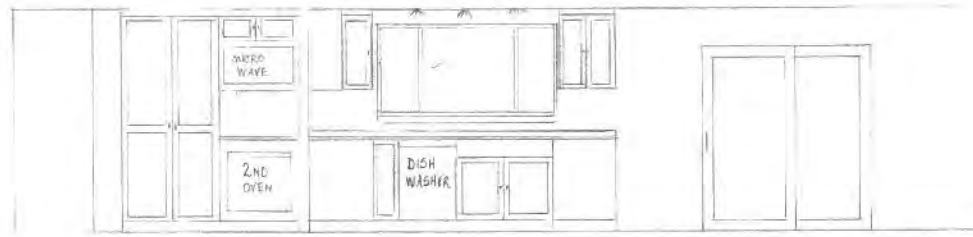
WHITE 1/4" BOARDS TO MATCH EXISTING TRIM

SHINGLES

LIGHT GRAY ARCHITECTURAL STYE
TO MATCH EXISTING SHINGLES

LEFT SIDE ELEVATION

SCALE: 1/4" = 1'	APPROVED BY:	DRAWN BY NYKI HATCH
DATE: 6/21/20		REVISED
35 ACRE HILL RD BARNSTABLE MA		
CARL & NYKI HATCH	DRAWING NUMBER	3



WINDOWS by MATTHEW BROTHERS, SANFORD HILLS COLLECTION

CLOSED-IN PORCH:
5' W x 48" H DOUBLE HUNG/MULLED

FOYER ADDITION:
5' W x 48" H DOUBLE HUNG/MULLED
36" W x 48" H DOUBLE HUNG

BATH ADDITION:
30" W x 48" H DOUBLE HUNG

CLOSET/SITTING ROOM ADDITION:
5' W x 48" H DOUBLE HUNG/MULLED

KITCHEN:
6' W x 48" H FIXED GLASS CENTER
w/ 12" ROSEHAT WINDOWS
ON EACH SIDE/MULLED

DOORS

PORCH/CLOSED-IN:
36" x 6' 8" BARN DOOR

ENTRY DOOR:
36" x 6' 8" FIBERGLASS DOOR

L.R. COAT CLOSET:
30" POCKET DOOR SOLID CORE

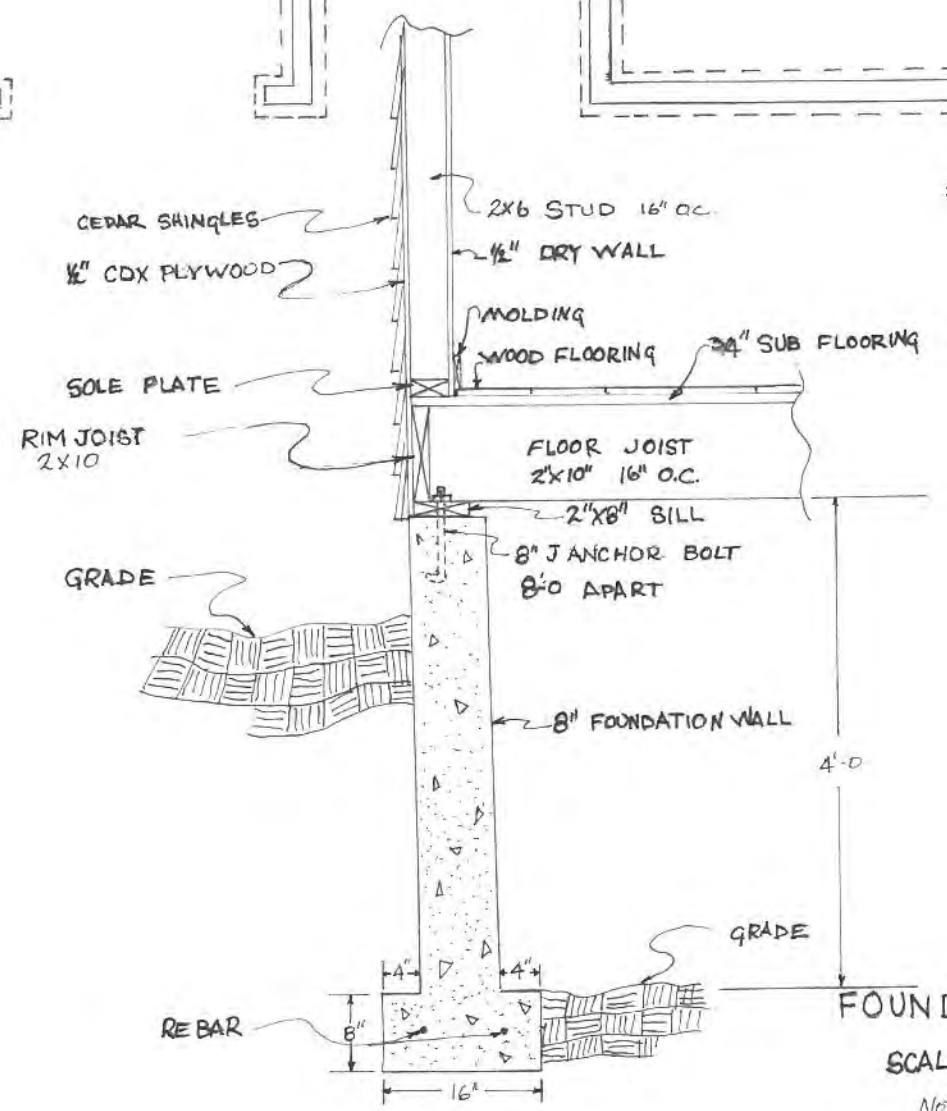
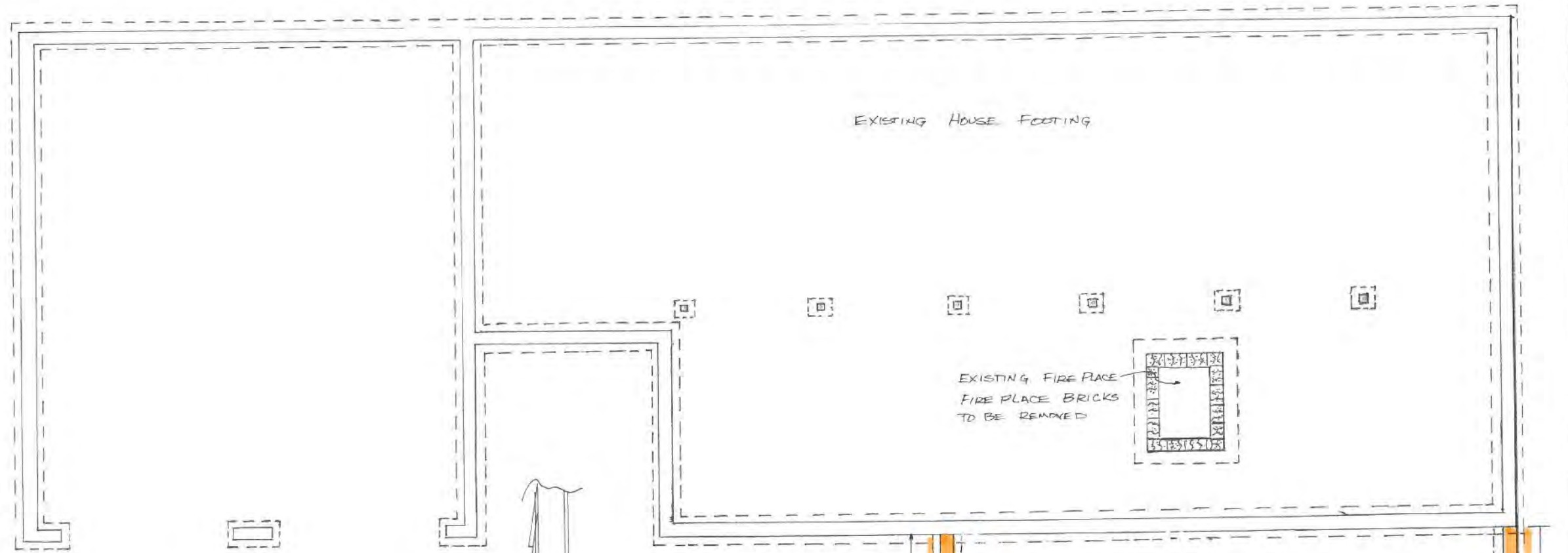
BEDROOM DOOR:
30" x 6' 8" SOLID CORE WOOD

BEDROOM CLOSET DOORS:
4' x 6' 8" BIFOLD
16' x 6' 8" SOLID CORE DOOR
5 1/2' x 6' 8" BIFOLD

BATH:
30" x 6' 8" SOLID CORE DOOR

FLOOR PLAN

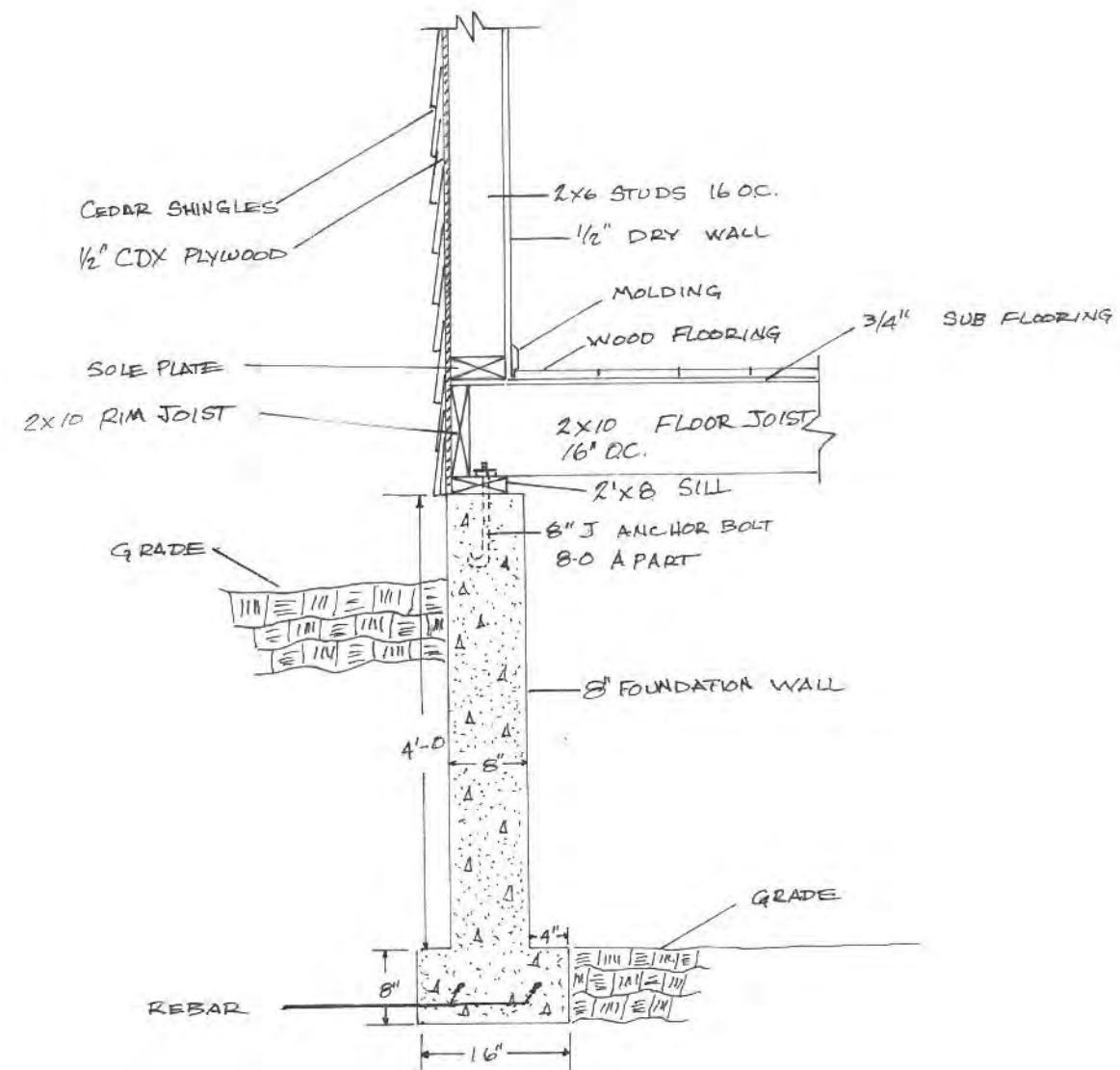
SCALE: 1/4" = 1'	APPROVED BY:	DRAWN BY: N.HATCH
DATE: 6/21/20		REVISED:
35 ACRE HILL RD. BARNSTABLE, MA 02630		DRAWING NUMBER
CARL AND NYKI HATCH		4



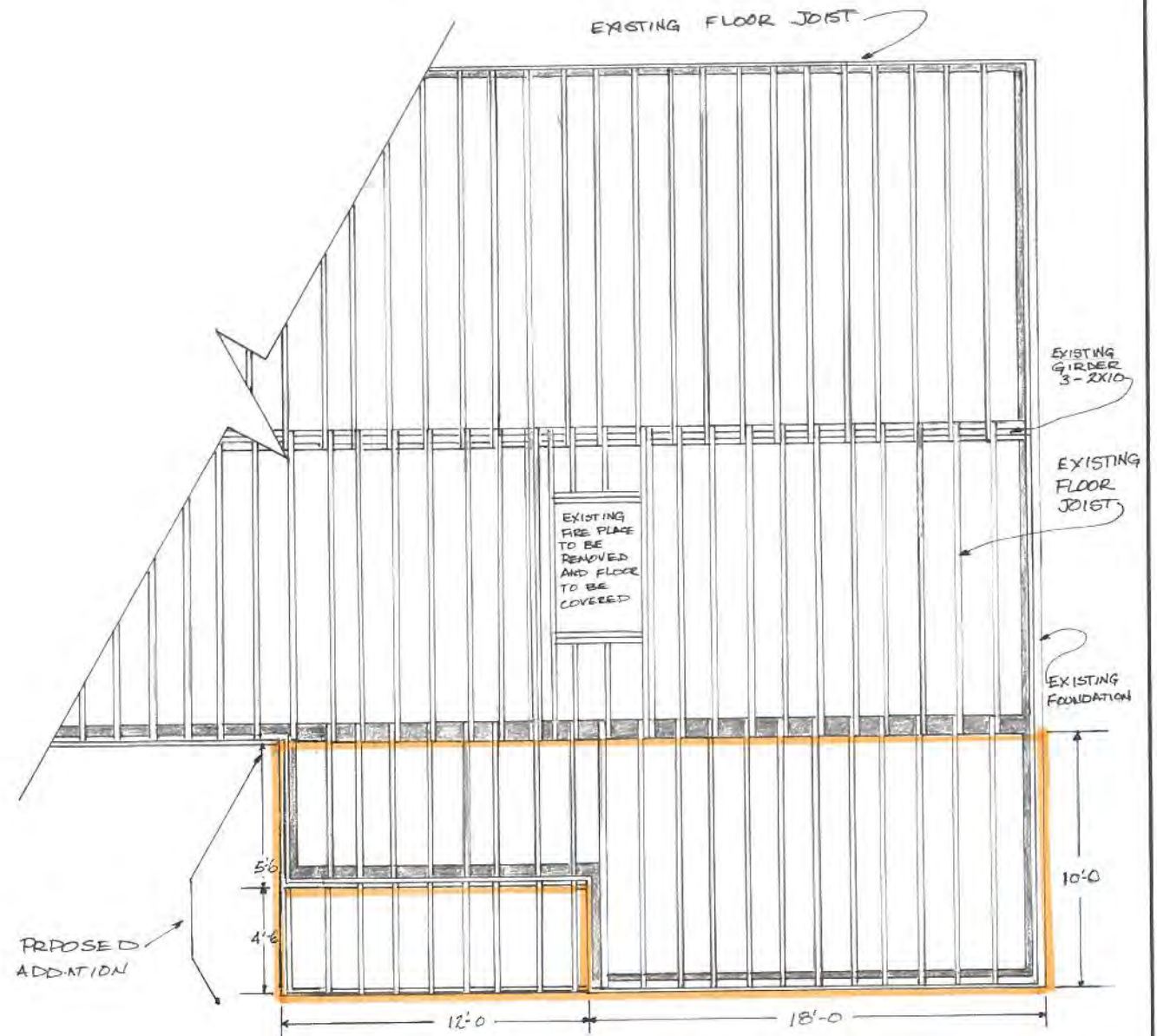
EXISTING FOUNDATION AND PROPOSE NEW FOUNDATION
DETAIL 1/4"=1' SCALE

FOUNDATION DETAIL
SCALE 1"=1'
NOT TO SCALE

FOUNDATION PLAN		
SCALE: 1/4"=1' AND 1/8"=1'	APPROVED BY:	DRAWN BY: CARL HATCH
DATE: 6/21/20		REVISED:
35 ACRE HILL RD. BARN STABLE MA 02630		
CARL & NYKI HATCH		DRAWING NUMBER: 5

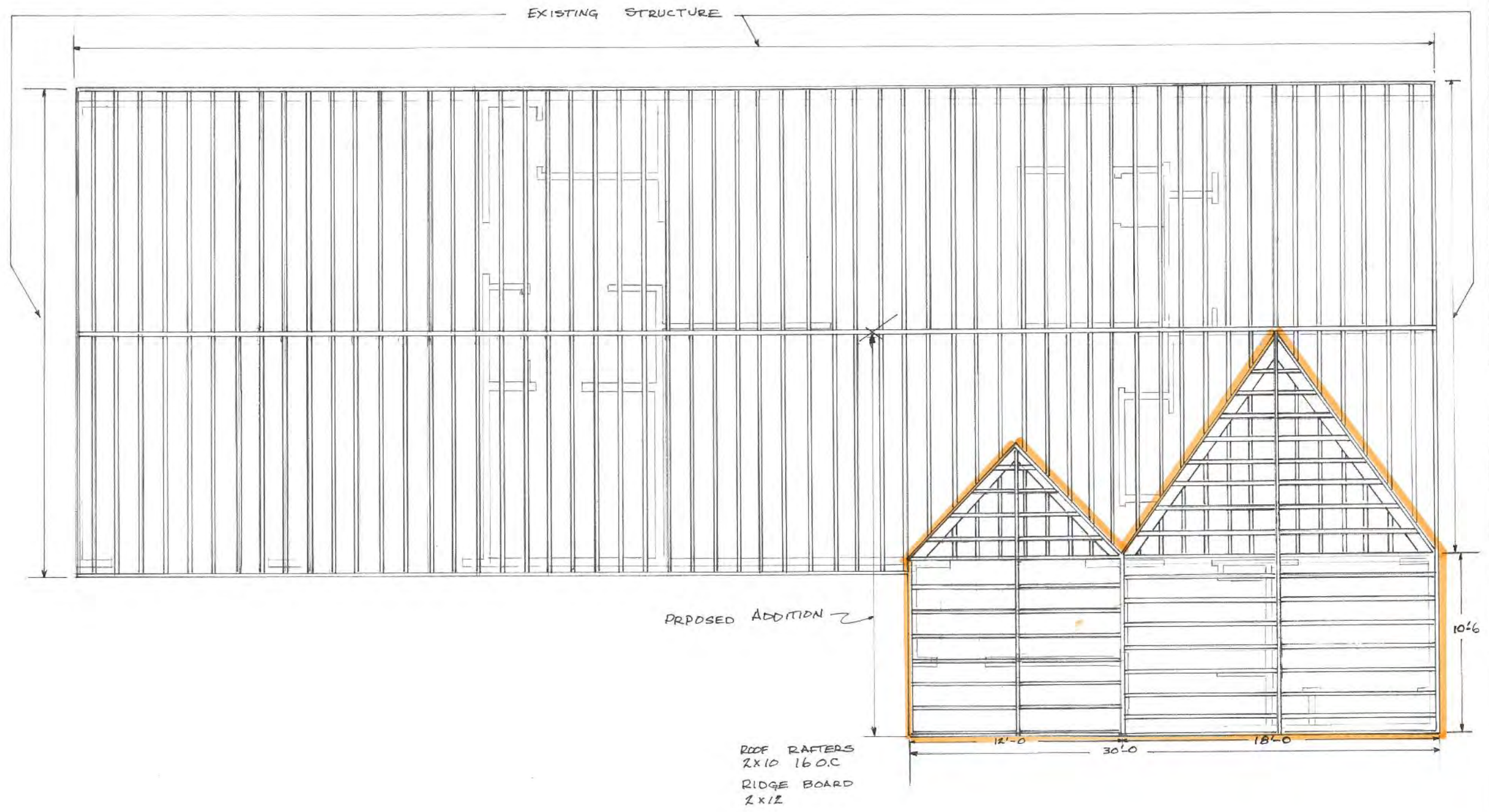


FOUNDATION DETAIL FOR ADDITION
 1"=1' SCALE NOT TO SCALE

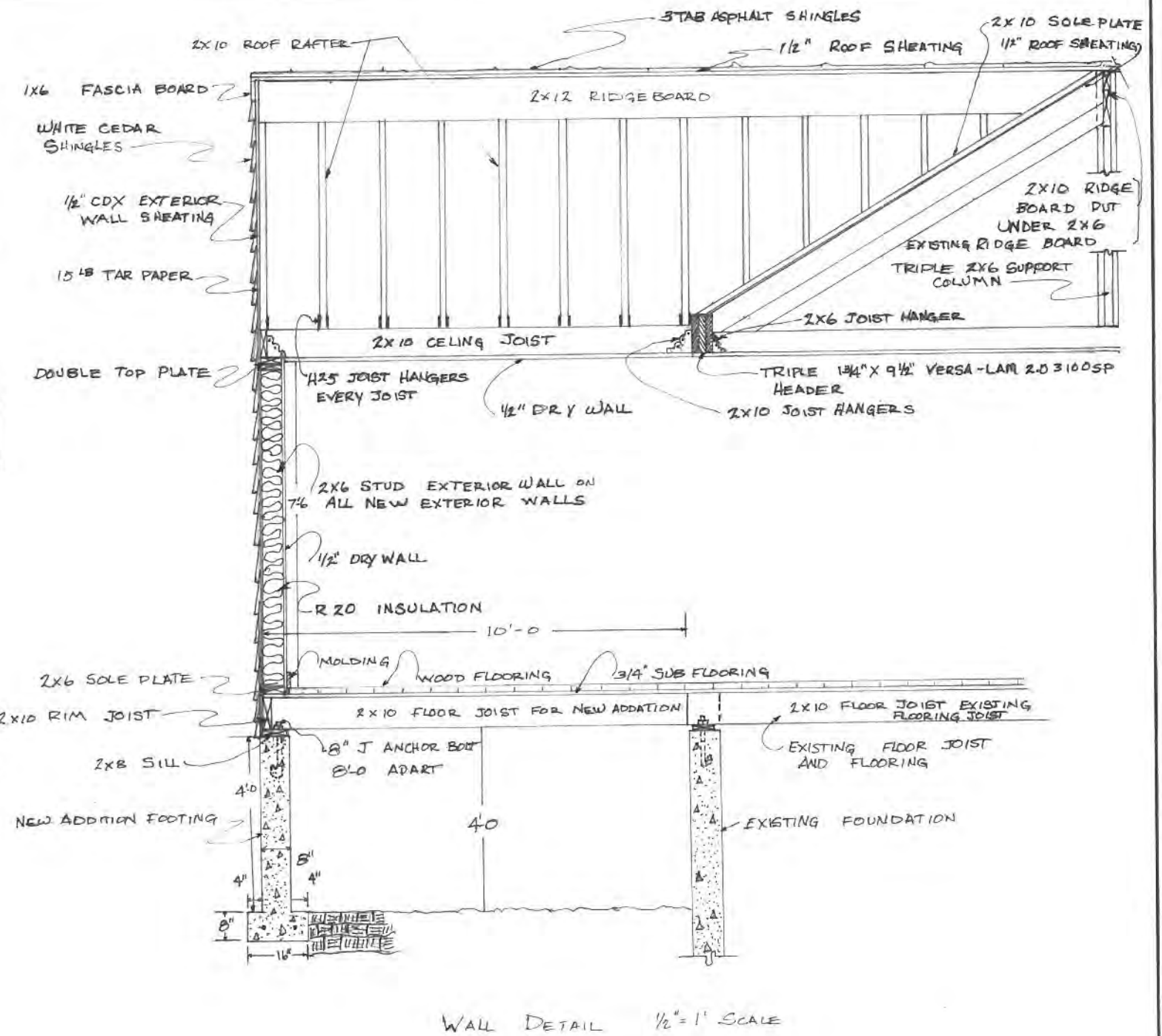
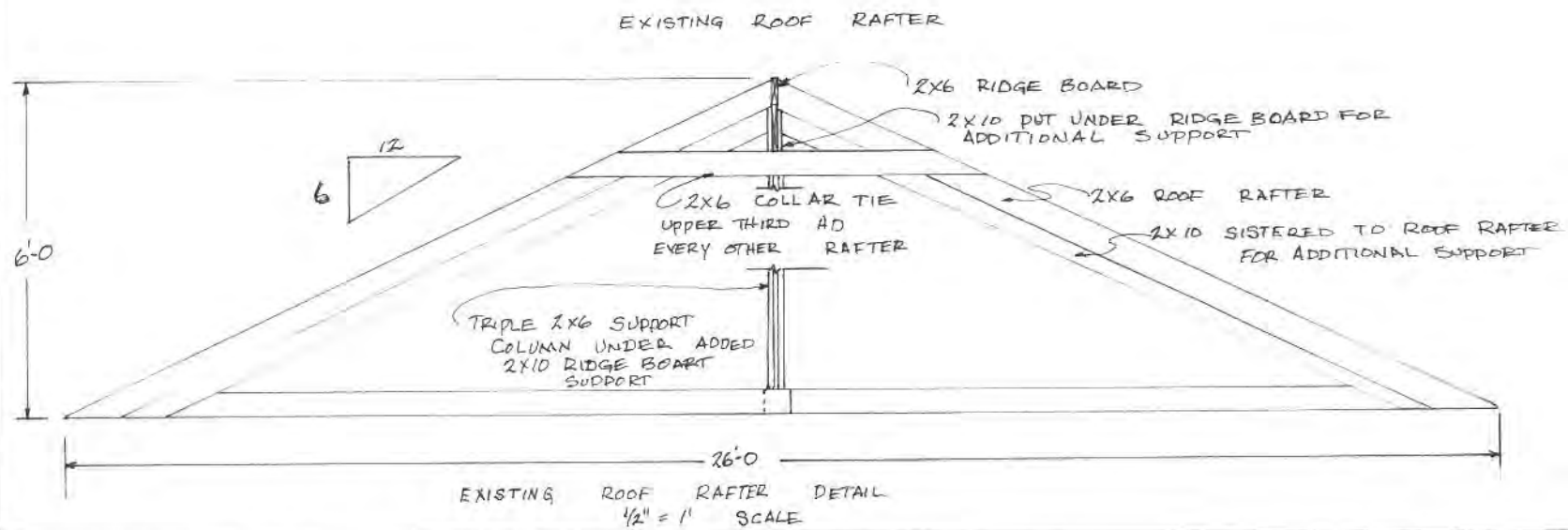
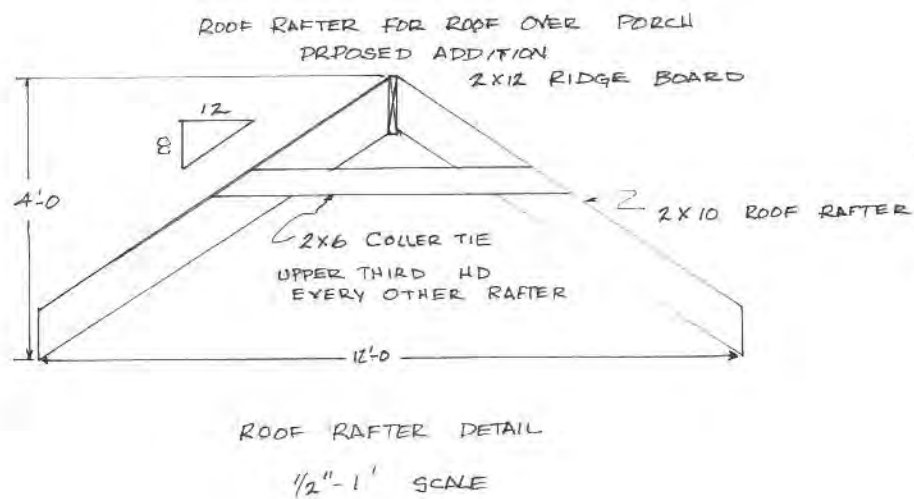
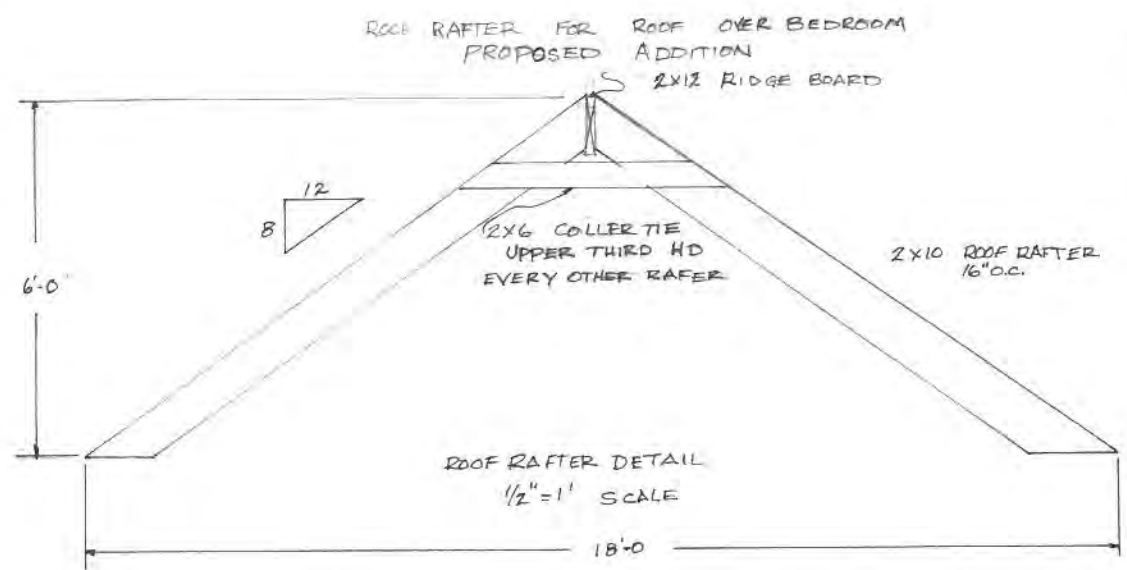


FLOORING JOIST PLAN
 SCALE 1/4"=1' NOT TO SCALE
 FLOOR JOISTS 2X10 16" O.C.
 FOR PROPOSED ADDITION
 AND EXISTING STRUCTURE
 PROPOSED PORCH FLOOR JOISTS
 2X8 PT 16" O.C.

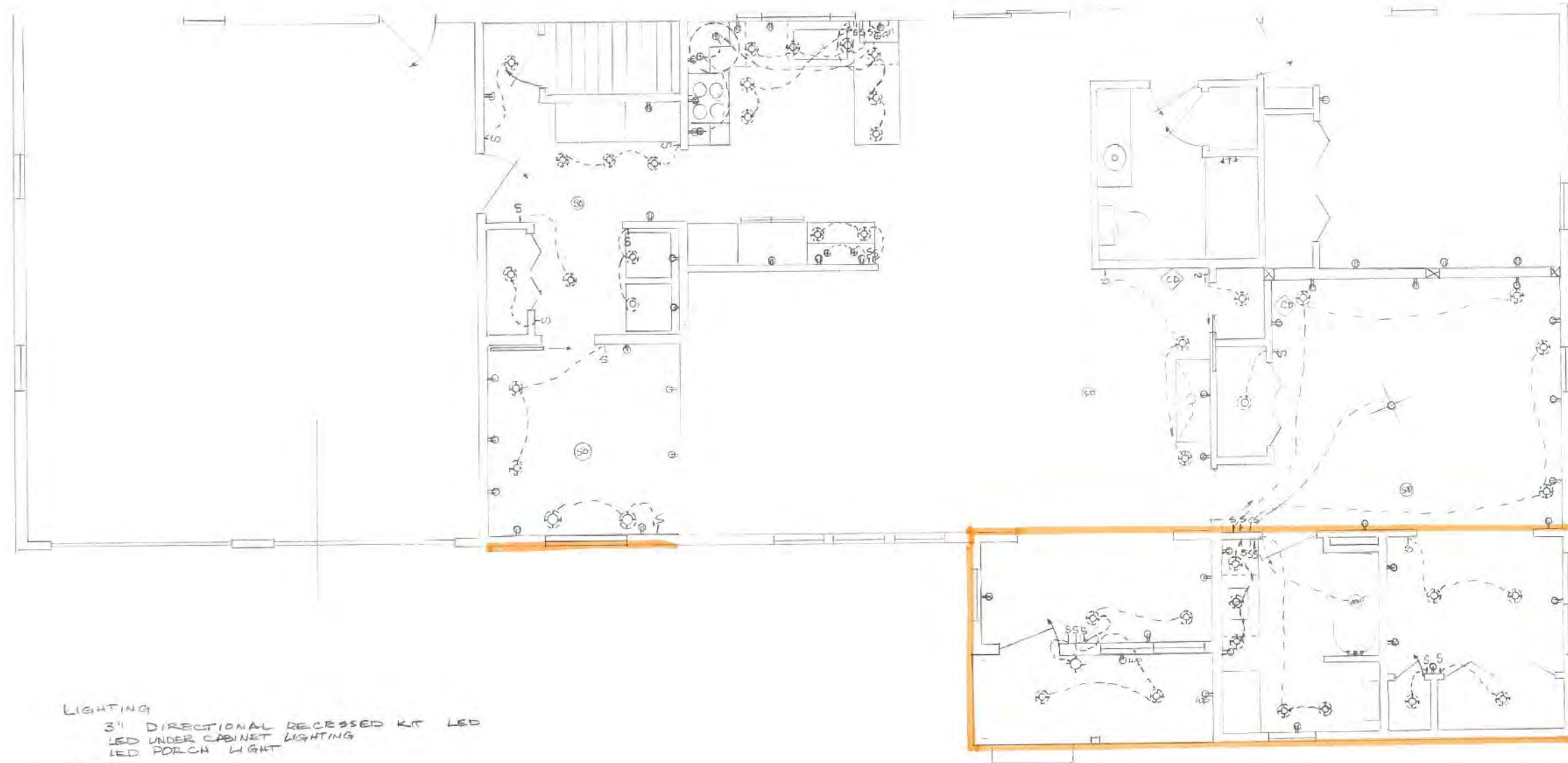
FLOORING PLAN		
SCALE 1/4"=1' AND 1/8"=1'	APPROVED BY	DRAWN BY CARL HATCH
DATE 6/21/20		REVISED
35 ACRE HILL RD. BARNSTABLE MA 02630		
CARL & NYKI HATCH		DRAWING NUMBER 6



ROOF RAFTER PLAN		
SCALE: 1/4" = 1'	APPROVED BY:	DRAWN BY: CARL HATCA
DATE: 6/21/20		REVISED:
35 ACRE HILL RD. BARNSTABLE MA 01930		
CARL & NYKI HATCA	DRAWING NUMBER: 7	



RAFTER AND WALL DETAIL		
SCALE: 1/2" = 1'	APPROVED BY:	DRAWN BY: CARL PATELLI
DATE: 6/21/20		REVISED:
35 ACRE HILL RD BARNSTABLE MA 02630		
CARL & NYKI HATCH		DRAWING NUMBER: B



LIGHTING

- 3" DIRECTIONAL RECESSED KIT LED
- LED UNDER CABINET LIGHTING
- LED PORCH LIGHT

PLUG

- WATER PROOF OUTDOOR PLUGS
- GFI WALL PLUGS
- DRIVER OUTLET
- WALL PLUGS

SWITCHES

- DECORATIVE SWITCH

BATHROOM VENT

- PANTECH FR-150-INUNE CENTRIFUGAL DUCT FAN 6"

FAN

- HUNTER CEILING FAN

SMOKE DETECTOR

- KIDDLE SMOKE AND CARBON MONOXIDE ALARM

CARBON MONOXIDE

- SINGLE STATION CARBON MONOXIDE ALARM

ELECTRICAL PLAN		
SCALE: 1/4" = 1'	APPROVED BY:	DRAWN BY CARL HATCH
DATE: 6/21/20		REVISED
35 ACRE HILL RD. BARNSTABLE MA 02630		
CARL & NYEL HATCH		DRAWING NUMBER 9



Barnstable Old Kings Highway Historic District Committee
 200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

- Check all categories that apply;*
- Building construction:** New Addition Alteration
 - Type of Building:** House Garage/barn Shed Commercial Other
 - Exterior Painting, roof:** new roof color/material change, of trim, siding, window, door
 - Sign:** New Sign Existing Sign Repainting Existing Sign
 - Structure:** Fence Wall Flagpole Retaining wall Tennis court Other
 - Pool:** Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 7/2/20

NOTE: All applications must be signed by the current owner

Owner (print): Kim HUDSON Telephone #: (802) 535-1775
 Address of Proposed Work: 2235 Main St Village W. Barnstable Map Lot # 2235
 Mailing Address (if different): PO Box 246 Glover, VT 05839
 Owner's Signature: Kim Hudson (3 1/2" height)

Description of Proposed Work: Give particulars of work to be done: Install white wooden picket fence set back approx 60' from Rte. 6A a width of 54" across the South side yard. The entire property is full of Gardens and forest obscuring vision into the yard. The picket fence would also be between the house and garage. (See Below)

Agent or Contractor (print): _____ Telephone #: _____

Address: _____

Contractor/Agent' signature: _____

<i>For committee use only</i>	This Certificate is hereby APPROVED / DENIED
Date _____	Members signatures _____
Conditions of approval _____	

The middle + rear of yard install are 2 options: 1) Preference is welded wire 4' high. There is significant forest buffer between the proposed fence and Turkeyhawk Crossing + the two neighboring properties in the rear + North side. 2nd option (please see map key) is to use PVC Green welded wire in middle area with metal welded wire out back. Thank you for your Consideration.

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ___ other ___
Material: red cedar ___ white cedar ___ other ___ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify _____
Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood ___ other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style picket wooden material: wood Color: white 3 1/2' high

Retaining wall: Material: welded wire metal fencing 4' high
(Green PVC covered welded wire) 4' high

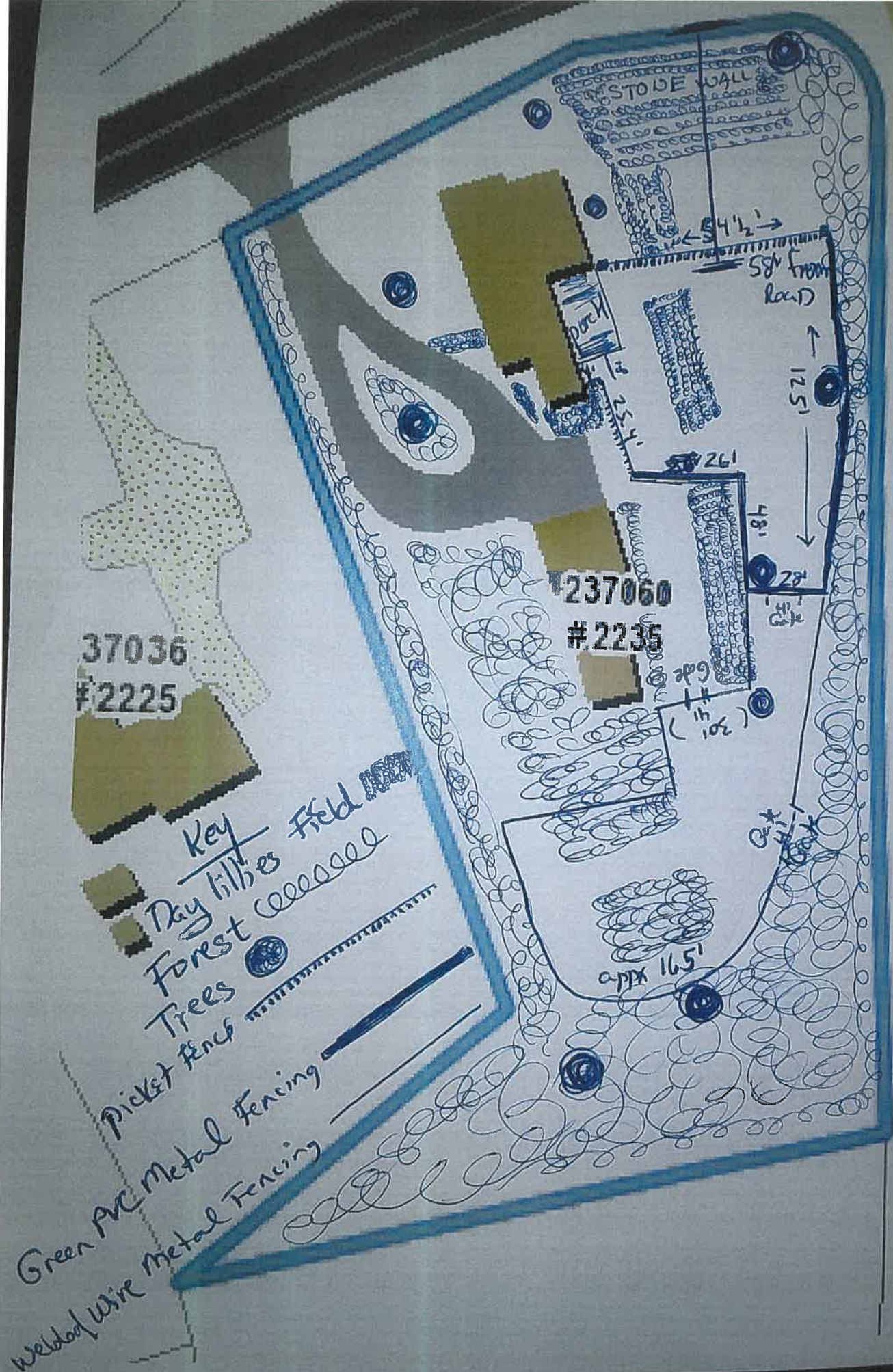
Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) KIA Print Name Kim Hudson

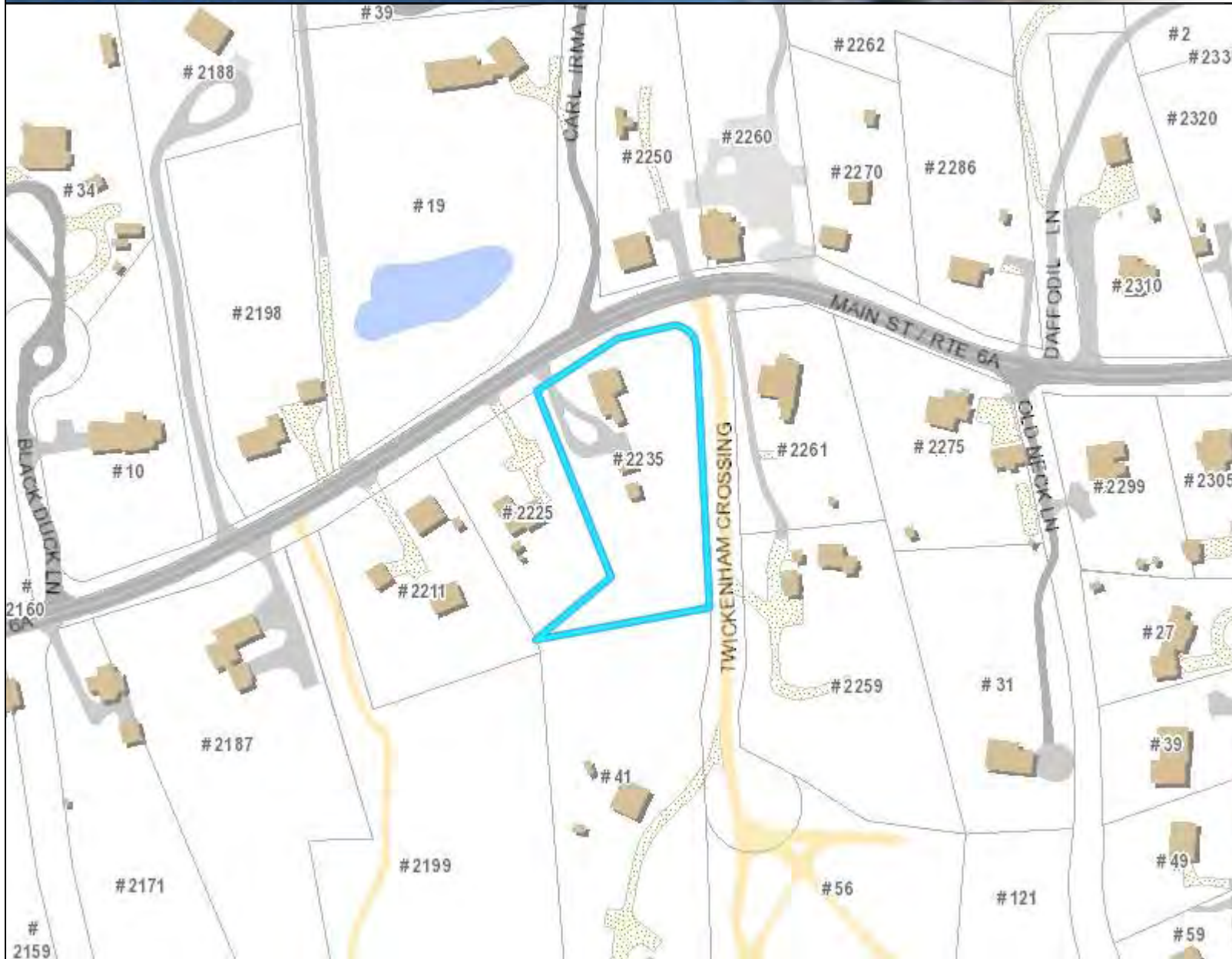


37036
#2225

#237060
#2235

Key
 Day lilies
 Field
 Forest
 Trees
 Picket fence
 Green PVC Metal Fencing
 Webbed wire metal Fencing

TWICKENHAM CROSSING

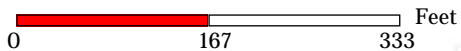


Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

139

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 167 feet



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Town of Barnstable GIS Unit

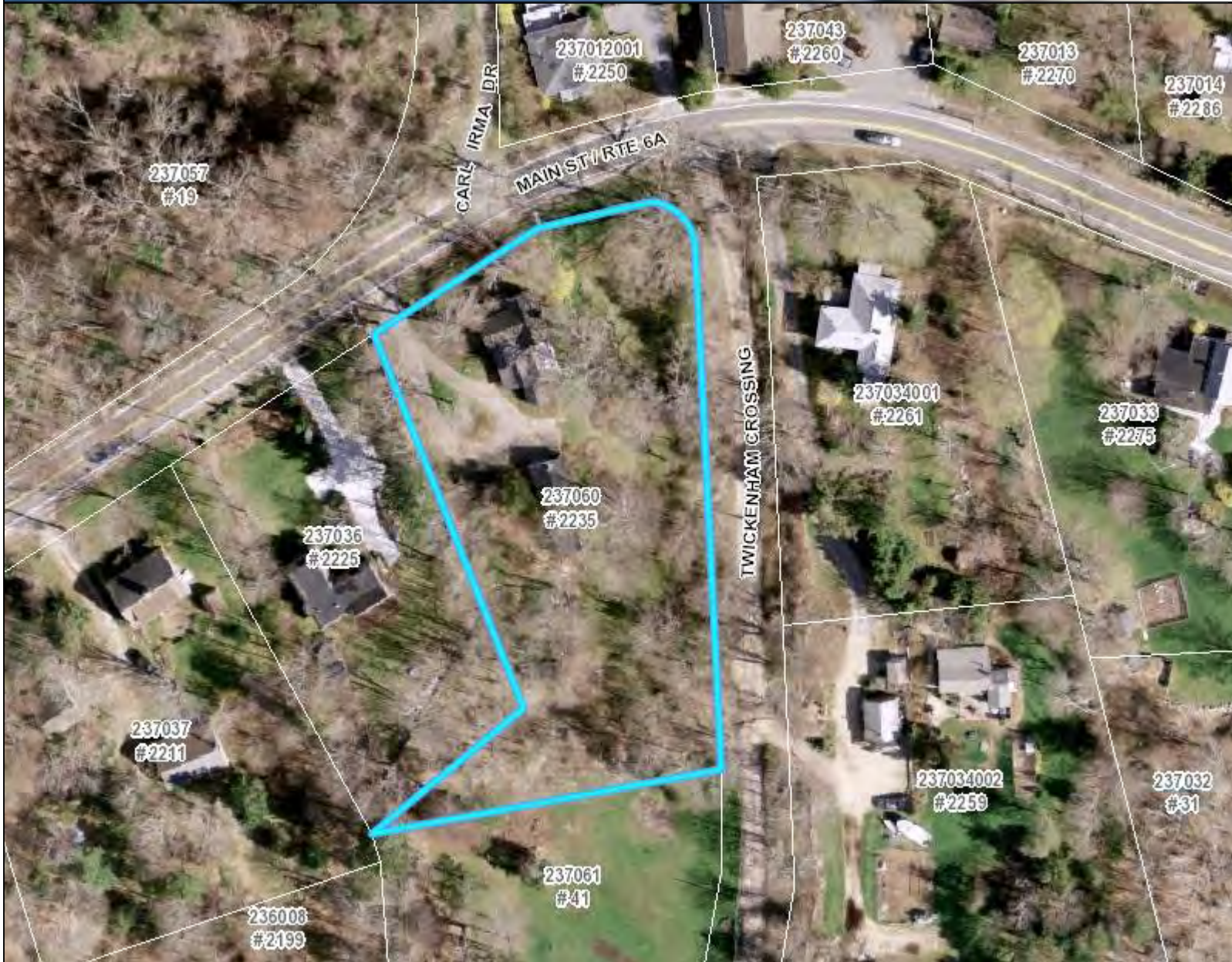
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

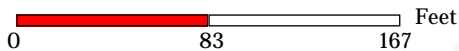
Legend

Road Names



140

Map printed on: 7/10/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 237060

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
237012001	MURPHY, ROBERT J & KAVANAGH, JUDITH L		2250 MAIN STREET		WEST BARNSTABLE	MA	02668
237034001	WILLIAMS, TIMOTHY C		P O BOX 523		WEST BARNSTABLE	MA	02668
237034002	OHLSON, ROBERT F &	HAMMOND-OHLSON, CHRISTINE	2261 B MAIN ST		WEST BARNSTABLE	MA	02668
237036	WUELLNER, LARRY D & SUSAN E		PO BOX 257		GROTON	MA	01450
237037	ORDWAY PROPERTIES LLC		102 EVERGREEN COURT		FRANKLIN LAKES	NJ	07417
237057	LEVESQUE, JEFFREY THOMAS &	JILL WESTERMAN, TRS	LEVESQUE REVOCABLE TRUST	PO BOX 65	WEST BARNSTABLE	MA	02668
237060	BARTLETT, WILSON R & PATRICIA A TRS	R S REALTY TRUST	PO BOX 656		WEST BARNSTABLE	MA	02668
237061	MELANSON, DANIEL E & OONA A		41 TWICKENHAM CROSSING		WEST BARNSTABLE	MA	02668

BARNSTABLE
TOWN CLERK

20 JUL 14 12:52



Town of Barnstable, Planning & Development Department
Old King's Highway Historic District Committee
200 Main Street, Hyannis, Massachusetts 02601
Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

CERTIFICATE OF EXEMPTION

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date 7/2/20 Address of Proposed work, Assessor's Map and lot # 299 56

House # 63 Street BRAGGS LN Village: Barnstable

This application is for an exemption of the proposed construction on the grounds that work:

Will not be visible from any way or public place

Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission

Other

Description of Proposed Work: in The Right rear corner
a 14x16 screen porch will be constructed.

Agent or contractor (please print): Aaron Strom Tel. no. 508-648-4355
Address 90 Deerfield Rd Mashpee ma. 02649
Owner (please print): Dan Burnham Tel no. 860-416-0515
Owners mailing address: 63 BRAGGS LN BARNSTABLE MA.
Signed, Owner/Contractor/Agent [Signature]

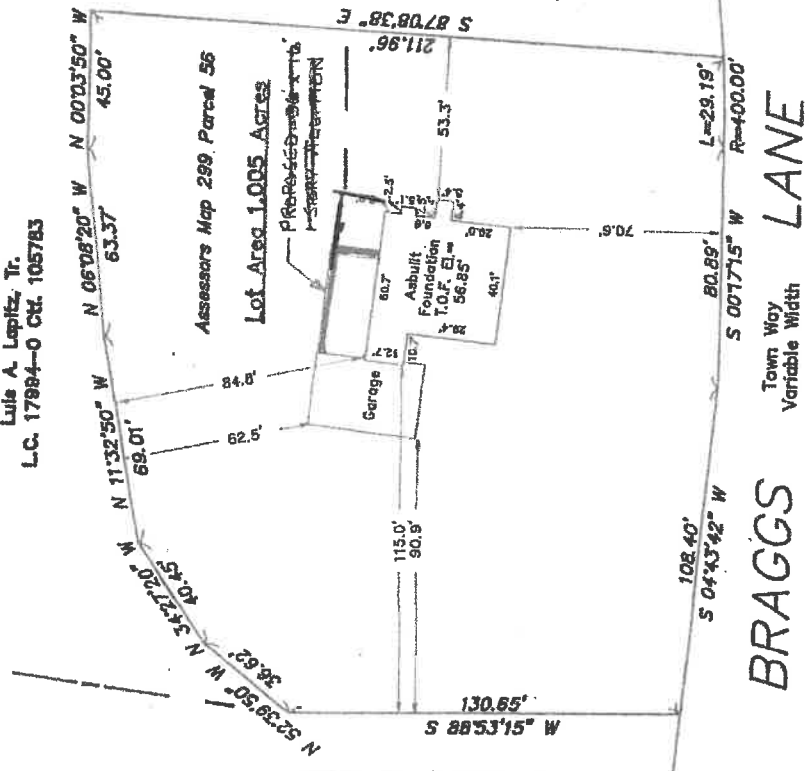
Checklist

- Four complete sets of the application and supporting documentation
- \$ _____ Filing Fee (see attached schedule)

For Committee Use Only	This Certificate is hereby APPROVED/DENIED Date: _____
	Committee Members Signatures: _____ _____
	Conditions of approval: _____

Zone RF-2
 Setback Requirements
 Front 30'
 Side 15'
 Rear 15'

Luis A. Lapitz, Tr.
 L.C. 17984-0 Ch. 105783



W. James & Mauron O'Neill
 Dead Book 2853 Page 304

REVISED 10/4/94 - ADD GARAGE

I HEREBY CERTIFY THAT THE LOT CORNERS, DIMENSIONS, AND SETBACKS TO THE FOUNDATION AS SHOWN ON THIS PLAN ARE CORRECT AND THAT THE FOUNDATION CONFORMS TO THE ZONING REGULATIONS.



9/16/94 + 10/4/94
 Professional Land Surveyor

Spalt Residence #63 Bragg's Lane In Barnstable, MA

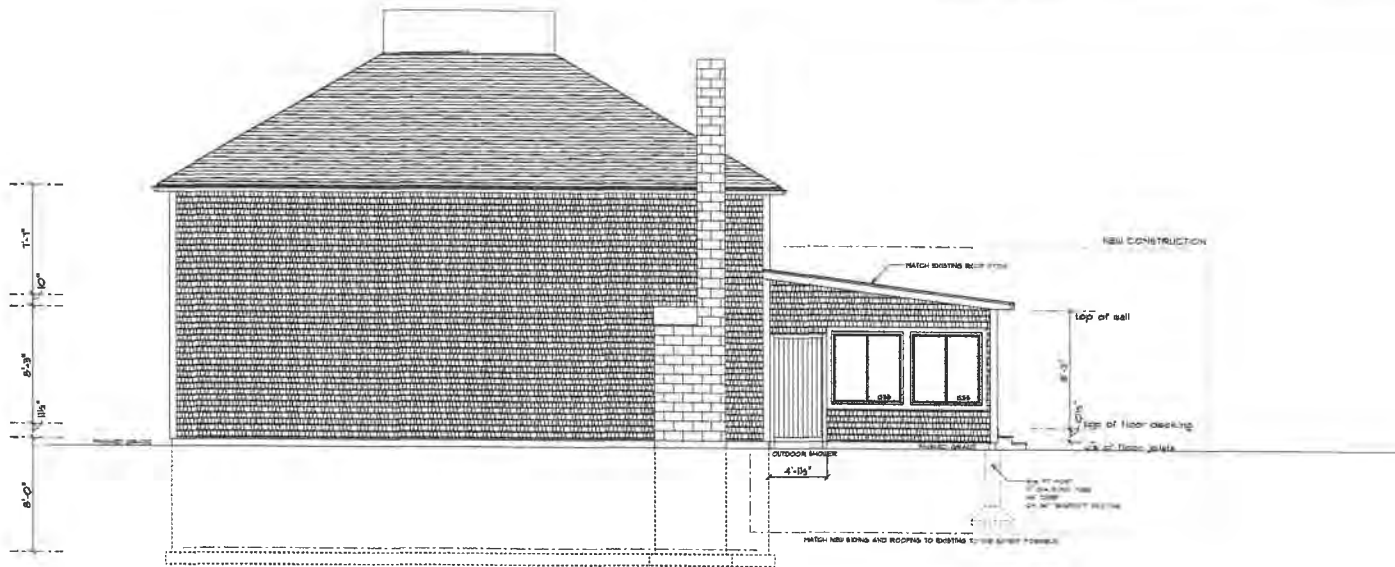
Prepared For:
Central Construction

911 Main Street
 Cotuit, MA
 02855

A. M. Wilson Associates Inc.
 308 428 1450 / FAX 420 1858

Scale: 1" = 40'
 0 40 80 100 FEET

Date: Sept. 14, 1994	Dwg No:
Field: J.V.B./K.T.A.	
Check: R.H.C.	
Drawn: J.V.B.	
Tab No: 2.0719.0	Sheet 1 of 1



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

DATE: June 24, 2020
SCALE: 1/4" = 1'-0" as indicated
DRAWN BY: DJP
REVIEWED:
APPROVED:

BURNHAM RESIDENCE
63 BRAGGS LN
BARNSTABLE, MA.

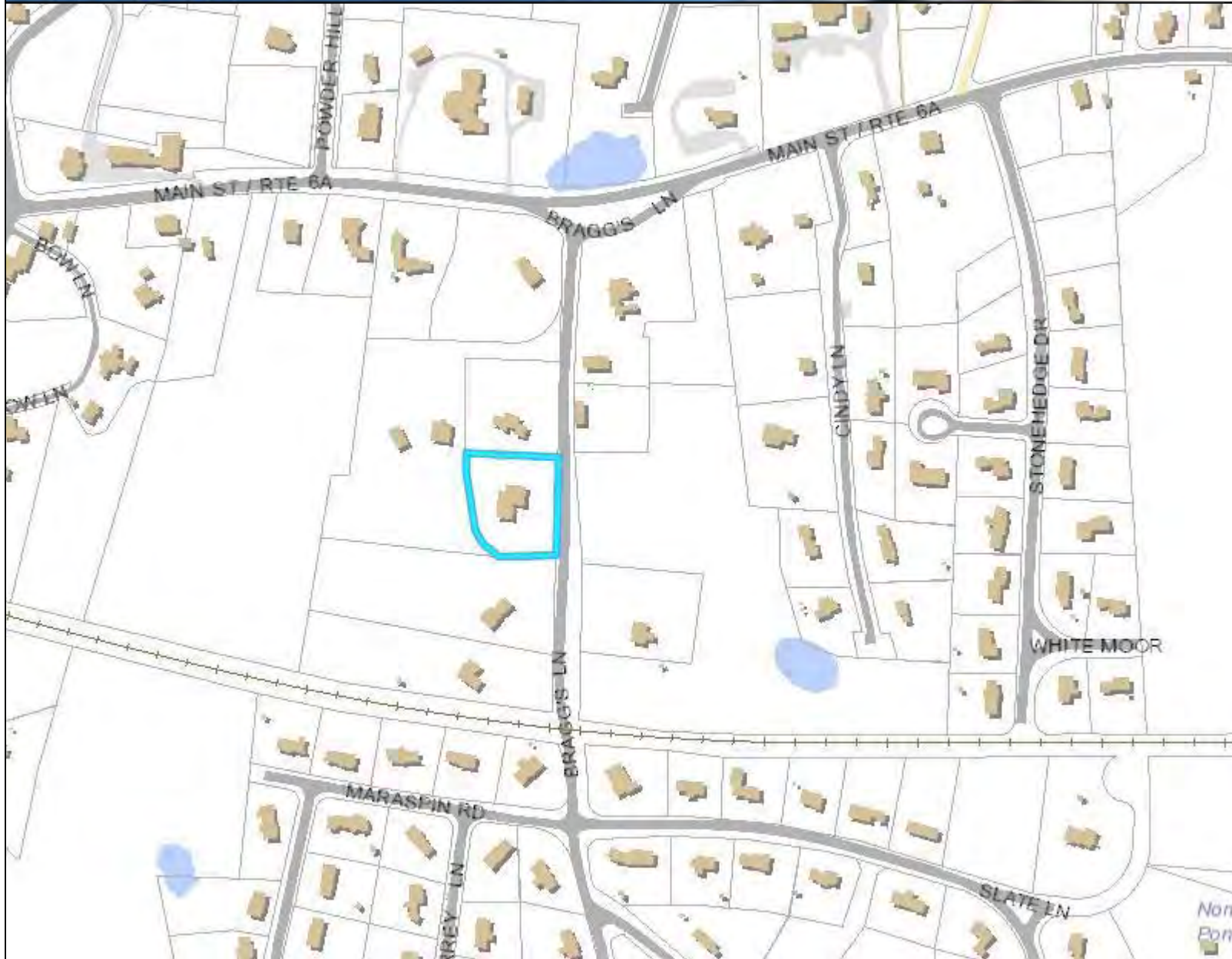


144



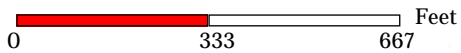
Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies



145

Map printed on: 7/13/2020



Approx. Scale: 1 inch = 333 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

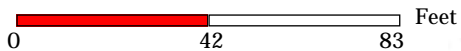
Legend

Road Names



146

Map printed on: 7/13/2020



Approx. Scale: 1 inch = 42 feet



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Google Maps 63 Braggs Ln



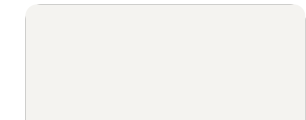
Image capture: Oct 2019 © 2020 Google

Barnstable, Massachusetts



Street View

147





Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

BARNSTABLE
TOWN CLERK

20 JUL 14 12:52

CERTIFICATE OF EXEMPTION

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date 7/9/20 Address of Proposed work, Assessor's Map and lot # 110 038

House # 111 Street Lothrop's Lane Village: W. Barnstable

This application is for an exemption of the proposed construction on the grounds that work:

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

Description of Proposed Work: Swimming pool + fence in back yard but will not be visual from street.

Agent or contractor (please print): Shoreline Pools, Inc Tel. no. 508-889-9029 (Chris)

Address 32 American Way S Dennis MA 02660

Owner (please print): Michael Leibowitz Tel no. _____

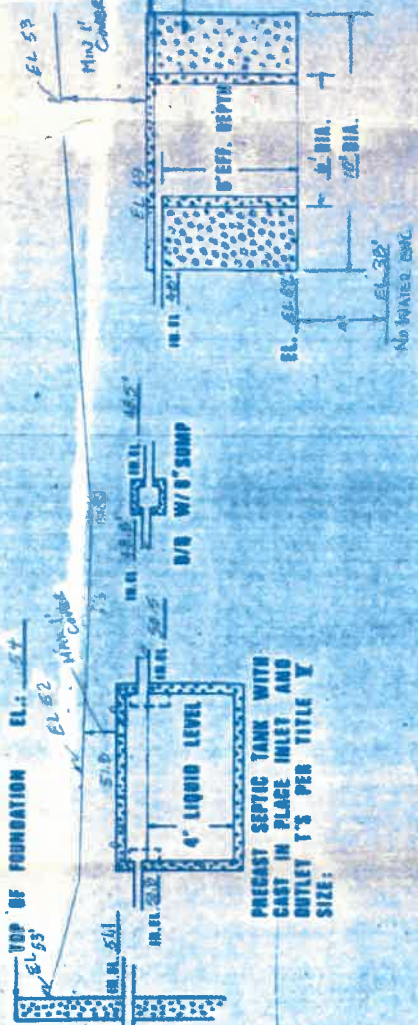
Owners mailing address: 111 Lothrop's Lane, W. Barnstable

Signed, Owner/Contractor/Agent [Signature] 508-889-9029

- Checklist
- ~~Four~~ ² complete sets of the application and supporting documentation
 - \$ _____ Filing Fee (see attached schedule)

<p>For Committee Use Only</p> <div style="border: 1px solid black; height: 100px; width: 100%;"></div>	<p>This Certificate is hereby APPROVED/DENIED Date: _____</p> <p>Committee Members Signatures: _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval: _____</p>
---	---

SITE PLAN



PROFILE OF PROPOSED SEWAGE SYSTEM

SYSTEM DESIGNED BY THE TOWN OF BARNSTABLE REGULATIONS AND STATE TITLE Y FOR SUBSURFACE DISPOSAL OF SEWAGE.

N.B.

- ALL PIPES SHALL BE SCHEDULE 40 P.V.C. SEWER PIPE
- ALL PIPES SHALL BE SLOPED 1/4" PER FOOT EXCEPT FOR THE FIRST 2 FEET OUT OF THE D/B WHICH SHALL BE LEVEL
- DESIGN FLOW 4 ROOMS AT 110 GALLON PER OR. 440 GALLON/DAY
- SEPTIC TANK SIZE 4.50 X 15 = 662 GAL. USE 1500 GAL. W/OUT BARBARA DISPOSAL LEACHING SYSTEM; USE 2) PRECAST LEACHING PITS W/ 20 FT SPACING

EFFECTIVE AREA: $20 \times 10 = 200 \text{ SQ. FT.}$
 BOTTOM $20 \times 10 = 200 \text{ SQ. FT.}$
 TOTAL FLOW $5 \times 110 = 550 \text{ GPD}$
 TOTAL REQ'D FLOW $440 \times 1.10 = 484$ WITH BARBARA DISPOSAL
 RESERVE FLOW $1000 - 484 = 516 \text{ GPD/DAY}$ IN RESERVE

REFERENCE PLANS:

PROPERTY OWNER: Vickie Hawley

APPROVED BY: BOARD OF HEALTH
 DATE:

NOTE: WELL IS BEING IN ACCORDANCE WITH WASTEWATER FLOW



SITE AND SEWAGE PLAN

FOR: VICKIE HAWLEY
 RESIDON SINGLE FAMILY DWELLING
 LOT 15 BURSLEY PATH
 DATE: OCT 22, 1987
 WITH 20' LEACHING PITS W/ 20' SPACING



SOIL LOG	NO. 1	EL.	NO. 2
0		56	
1		54	
2		52	
3		50	
4		48	
5		46	
6		44	
7		42	
8		40	
9		38	
10		36	
11		34	
12		32	
13		30	
14		28	
15		26	
16		24	
17		22	
18		20	
19		18	

PERC TEST RESULTS: < 2%
 PERC RATE: < 2%
 WITNESSED BY: MR. J. H. K. S. W.
 DATE: 10/22/87

Alexis Stevens

From:
Sent:
To:

Chris Dittich <chris@shorelinepoolslinc.com>
Thursday, July 9, 2020 10:12 AM
Alexis Stevens





Chris Dittrich
Shoreline Pools Inc.
Chris@shorelinepoolsinc.com
32 American Way
South Dennis, MA 02660
Phone: 508-432-3445
Fax: 508-432-0110







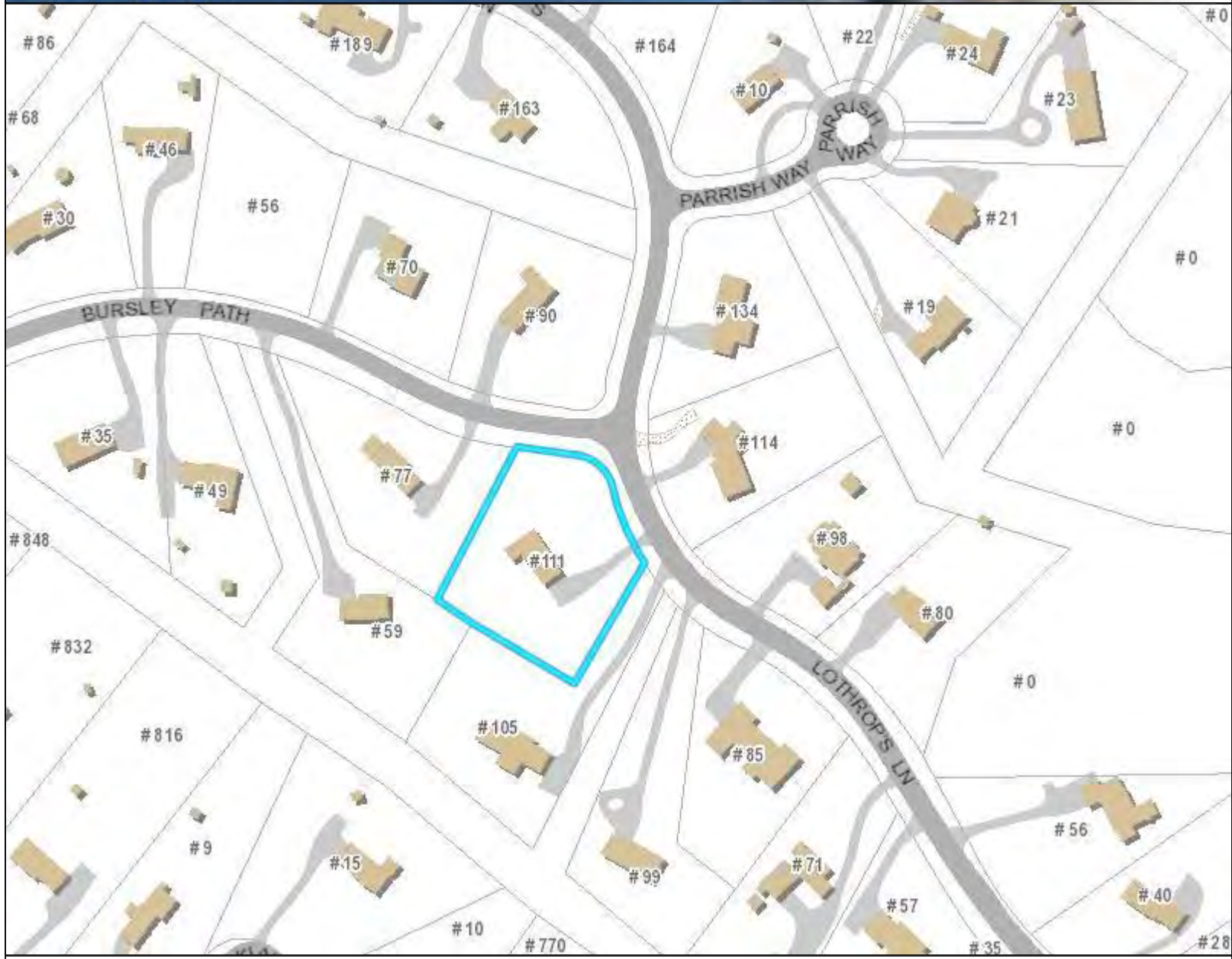










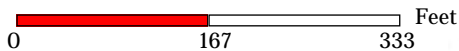


Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

160

Map printed on: 7/15/2020



Approx. Scale: 1 inch = 167 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



161

Map printed on: 7/15/2020



Approx. Scale: 1 inch = 42 feet



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