Barnstable Historical Commission May 19, 2020 Meeting Application Materials
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GAVIN AND SULLIVAN ARCHITECTS, INC.
128 WARREN STREET (REAR)
LOWELL, MA. 01852
TEL: 978-452-3061
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PROPOSED ALTERATION / RENOVATION FOR:

10 HYANNIS AVENUE

10 HYANNIS AVENUE
HYANNIS PORT, MA

OWNER:
HYANNIS ROTARY, LLC
500 CLARK ROAD
TEWKSBURY, MA 01876

DESIGN BY:

GAVIN AND SULLIVAN ARCHITECTS, INC.
128 WARREN STREET (REAR)
LOWELL, MA. 01852
FEBRUARY 21, 2020

G.B. HOLBROOK HOUSE
WATER TOWER

GENERAL REQUIREMENTS:

A) THE CONTRACTOR SHALL REFER TO ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE TYPE AND EXTENT OF WORK PERFORMED.

SCOPE OF WORK

A)CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT AND APPLIANCES REQUIRED TO PERFORM ALL SELECTIVE DEMOLITION, REMOVAL AND RELATED WORK NECESSARY FOR THE PROPER COMPLETION OF THE OPERATION AS REQUIRED BY THE CONTRACT DOCUMENTS.
B)THE DRAWINGS INDICATE THE EXTENT OF WORK AND THE CONSTRUCTION ELEMENTS TO BE REMOVED. HOWEVER, THE CONTRACTOR SHALL MAKE AN INDEPENDENT EXAMINATION OF THE EXTENT OF THE WORK TO BE PERFORMED SO AS TO PROPERLY PREPARE THE AREA FOR THE WORK OF OTHER TRADES TO FOLLOW.

QUALITY ASSURANCE
A) THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE ESTABLISH THE MINIMUM ACCEPTABLE QUALITY OF WORKMANSHIP AND MATERIALS, AND ALL WORK SHALL CONFORM THERETO UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED ON CONTRACT DOCUMENTS.

EXECUTION

O.S.H.A. REGULATIONS

A)THE CONTRACTOR PER DRAWINGS SHALL BE RESPONSIBLE FOR THE SUPERVISION OF HIS PERSONNEL AND THE INSPECTION OF EQUIPMENT AND APPLIANCES PROVIDED BY HIM TO ENSURE A SAFE WORKING ENVIRONMENT IN COMPLIANCE WITH O.S.H.A. REGULATIONS. IN ADDITION, THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ARCHITECT, IN WRITING, ANY POSSIBLE VIOLATION OF SAID O.S.H.A. REGULATIONS OBSERVED IN AREAS OCCUPIED BY HIS PERSONNEL. FAILURE TO NOTIFY THE ARCHITECT SHALL CONSTITUTE THE CONTRACTOR'S ACCEPTANCE OF THE WORK CONDITIONS AND THE RESPONSIBILITY THEREFOR.

NOTICES

A)BEFORE STARTING DEMOLITION, THE CONTRACTOR SHALL NOTIFY ALL CORPORATION, COMPANIES, INDIVIDUALS OR LOCAL AUTHORITIES OWNING CONDUITS, WIRES OR PIPES TO, THROUGH OR ACROSS THE WORK AREAS WHERE CONSTRUCTION TO BE DEMOLISHED IS LOCATED. IN ADDITION, THE CONTRACTOR SHALL ARRANGE TO HAVE ALL SERVICES, SUCH AS WATER GAS, STEAM, ELECTRICITY, LOW TENSION SERVICE, TELEPHONE, AND TELEGRAPH DISCONNECTED AT THE SERVICE MAINS OR OTHER APPLICABLE LOCATIONS IN ACCORDANCE WITH THE RULES AND REGULATIONS GOVERNING THE UTILITY INVOLVED. ALL INACTIVE WIRES, ELECTRIC SERVICES, DROPS AND CONNECTIONS SHALL BE REMOVED.

GENERAL PROTECTION

A)THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL FENCING, PLANKING, BRIDGES, BRACING, SHORING SHEETING, LIGHTS, BARRICADES, WARNING SIGNS AND GUARDS AND OTHER DEVICES AS NECESSARY FOR THE PROTECTION OF THE GENERAL PUBLIC, ABUTTERS AND CONSTRUCTION PERSONNEL.

B) THE CONTRACTOR SHALL COMPLETELY REMOVE ALL PROTECTION WHEN THE WORK IS COMPLETED OR WHEN ORDERED IN WRITING TO DO SO BY THE ARCHITECT.

C)ALL UNUSED EQUIPMENT OR MATERIALS IN OR AROUND THE BUILDING NOT OTHERWISE INDICATED TO REMAIN OR BE SALVAGED SHALL BE REMOVED IN ITS ENTIRETY AND LAWFULLY DISPOSED OF UNDER THE WORK OF THIS CONTRACT DOCUMENTS.

DEMOLITION

A) THE ITEMS TO BE DEMOLISHED SHALL BE REMOVED IN THEIR ENTIRETY EXCEPT AS OTHERWISE NOTED ON THE DRAWINGS.

B)THE CONTRACTOR SHALL COMPLETELY REMOVE FROM THE PROJECT AREA ALL DEMOLISHED MATERIALS, AND SHALL LAWFULLY DISPOSE OF THE SAME OFF THE SITE. NO BURNING WILL BE PERMITTED ON THE PROJECT SITE.

UTILITIES

A)BEFORE STARTING DEMOLITION THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS AND FOR PERFORMING ANY NECESSARY WORK INVOLVED IN CONNECTION WITH THE DISCONTINUANCE OR INTERRUPTION OF ALL PUBLIC AND PRIVATE UTILITIES OR SERVICES INCLUDING ANY SYSTEM WHICH WILL BE AFFECTED BY THE WORK TO BE PERFORMED UNDER THIS CONTRACT.

EXTENT OF REMOVALS

A)EXCEPT AS OTHERWISE NOTED OR INDICATED ON THE DRAWINGS, ALL DEMOLITION AND REMOVALS SHALL BE COMPLETE TO THE EXTENT THAT REAS ARQ·P·E READY FOR NEW CONSTRUCTION UNDER OTHER SECTIONS OF THE DRAWINGS.

CLEANING

A)ALL WORK ADJACENT TO OPERATIONS UNDER THIS CONTRACT DOCUMENT SHALL BE INSPECTED FOR DAMAGE AND STAINS, AND REPAIR OR CLEANED PRIOR TO THE COMPLETION OF THE WORK.

CLEANUP

A)DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISE CLEAN OF DEBRIS RESULTING FROM HIS OPERATIONS AND SHALL REMOVE SURPLUS AND WASTE MATERIALS FROM THE SITE AS SOON AS POSSIBLE.

B)UPON COMPLETION OF THE WORK, THE SUBCONTRACTOR SHALL REMOVE FROM THE SITE ALL SCAFFOLDING, EQUIPMENT AND MATERIALS USED ON THE WORK AS WELL AS ANY DEBRIS RESULTING FROM THE OPERATIONS.

1 OSHA NOTES
3/16" = 1'-0"

LIST OF ABBREVIATIONS

BM	BEAM	MECH	MECHANICAL
B.O.	BOTTOM OF	MEZZ	MEZZANINE
C.L.	CENTER LINE	MFG	MANUFACTURED
CLG	CEILING	M.O.	MASONRY OPENING
CLR	CLEAR	MISC	MISCELLANEOUS
COL	COLUMN	MOD	MODIFICATION
CONC	CONCRETE	MTL	METAL
DIA	DIAMETER	N.I.C.	NOT IN CONTRACT
DBL	DOUBLE	NTS	NOT TO SCALE
DS	DOWNSPOUT	O.C.	ON CENTER
DWG	DRAWING	OD	OUTSIDE DIAMETER
EA.	EACH	OPNG	OPENING
ELEC	ELECTRIC	OPP	OPPOSITE
EL.	ELEVATION	RD.	ROUND
EQ.	EQUAL	REQD	REQUIRED
EXP	EXPANSION	REINF	REINFORCED
FAB	FABRICATE	RM	ROOM
FIN	FINISH	R.O.	ROUGH OPENING
F.O.S.	FACE OF STUD	SHT.	SHEET
FLR	FLOOR	SCH	SCHEDULE
FTG	FOOTING	SECT	SECTION
GALV	GALVANIZED	SQ.	SQUARE
GWBD	GYPSUM WALL BOARD	SPEC	SPECIFICATION
HDW	HARDWARE	STD	STANDARD
HOR.	HORIZONTAL	STL	STEEL
HGT	HEIGHT	STRUC.	STRUCTURAL
IN	INCH	SYS	SYSTEM
INSUL	INSULATION	TEL	TELEPHONE
INT	INTERIOR	TOPO	TOPOGRAPHY
ID	INSIDE DIAMETER	T.O.C.	TOP OF CONCRETE
KIT	KITCHEN	T.O.S.	TOP OF STEEL
LAM	LAMINATE	T.O.W.	TOP OF WALL
LAV	LAVATORY	THK	THICK
LDG	LANDING	T & G	TONGUE & GROOVE
LOC	LOCATION	TYP	TYPICAL
LTG	LIGHTING	UL	UNDERWRITER'S LABORATORIES, INC.
MAS	MASONRY	VOL	VOLUMN
MAX	MAXIMUM	WD	WOOD
MIN	MINIMUM	YD	YARD

DRAFTING SYMBOLS

FINISH FLOOR EL. X'-X" — ELEVATION
C — PARTITION TYPE
101 — ROOM I.D. NUMBER
A — WINDOW NUMBER
05 — DOOR NUMBER
1 A5 2 3 — INTERIOR ELEVATION
1 — REVSION NO.
A — KEY NOTE
2 A7 — WALL SECTION
2 A7 — SECTION DETAIL
B A10 / B A10 — BUILDING SECTION
1 A7 — DETAIL
B — EXTERIOR ELEVATION
EXISTING WALL
PROPOSED WALL
DEMOLISH WALL
DEMOLISH ITEM (CABINETRY)

LIST OF SYMBOLS (ARCHITECTURAL DRAWINGS)

PLAN & SECTION

ROOF SHINGLES
BRICK
SIDING
SHINGLE SIDING
CONCRETE
EARTH
STONE FILL
STEEL
CONCRETE BLOCK (C.M.U.)
WOOD GRAIN
ROUGH WOOD
PLYWOOD
INSULATION
RIGID INSULATION

GENERAL CONSTRUCTION NOTES

1. ALL MATERIALS, HARDWARE, APPLIANCES AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND THE LOCAL BUILDING CODE. PROVIDE ALL NECESSARY BLOCKING, NAILERS , MOULDINGS, ETC. IN ORDER TO MEET THE REQUIREMENTS OF THE INSTALLATION.

2. CONTRACTOR TO SEAL WITH APPROPRIATE CAULKING ALL LOCATIONS NECESSARY TO PREVENT PENETRATION OF MOISTURE AND AT TRANSITIONS OF SIMILAR MATERIALS.

3.CONTRACTOR'S RESPONSIBILITY TO PAINT ALL SURFACES WHICH REQUIRE PROTECTION FROM THE ELEMENTS WITH THE APPROPRIATE PAINT INCLUDING ALL NECESSARY PRIMER COATS AND BACK PRIMING.

4. INSTALL ALL NECESSARY FLASHINGS WHERE NECESSARY TO MAKE THE BUILDING WATER TIGHT.

5. CONTRACTOR TO VERIFY ALL DETAILS CONDITIONS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. IF A CONFLICT IS DISCOVERED, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY CONSTRUCTION PROBLEM OR DEFECT CAUSED BY PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFYING THE ARCHITECT OF CONFLICTS. THESE DRAWINGS ARE SCHEMATIC REPRESENTATIONS OF THE INTENDED CONSTRUCTION. DO NOT SCALE DRAWINGS, DIMENSIONS ARE TO GOVERN OVER SCALE

SPECIALTY CONSTRUCTION AND MILLWORK NOTES

1) ALL INTERIOR ELEVATIONS SHOWN IN DRAWING SET ARE FOR GRAPHIC REPRESENTATION TO SHOW DESIGN INTENT. SHOP DRAWINGS AND SUBMITTALS WILL BE REQUIRED FOR ALL MILLWORK.
2)SUPPLY AND INSTALL ALL MILLWORK AND SPECIALTY CONSTRUCTION AS SHOWN ON PLANS, ELEVATIONS, AND DETAILS.
3) ALL MATERIAL AND WORKMANSHIP SHALL MEET AWI (ARCHITECTURAL WOODWORK INSTITUTE) CUSTOM GRADE QUALITY STANDARD.
4) ALL DIMENSIONS SHALL BE VERIFIED BY THE FABRICATOR.
5) ALL KITCHEN BASE CABINETS TO BE 24" DEEP UNLESS NOTED OTHERWISE.
6) ALL WOOD FINISHING FORMULAS TO MEET AND COMPLY WITH STATE AND FEDERAL VOC INDOOR REQUIREMENTS.
7) CONSULT WITH OWNER TO MILLWORK AND FINISHES.
8) PROVIDE TOE KICKS IN KITCHEN CABINETS MILLWORK
9) SUPPLY AND INSTALL SHELF AND ROD IN CLOSETS.

APPLICABLE CODES:

(IRC) 2015 INTERNATIONAL RESIDENTIAL CODE (ONE AND TWO FAMILY)
MASSACHUSETTS AMENDMENTS 9TH EDITION
STRETCH CODE
(IECC) 2015 INTERNATIONAL ENERGY CONSERVATION CODE

R101.2 SCOPE:
SHALL APPLY TO THE CONSTRUCTION, ALTERATION, MOVEMENT, ENLARGEMENT, REPLACEMENT, REPAIR, EQUIPMENT, USE AND OCCUPANCY, LOCATION, REMOVAL AND DEMOLITION OF DETACHED ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSES.

MAXIMUM HEIGHT: THREE STORIES ABOVE GRADE PLANE

TYPE OF CONSTRUCTION: 5B WOOD CONSTRUCTION UNPROTECTED

THIS RESIDENTIAL STRUCTURE SHALL MEET ALL LOCAL ZONING CODES FOR OVERALL HEIGHT OF BUILDING ABOVE AVERAGE GRADE PLANE.

TABLE R402.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	CRAWL SPACE WALL R-VALUE
5A	0.32	0.55	NR	49	20 OR 13 +5h	13/17	30g	15/19	10, 2 FT	15/19

NOTES:
1. TABLE FROM 2015 INTERNATIONAL ENERGY CONSERVATION CODE COMMENTARY PERFORMANCE LEVEL FOR EACH OF THE INDIVIDUAL COMPONENTS.

For SI: 1 foot = 304.8 mm.
a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
e. There are no SHGC requirements in the Marine Zone.
f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
i. The second R-value applies when more than half the insulation is on the interior of the mass wall

2 TABLE R402.1.2 ENVELOPE REQUIREMENTS
1/8" = 1'-0"

Sheet List

Sheet Number	Sheet Name	Sheet Issue Date	Drawn By
A0.0	COVER SHEET	02-21-20	MW
A0.1	OSHA NOTES	02-21-20	MW
A8.0	TOWER - NORTH/SOUTH	02-21-20	MW
A8.1	TOWER - EAST/WEST	02-21-20	MW
A9.0	PLANS - OVERALL VIEW	02-21-20	MW
A10.0	SCHEDULES	02-21-20	MW
A11.0	BLDG. ENVELOPE DETAILS	02-21-20	MW
A11.1	BLDG. ENVELOPE DETAILS	02-21-20	MW

G.B. HOLBROOK HOUSE - TOWER

THE SOLE RESPONSIBILTY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HERS RATER.

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REVISIONS:

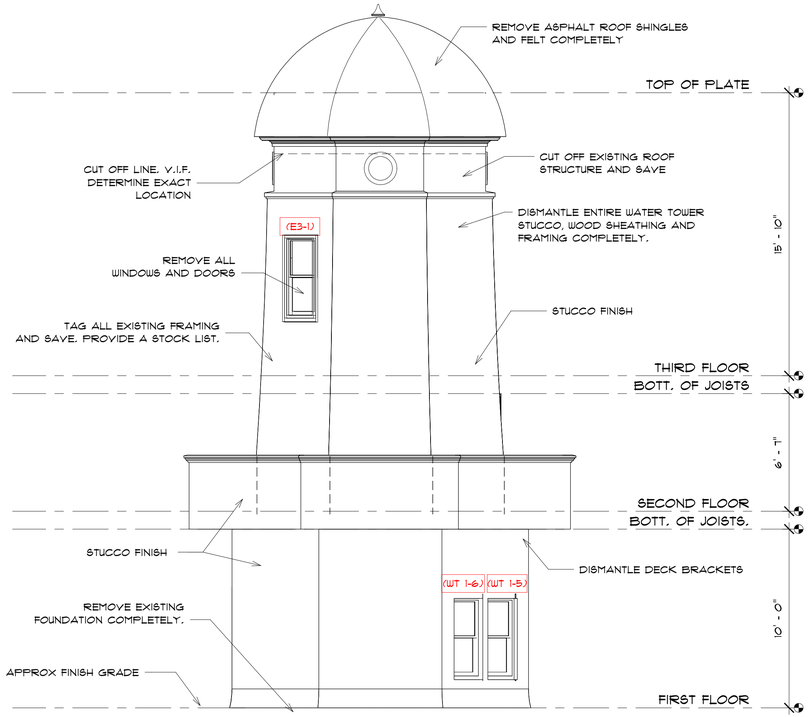
DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

OSHA NOTES

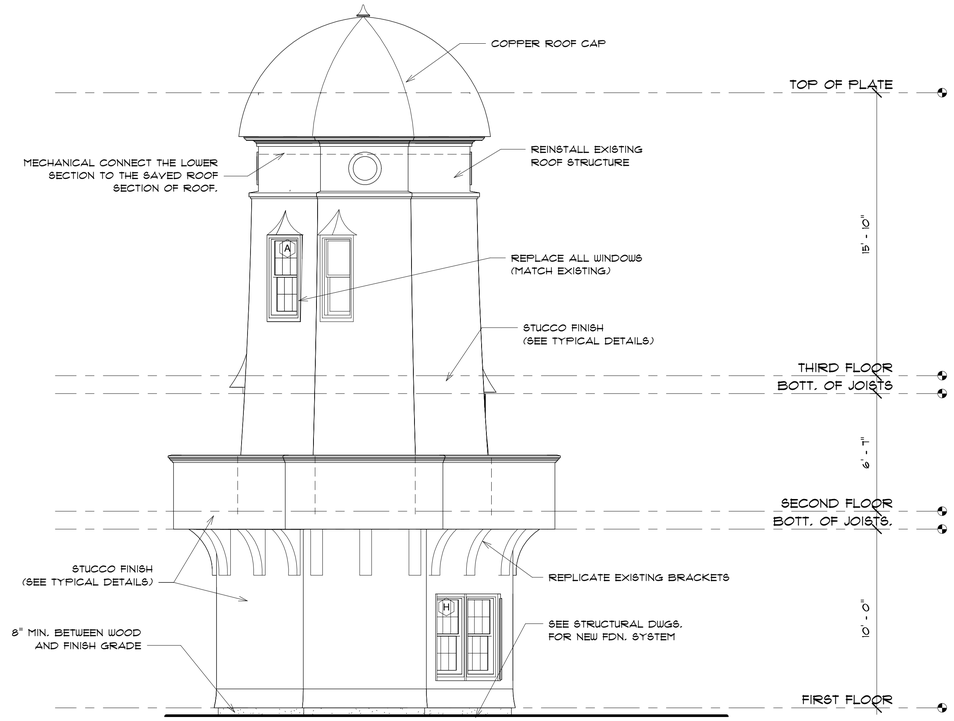
SCALE AS NOTED
DRAWN BY: MW
PROJECT: 18-137
DATE: 02-21-20

A0.1



1 NORTH ELEVATION - EXISTING

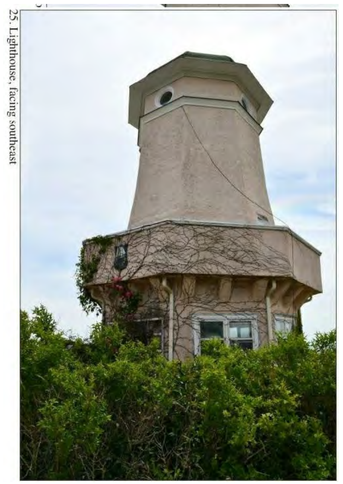
1/4" = 1'-0"



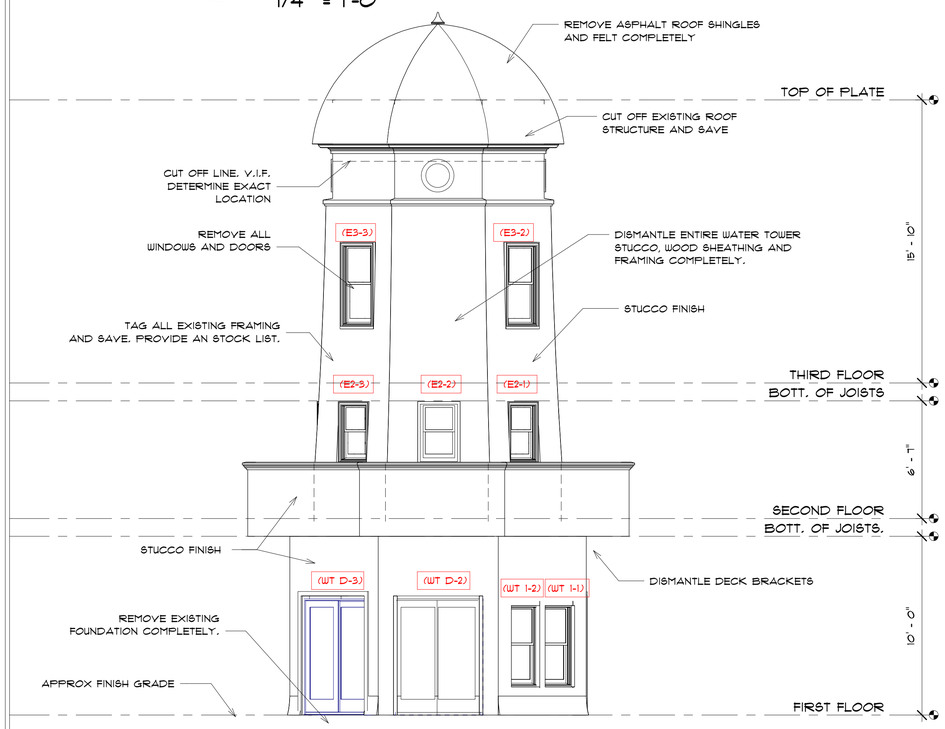
2 NORTH ELEVATION - PROPOSED

1/4" = 1'-0"

23. Lighthouse, facing northeast

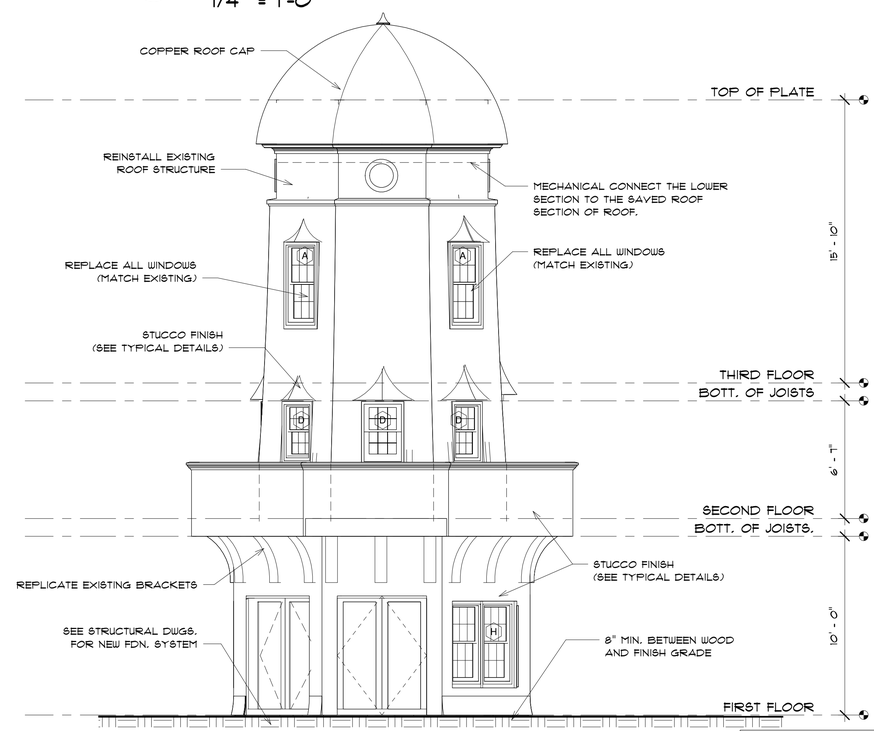


25. Lighthouse, facing southeast



3 SOUTH ELEVATION - EXISTING

1/4" = 1'-0"



4 SOUTH ELEVATION - PROPOSED

1/4" = 1'-0"

REVISIONS:

G.B. HOLBROOK HOUSE - TOWER

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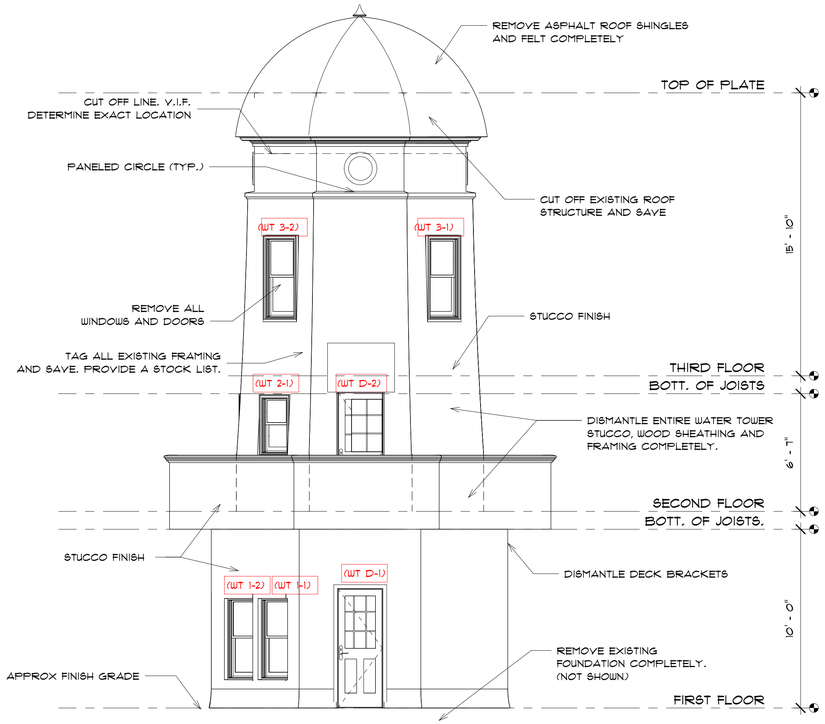
128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

TOWER - NORTH/SOUTH

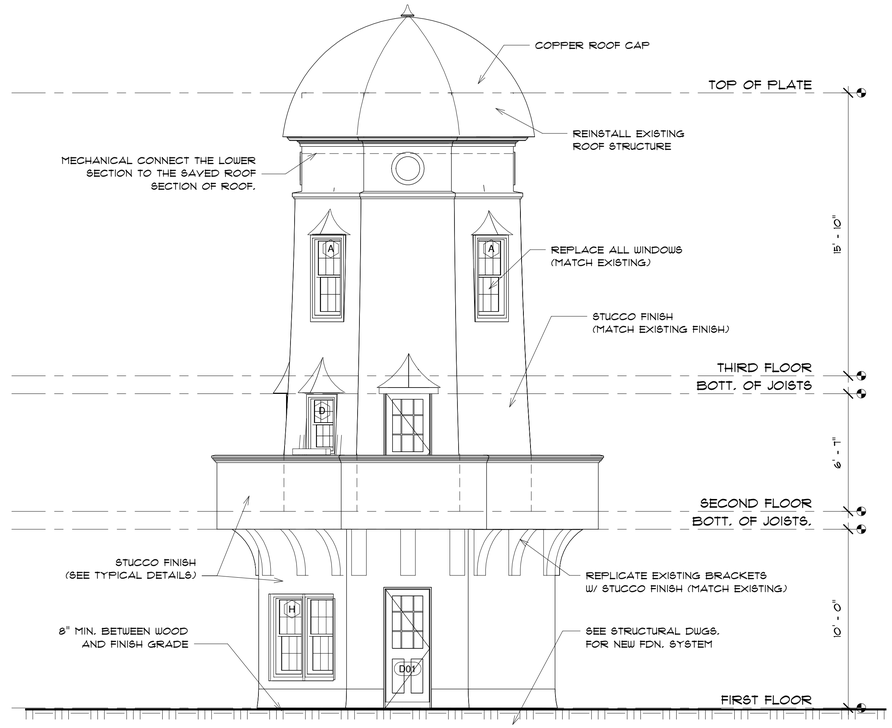
PROJECT: 18-137
DATE: 02-21-20
SCALE AS NOTED
DRAWN BY: MW

A8.0



1 EAST ELEVATION - EXISTING

1/4" = 1'-0"

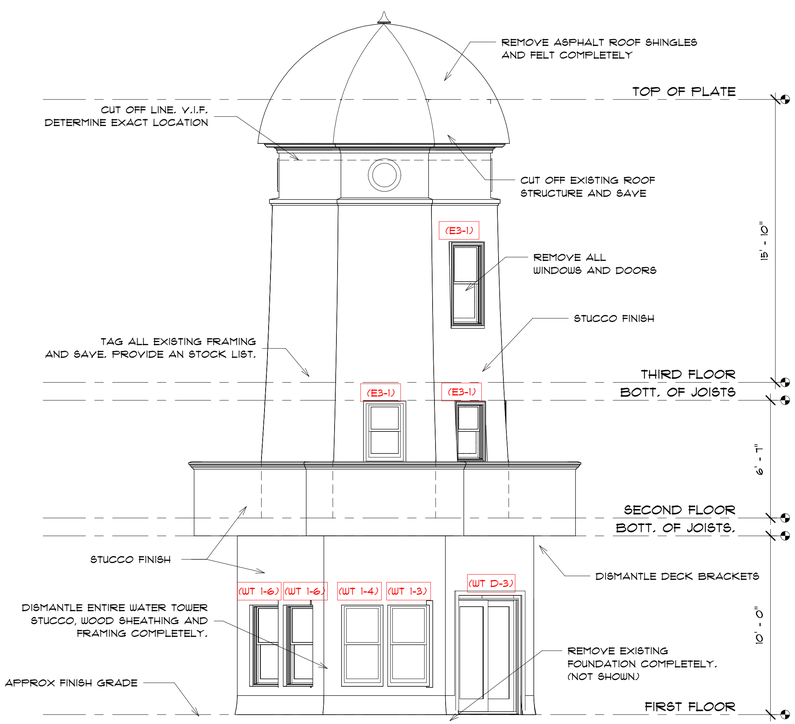


2 EAST ELEVATION - PROPOSED

1/4" = 1'-0"

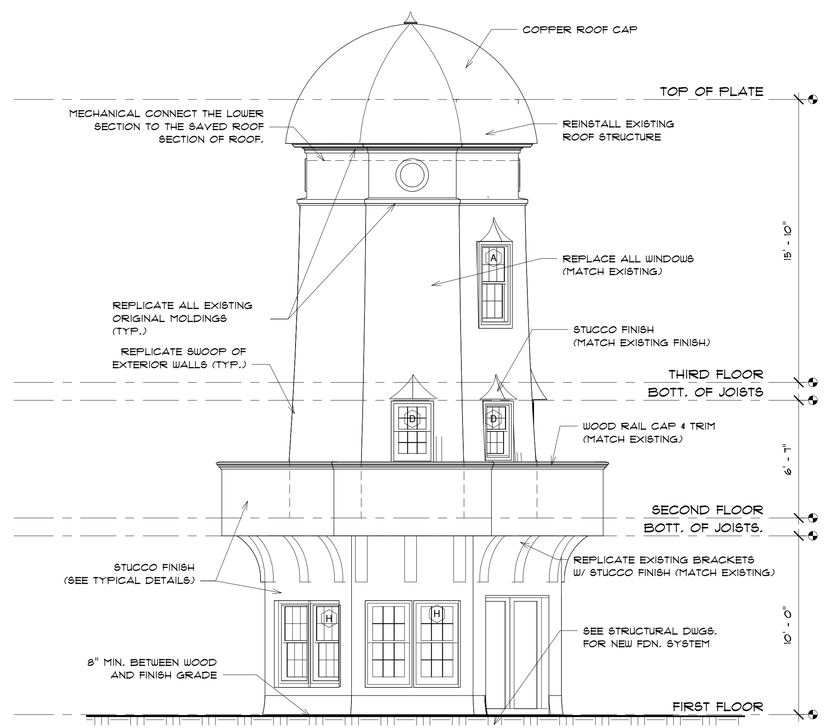
26. Lighthouse, facing southwest

22. Lighthouse, facing west



3 WEST ELEVATION - EXISTING.

1/4" = 1'-0"



4 WEST ELEVATION - PROPOSED

1/4" = 1'-0"

REVISIONS:

G.B. HOLBROOK HOUSE - TOWER

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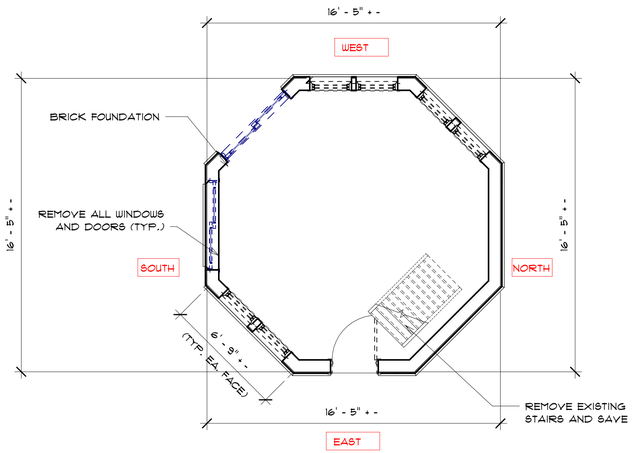
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

TOWER - EAST/WEST

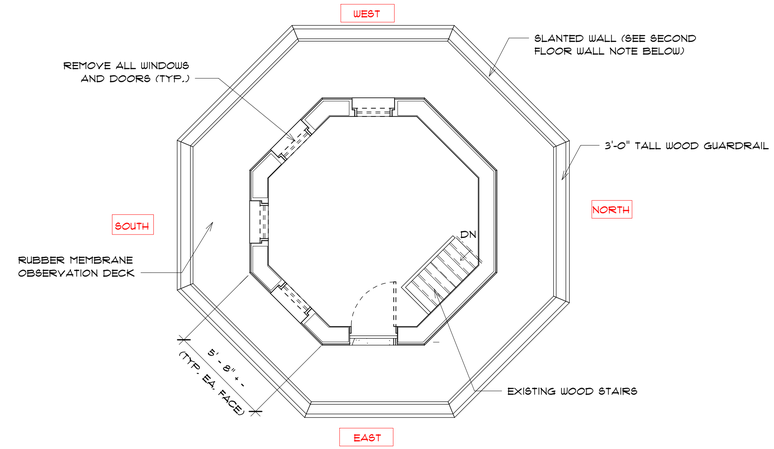
PROJECT: 18-137
DATE: 02-21-20
SCALE AS NOTED
DRAWN BY: MW

A8.1



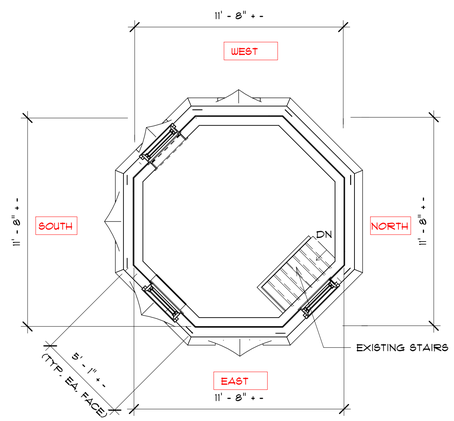
1 FIRST FLOOR PLAN - EXISTING

1/4" = 1'-0"



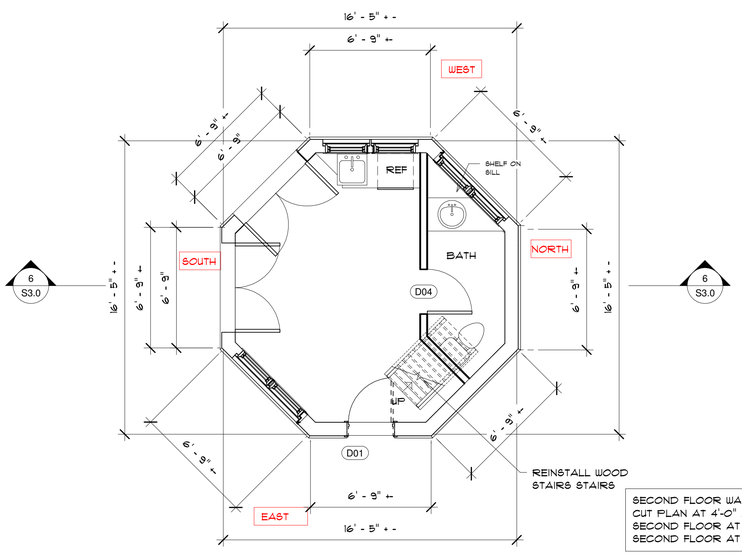
2 SECOND FLOOR - EXISTING

1/4" = 1'-0"



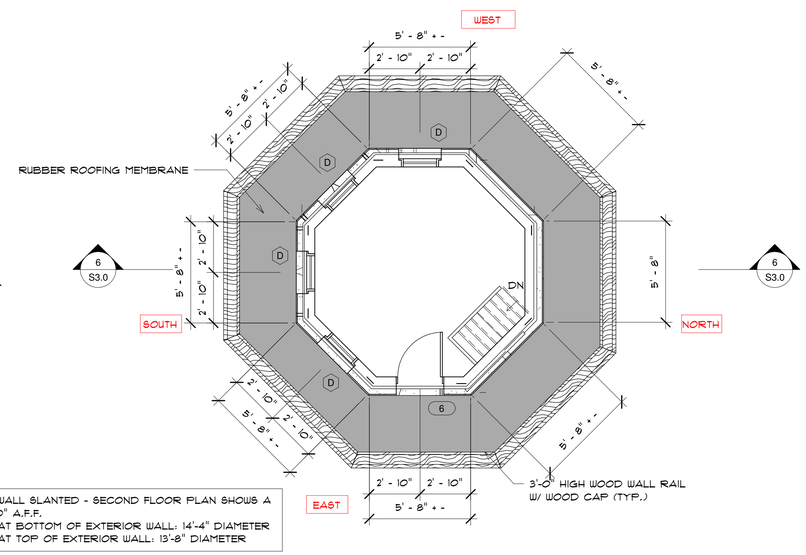
3 THIRD FLOOR - EXISTING

1/4" = 1'-0"



4 FIRST FLOOR PLAN - PROPOSED

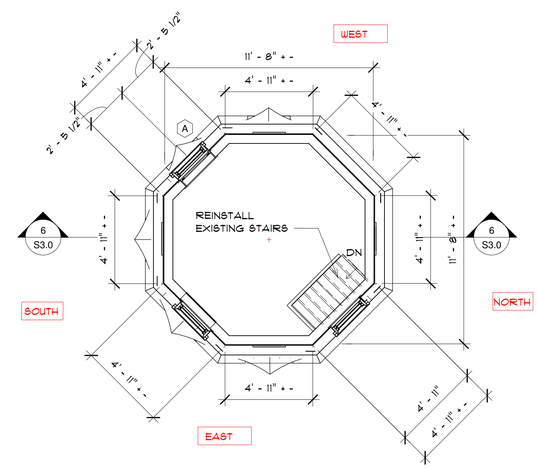
1/4" = 1'-0"



SECOND FLOOR WALL SLANTED - SECOND FLOOR PLAN SHOWS A CUT PLAN AT 4'-0" A.F.F.
SECOND FLOOR AT BOTTOM OF EXTERIOR WALL: 14'-4" DIAMETER
SECOND FLOOR AT TOP OF EXTERIOR WALL: 13'-8" DIAMETER

5 SECOND FLOOR - PROPOSED

1/4" = 1'-0"



6 THIRD FLOOR - PROPOSED

1/4" = 1'-0"

TOWER PLAN GENERAL NOTES

1. CUT OFF EXISTING ROOF FRAMING AND SAVE. DISMANTLE ENTIRE WATER TOWER STUCCO, WOOD SHEATHING AND FRAMING COMPLETELY. SAVE ALL LUMBER AND STORE IN DRY LOCATION. REUSE IT FOR REBUILDING OF TOWER.
2. REMOVE EXISTING FOUNDATION COMPLETELY.
3. REMOVE EXISTING WOOD FLOOR BOARDS AND STORE.
4. REMOVE ALL EXISTING STUCCO. REPLICATE STUCCO FINISH.
5. REMOVE ALL WINDOWS COMPLETELY. REPLICATE WINDOWS.
6. SAVE ALL STAIRS AND REINSTALL IN REBUILT TOWER.
7. ALL LIGHT FIXTURES, OUTLETS, SWITCHES, ETC. ARE TO BE NEW.
8. ALL CEILING HEIGHTS TO REMAIN THE SAME.
9. ALL DOORS ARE NEW WOOD DOORS U.N.O.

REVISIONS:

G.B. HOLBROOK HOUSE - TOWER

THE SOLE RESPONSIBILTY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HERS RATER.

CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

PLANS - OVERALL VIEW

SCALE AS NOTED
DRAWN BY: MW
PROJECT: 18-137
DATE: 02-21-20

A9.0

Window Schedule					
Type Mark	Mark	Rough Width	Rough Height	Comments	Type
A		2' - 4 1/2"	4' - 6 1/2"		Window-Double_Hung-28X54
D		2' - 1 1/2"	3' - 2 1/2"		Window-Double_Hung-25X38 09-24-19

WINDOW NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL MFG. ROUGH OPENINGS, DETAILS, DIMENSIONS, AND VERIFY QUANITY OF UNITS.
2. CONTRACTOR TO FIELD VERIFY ALL WALL WIDTHS BEFORE ORDERING AND INSTALLING THE WINDOWS.
3. PROVIDE SOLID BLOCKING AS REQUIRED BY MANUFACTURER.
4. PROVIDE EXTENSION JAMBS FOR ALL OPENINGS.
5. APPLY SEALANT AS REQURIED AROUND ALL INTERIOR TRIM OF WINDOWS. TEMPERED GLAZING IN WINDOWS IN ALL STAIRS. GLAZING TO MEET STATE, LOCAL, AND FEDERAL CODES.
6. BATHROOMS WINDOWS GLAZING TO BE FROSTED.

Door Schedule				
Mark	Type	Width	Height	Comments
D01	30" x 80" 2	2' - 6"	6' - 8"	
D04	30" x 80"	2' - 6"	6' - 8"	

DOOR NOTES:
A) CONTRACTOR TO FIELD VERIFY ALL MFG. ROUGH OPENINGS, DETAILS, DIMENSIONS, AND VERIFY QUANITY OF UNITS BEFORE PROCEEDING WITH THE WORK.
B) APPLY SEALANT AS REQUIRED AROUND ALL OPENINGS.
C) ALL EXTERIOR DOORS TO BE INSULATED AND WEATHER STRIPPED.
D) ALL GLAZING TO MEET STATE, LOCAL, AND FEDERAL CODES.

HARDWARE FUNCTIONS:

ANSI NO.
& GRADE DESCRIPTION

(F75) PASSAGE/ BOTH LEVERS ALWAYS UNLOCKED.
(F76) PRIVACY LOCK - OUTSIDE LEVER LOCK BY PUSH BUTTONIN INSIDE LEVER. ROTATING INSIDE LEVER OR CLOSING DOOR RELEASES BUTTON EMERGENCY RELEASE IN OUTSIDE LEVER UNLOCKS DOOR.
(F82) ENTRY LOCK - PUSH BUTTON LOCKING. BUTTON ON INSIDE LOCKS OUTSIDE LEVER UNTIL UNLOCKED BY KEY OR BY ROTATING INSIDE LEVER. INSIDE LEVER ALWAYS FREE.

Water Tower Existing Window Schedule

Location Mark	Unit Mark	Unit Type	Unit Size (WxH)	Unit Divides	Other Notes
WT D-1	D1	Door	2-6 x 6-8	9 Lite 2 Panel	Non Orignal Wood Door
WT 1-1	DH1	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT 1-2	DH1	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT D-2	SD1	Slider	5-0x 6-8	None	Non Orignal Wood Door
WT D-3	SD1	Slider	5-0 x 6-8	None	Non Orignal Wood Door
WT 1-2	DH2	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT 1-3	DH2	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT 1-4	DH2	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
Wt 1-5	DH2	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT D-2	D2	Door	2-2 x 5-10	6 Lite 2 Panel	Non Orignal Wood Door
WT 2-1	DH3	Double Hung	28x34	1 over 1	Replacement Window, Insulated Glass
WT 2-2	DH3	Double Hung	28x34	1 over 1	Replacement Window, Insulated Glass
WT 2-3	DH3	Double Hung	28x34	1 over 1	Replacement Window, Insulated Glass
WT 2-4	DH3	Double Hung	28x34	1 over 1	Replacement Window, Insulated Glass
WT 3-1	DH4	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT 3-2	DH4	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT 3-3	DH4	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass

G.B. HOLBROOK HOUSE - TOWER

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REVISIONS:

DESIGNED BY:
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128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

SCHEDULES

SCALE AS NOTED
DRAWN BY: MW
PROJECT: 18-137
DATE: 02-21-20

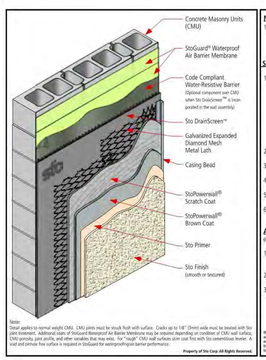
A10.0

StoPowerwall® DrainScreen™
Residential
Wood Frame Construction
Series 5.xx DS
October 2014

StoPowerwall® DrainScreen™ System Components over CMU

Detail No.: 5.07 DS

Date: October 2014



Notes:
Detail applies to normal weight CMU. CMU joints must be struck flush with surface. Cracks up to 1/8" (3mm) wide must be treated with Sto joint treatment. Additional coats of StoGuard Waterproof Air Barrier Membrane may be required depending on condition of CMU wall surface, CMU porosity, joint profile, and other variables that may exist. For "rough" CMU wall surfaces skim coat first with Sto cementitious leveler. A test and primer first surface is required in StoGuard for waterproofing/air barrier performance.

Notes:
1. Detail shows the components of Sto Powerwall® DrainScreen™ over CMU.

Sto System Components:
1. StoGuard® Waterproof Air Barrier Membrane options:
   a. Sto EmeraldCoat® 2 coat minimum (high perm)
   b. StoGuard®VaporSeal™ (x 32 mil dry coat minimum (vapor impermeable)
2. Sto DrainScreen™
3. StoPowerwall® scratch coat
4. StoPowerwall® brown coat
5. Sto Primer
6. Sto Finish (smooth or textured)

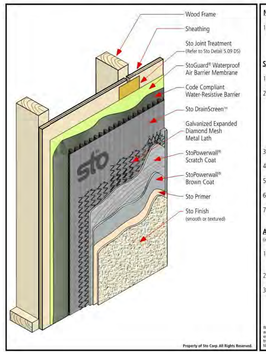
Accessory Materials: (including means for fastening)
1. Galvanized Expanded Diamond Mesh Metal Lath
2. Casing bead
3. Other accessories as may be required (e.g. weep screeds)

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

StoPowerwall® DrainScreen™ System Components

Detail No.: 5.01 DS

Date: October 2014



Notes:
1. Detail shows the installation of StoPowerwall® DrainScreen™ over a wood frame wall.

Sto System Components:
1. Sto joint treatment
2. StoGuard® Waterproof Air Barrier Membrane options:
   a. Sto EmeraldCoat® (high perm)
   b. StoGuard®VaporSeal™ (vapor impermeable)
3. Sto DrainScreen™
4. StoPowerwall® scratch coat
5. StoPowerwall® brown coat
6. Sto Primer
7. Sto Finish (smooth or textured)

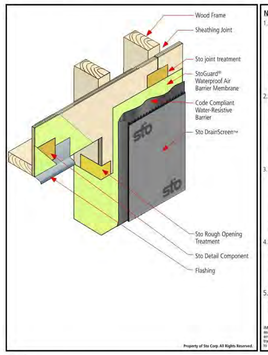
Accessory Materials: (including means for fastening)
1. Galvanized expanded diamond mesh metal lath
2. Casing bead
3. Other accessories as may be required (e.g. weep screeds, etc.)

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

StoPowerwall® DrainScreen™ Joint, Rough Opening, and Transition Detail Treatments

Detail No.: 5.09 DS

Date: October 2014



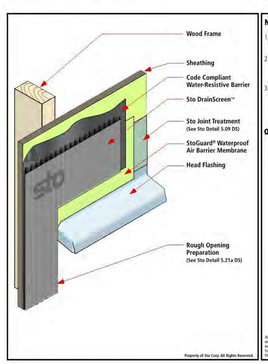
Notes:
1. Joint treatment options:
   a. Sto Gold Fill with StoGuard® Fabric embedded in StoGuard® Waterproof Air Barrier Membrane
   b. StoGuard® RapidFill™
   c. StoGuard® RapidSeal™ with StoGuard® Mesh
2. Rough Opening treatment options:
   a. Sto Gold Fill with StoGuard® Mesh
   b. StoGuard® Fabric embedded in StoGuard® Waterproof Air Barrier Membrane
   c. StoGuard® RapidSeal™ with StoGuard® Mesh
3. Sto Detail Component options:
   a. Sto Gold Fill with StoGuard® Mesh
   b. StoGuard® Fabric embedded in StoGuard® Waterproof Air Barrier Membrane
   c. StoGuard® RapidSeal™
   d. StoGuard® RapidFill™
4. StoGuard® Waterproof Air Barrier Membrane options:
   a. Sto EmeraldCoat® (high perm)
   b. StoGuard®VaporSeal™ (vapor impermeable)
5. Refer to product bulletins for application information on joint treatments.

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

StoPowerwall® DrainScreen™ Window Head Flashing Preparation

Detail No.: 5.21b DS

Date: October 2014



Notes:
1. Prepare the rough opening (See Sto Detail 5.21a DS)
2. Provide head flashing as required by local codes and window manufacturer.
3. Coordinate installation of moisture barrier and flashing with window installer and other related trades.

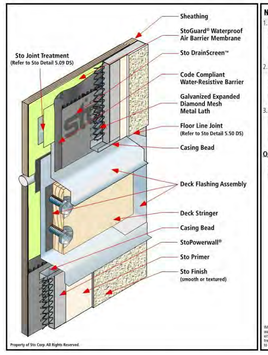
Options:
StoGuard® Waterproof Air Barrier Membrane options:
a. Sto EmeraldCoat® (high perm)
b. StoGuard®VaporSeal™ (vapor impermeable).

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

StoPowerwall® DrainScreen™ Deck Flashing

Detail No.: 5.32 DS

Date: October 2014



Notes:
1. Install StoGuard® Waterproof Air Barrier Membrane on the sheathing as per plans and specifications.
2. Install deck flashing to divert water away from penetrations and to drain water to the exterior of the finished cladding.
3. Provide backer rod and sealant between the deck flashing assembly and the stucco casing beads installed around the vertical sides and sill

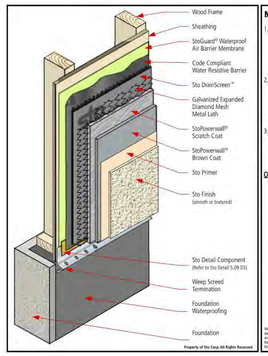
Options:
StoGuard® Waterproof Air Barrier Membrane options:
a. Sto EmeraldCoat® (high perm)
b. StoGuard®VaporSeal™ (vapor impermeable)

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

StoPowerwall® DrainScreen™ Termination at Grade

Detail No.: 5.10 DS

Date: October 2014



Notes:
1. Install stucco weep screed to terminate a minimum of 1" below bottom of wood plate and a minimum of 8" above finished grade or as required by code.
2. Lap StoGuard® waterproof air barrier membrane, code compliant water resistive barrier and Sto DrainScreen™ onto weep screed to direct water to the exterior.
3. Provide waterproofing at the foundation to protect the support structure from rising damp.

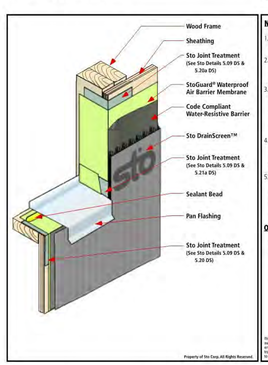
Options:
StoGuard® Waterproof Air Barrier Membrane options:
a. Sto EmeraldCoat® (high perm)
b. StoGuard®VaporSeal™ (vapor impermeable)

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

StoPowerwall® DrainScreen™ Pan Flashing at Opening Sill

Detail No.: 5.21c DS

Date: October 2014



Notes
1. Wrap opening as shown in Sto Detail 5.21a DS
2. Install one or more beads of neutral-cure, silicone sealant on the sill and jamb.
3. Install the sill pan flashing into the wet sealant and press it into place. Tool any excess sealant off at the top of the side dams and back edge of the pan flashing.
4. When installed the seal between the pan flashing and the rough opening protection must be air tight.
5. Install Sto Joint Treatment to the end dams so water draining down the jamb will be directed into the pan flashing and out of the wall assembly.

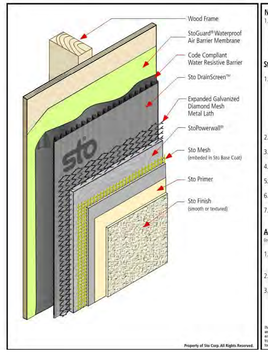
Options:
StoGuard® Waterproof Air Barrier Membrane options:
a. Sto EmeraldCoat® (high perm)
b. Sto®VaporSeal™ (vapor impermeable)

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

StoPowerwall® DrainScreen™ with Armor Guard System Components

Detail No.: 5.05 DS

Date: October 2014



Notes:
1. Detail shows the installation of StoPowerwall® DrainScreen™ with Armor Guard over a wood frame wall.

Sto System Components:
1. StoGuard® Waterproof Air Barrier Membrane options:
   a. Sto EmeraldCoat® (high perm)
   b. StoGuard®VaporSeal™ (vapor impermeable)
2. Sto DrainScreen™
3. StoPowerwall®
4. Sto Mesh
5. Sto Base coat
6. Sto Primer
7. Sto Finish (smooth or textured)

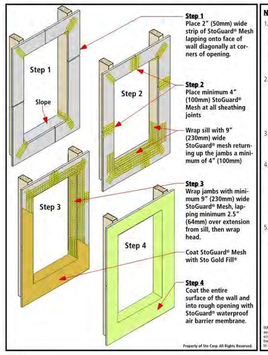
Accessory Materials: (including means for fastening)
1. Galvanized expanded diamond mesh metal lath
2. Casing bead
3. Other accessories as may be required (e.g. weep screeds, etc.)

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

StoPowerwall® DrainScreen™ Rough Opening Protection with Sto Gold Fill® and StoGuard® Mesh

Detail No.: 5.20 DS

Date: October 2014



Step 1
Place 2" (50mm) wide strip of StoGuard® Mesh lapping onto face of wall diagonally at corners of opening.

Step 2
Place minimum 4" (100mm) StoGuard® Mesh at all sheathing joints

Wrap sill with 9" (230mm) wide StoGuard® mesh returning up the jamb a minimum of 4" (100mm)

Step 3
Wrap jambs with minimum 9" (230mm) wide StoGuard® Mesh, lapping minimum 2.5" (64mm) over extension from sill, then wrap head.

Coat StoGuard® Mesh with Sto Gold Fill®

Step 4
Coat the entire surface of the wall and into rough opening with StoGuard® waterproof air barrier membrane.

Property of Sto Corp. All Rights Reserved.

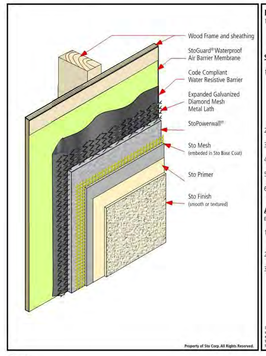
Notes:
1. StoGuard waterproof air barrier membrane options:
   a. Sto EmeraldCoat® (high perm)
   b. StoGuard®VaporSeal™ (vapor impermeable)
2. Prepare opening prior to the installation of the window or mechanical equipment. Provide sill wedge or other means for positive slope to exterior of sill.
3. Incorporate flashing as illustrated in other details where flashing is shown.
4. The complete installation of window or mechanical equipment must include an air seal between the object and the StoGuard® protection, inbound of the outer perimeter weather seal.
5. Refer to Sto specifications and product bulletins for detailed information on substrates and Sto material options. Additional waterresistive barrier and Sto DrainScreen™not shown.

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

StoPowerwall® with Armor Guard System Components

Detail No.: 5.06 E

Date: October 2014



Notes:
1. Detail shows the installation of StoPowerwall® with ArmorGuard over a wood frame wall.

Sto Materials:
1. StoGuard® Waterproof Air Barrier Membrane options:
   a. Sto®EmeraldCoat® (high perm)
   b. StoGuard®VaporSeal™ (vapor impermeable)
2. StoPowerwall®
3. Sto Mesh
4. Sto Base coat
5. Sto Primer
6. Sto Finish (smooth or textured)

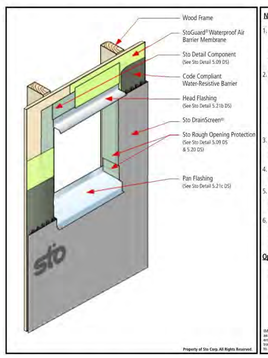
Accessory Materials: (including means for fastening)
1. Galvanized expanded diamond mesh metal lath
2. Casing bead
3. Other accessories as may be required (e.g. weep screeds, etc.)

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

StoPowerwall® DrainScreen™ Rough Opening Preparation

Detail No.: 5.21a DS

Date: October 2014



Notes:
1. Prepare opening prior to the installation of the window or mechanical equipment. Coordinate installation with other associated trades.
2. Wrap the rough opening with Sto rough opening protection. Choose from Sto Details:
   - 5.20 M DS
   - 5.20 E DS
   - 5.20 T DS
   - 5.20 R DS
3. Coat the wall surface with StoGuard® Waterproof Air Barrier Membrane
4. Incorporate head flashing as noted in Sto Detail 5.21b
5. For box windows incorporate pan flashing as noted in Sto Detail 5.21c DS
6. For nail-fin windows incorporate sill flashing under the window as noted in Sto Detail 5.21d DS

Options:
StoGuard® Waterproof Air Barrier Membrane options:
a. Sto EmeraldCoat® (high perm)
b. StoGuard®VaporSeal™ (vapor impermeable)

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G.B. HOLBROOK HOUSE
- TOWER

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REVISIONS:

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GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

BLDG. ENVELOPE DETAILS

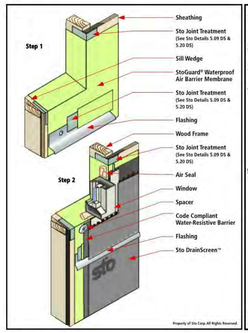
PROJECT: 18-137
SCALE AS NOTED
DATE: 02-21-20
DRAWN BY: MW

A11.0

StoPowerwall® DrainScreen™
Sill Flashing: Nail-fin Window

Detail No.: 5.21d DS

Date: October 2014



Notes:

1. Prepare rough opening. (See Sto Detail 5.20 DS)
2. Install flashing below the rough opening.
3. Prepare the flashing with Sto Joint Treatment.
4. Install the nail-fin window with an air seal around the interior perimeter of the window and with spacers at the sill to create a gap for water to drain between the sill flange and the StoGuard® Waterproof Air Barrier Membrane

Options:

StoGuard® Waterproof Air Barrier Membrane options:

a. Sto EmeraldCoat® (high perm)
b. StoGuard® VaporSeal™ (vapor impermeable).

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

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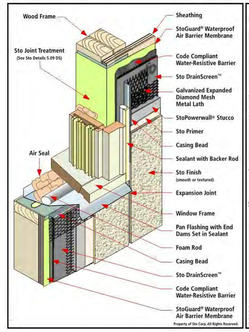
StoPowerwall® DrainScreen™
Brick Mold Window Sill / Jamb

Detail No.: 5.22 DS

Date: October 2014



Notes:

1. Protect the rough opening from water penetration by wrapping with Sto Joint Treatment. (See Sto Details 5.09 DS & 5.15a DS)

   Direct any water penetration to the exterior at the sill pan flashing.
2. Lap the Sto joint treatment into the sill pan.
3. Provide a continuous air bar rier around the interior perimeter of the window to reduce leaking, condensa tion related to air movement, and sound and insect control.
4. Provide expansion joint at the corner of the window opening for stress relief.

Options:

StoGuard® Waterproof Air Barrier Membrane options:

a. Sto EmeraldCoat® (high perm)
b. StoGuard® VaporSeal™ (vapor impermeable)

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

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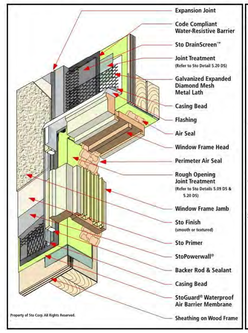
StoPowerwall® DrainScreen™
Brick Mold Window Head

Detail No.: 5.23 DS

Date: October 2014



Notes:

1. Protect the rough opening from water penetration by wrapping with StoGuard® (See Sto Details 5.09 DS and 5.20 DS)
2. Provide head flashing over the window to direct water away from the window. (See Sto Detail 5.09 DS)

   Hold flashing back from interface or provide head flashing end dams, depending on window type and design.
3. Provide continuous air barrier around the interior perimeter of the window to reduce leaking, condensation related to air move ment, sound and insect intrusion.
4. Install expansion joint at the corner of the opening to allow for the release of stresses in the stucco

Options:

StoGuard® Waterproof Air Barrier Membrane options:

a. Sto EmeraldCoat® (high perm)
b. StoGuard® VaporSeal™ (vapor impermeable)

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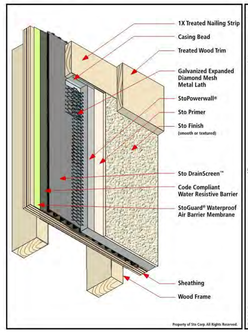
StoPowerwall® DrainScreen™
Termination at Soffit

Detail No.: 5.40 DS

Date: October 2014



Notes:

1. Install StoGuard® Waterproof Air Barrier Membrane on the sheathing as per plans and specifications.
2. StoGuard® air barrier is a component in the air barrier assembly for a building.

   The design professional or builder must provide connections to other components in the system to make the entire envelope air tight. This detail assumes that the air barrier connection would be made prior to the installation of the 1x treated nailing strip.

Options:

StoGuard® Waterproof Air Barrier Membrane options:

a. Sto EmeraldCoat® (high perm)
b. StoGuard® VaporSeal™ (vapor impermeable).

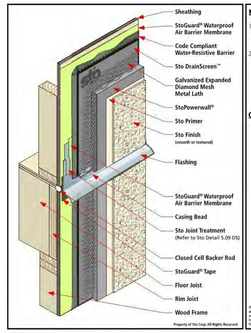
IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

Property of Sto Corp. All Rights Reserved.

StoPowerwall® DrainScreen™
Floor Expansion Joint

Detail No.: 5.50 DS

Date: October 2014



Notes:

1. Install closed-cell backer rod into sheathing joint to support barrier membrane.
2. Install StoGuard® Tape so that it laps over StoGuard® below. Clamp the top edge of StoGuard® Tape with the flashing and shingle lap StoGuard® joint treatment over the flashing leg.

Options:

StoGuard® Waterproof Air Barrier Membrane options:

a. Sto EmeraldCoat® (high perm)
b. StoGuard® VaporSeal™ (vapor impermeable).

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

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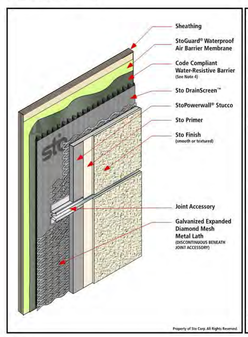
StoPowerwall® DrainScreen™
One-Piece Expansion Joint (ASTM C 1063 Control Joint)

Detail No.: 5.52 DS

Date: October 2014



Notes:

1. Provide one-piece expansion joints at minimum 144 ft² (13.4 m²) intervals and typically above and below window, door, and similar openings in the wall construction.
2. Do not exceed length to width ratio of 2.5:1 in joint layout and do not exceed 18 ft (5.5 m) in any direction without a joint.
3. Lap metal reinforcement (lath) over joint accessory flanges and wire tie. After natively, install metal reinforcement, snip (cut) at line of accessory, and wire tie joint accessory over metal reinforcement.

METAL REINFORCEMENT MUST BE DISCONTINUOUS BENEATH THE JOINT ACCESSORY

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

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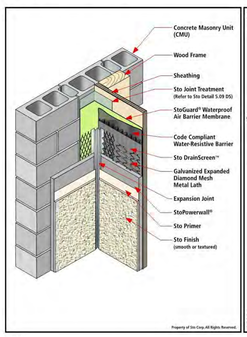
StoPowerwall® DrainScreen™
Joint at Inside Corner: Different Substrates

Detail No.: 5.53a DS

Date: October 2014



Notes:

1. Wrap Sto joint treatment approximately 4"(200 mm) in each direction around the inside corner. Terminate the Sto joint treatment on the CMU side of the wall assembly so it coincides with the termination line of the accessory expanded flange.

Options:

StoGuard® Waterproof Air Barrier Membrane options:

a. Sto EmeraldCoat® (high perm)
b. StoGuard® VaporSeal™ (vapor impermeable).

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

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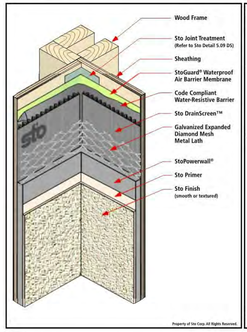
StoPowerwall® DrainScreen™
Joint at Inside Corner: Common Substrate

Detail No.: 5.53b DS

Date: October 2014



Notes:

1. Install Sto joint treatment around inside corner. Coat entire surface with StoGuard® Waterproof Air Barrier Membrane
2. Bend lath at inside corner and extend past corner minimum 24" (610mm) in both directions or use corner lath over abutted metal lath. Fasten securely at the corner.

Options:

StoGuard® Waterproof Air Barrier Membrane options:

a. Sto EmeraldCoat® (high perm)
b. StoGuard® VaporSeal™ (vapor impermeable)

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

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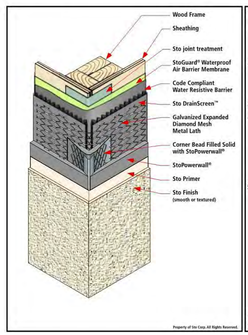
StoPowerwall® DrainScreen™
Outside Corner

Detail No.: 5.54 DS

Date: October 2014



Notes:

1. Install Sto Joint Treatment around sheathing joint at the outside corner. (See Sto Detail 5.09 DS)
2. Install galvanized expanded diamond mesh metal lath continuous around corner without break for minimum 24" (610mm).
3. Attach corner bead over lath.
4. Metal accessories are susceptible to corrosion in coastal environments. Metal corner beads with solid metal noses are susceptible to corrosion in exposed exterior applications.

Options:

StoGuard® Waterproof Air Barrier Membrane options:

a. Sto EmeraldCoat® (high perm)
b. StoGuard® VaporSeal™ (vapor impermeable).

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

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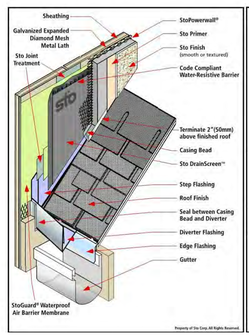
StoPowerwall® DrainScreen™
Roof/Wall Diverter Flashing

Detail No.: 5.62 DS

Date: October 2014



Notes:

1. Install StoGuard® prior to installation of flashing.
2. Provide step flashing minimum 4"(100mm) extending up the wall.
3. Provide StoPowerwall® overlap of the step flashing 2"(50mm) and terminate StoPowerwall® a minimum of 2"(50mm) above the finished roof. The space permits re-roofing at a future date and helps prevent debris from accumulating between roof and StoPowerwall®
4. Terminate the step flashing with a water-tight Diverter (kick-out) Flashing to direct water into the gutter

   Refer to Sto Detail 2.62b on Fabrication of the Diverter Flashing.
5. Provide a 3/8"(10mm) joint around the Diverter Flashing and Seal

Options:

StoGuard® Waterproof Air Barrier Membrane options:

a. Sto EmeraldCoat® (high perm)
b. StoGuard® VaporSeal™ (vapor impermeable)

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

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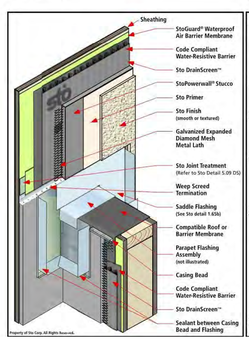
StoPowerwall® DrainScreen™
Saddle Flashing

Detail No.: 5.65 DS

Date: October 2014



Notes:

1. Install StoGuard® waterproof air barrier membrane behind flashing assembly integrated with compatible roof or barrier membrane over the Parapet.
2. Install saddle flashing assembly. (Refer to Sto Detail 1.65b for Assembly of Saddle Flashing)
3. Install Sto joint treatment over the top of the saddle flashing and stucco weep screed termination. (Refer to Sto Detail 5.09 DS)
4. Lap StoPowerwall® over the flashing assembly at the top by a minimum of 2"(50mm) and terminate with 3/8" (10mm) joint around the perimeter.

Options:

StoGuard® Waterproof Air Barrier Membrane options:

a. Sto EmeraldCoat® (high perm)
b. StoGuard® VaporSeal™ (vapor impermeable).

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

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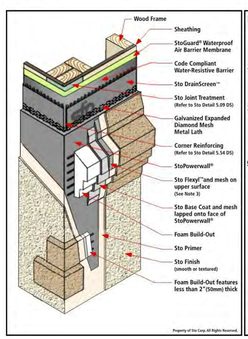
StoPowerwall® DrainScreen™
Foam Build-Outs

Detail No.: 5.70 DS

Date: October 2014



Notes:

1. The maximum thickness of foam plastic insulation allowed by code is typically 4" (100 mm).
2. The exposed surface must have a minimum slope of 1:2 (27°). In locations where ice and snow may accumulate, increase slope.
3. Provide Sto Flexyl™ and mesh on upper surfaces of the foam build-out feature projecting more than 2" (50 mm) from the stucco surface.

Options:

StoGuard® Waterproof Air Barrier Membrane options:

a. Sto EmeraldCoat® (high perm)
b. StoGuard® VaporSeal™ (vapor impermeable).

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

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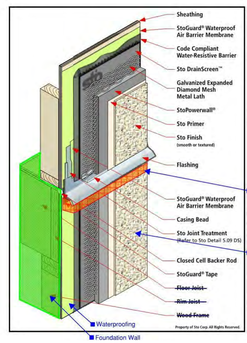
Building Enclosure Science
Design Comments
10 Hyannis Ave
Base of Wall / Foundation
Transition Detail

StoPowerwall® DrainScreen™
Floor Expansion Joint

Detail No.: 5.50 DS

Date: October 2014



Notes:

1. Install closed-cell backer rod into sheathing joint to support barrier membrane.
2. Install StoGuard® Tape so that it laps over StoGuard® below. Clamp the top edge of StoGuard® Tape with the flashing and shingle lap StoGuard® joint treatment over the flashing leg.

Options:

StoGuard® Waterproof Air Barrier Membrane options:

a. Sto EmeraldCoat® (high perm)
b. StoGuard® VaporSeal™ (vapor impermeable).

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

Property of Sto Corp. All Rights Reserved.

REVISIONS:

G.B. HOLBROOK HOUSE
- TOWER

THE SOLE RESPONSIBILTY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HERS RATER.

CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

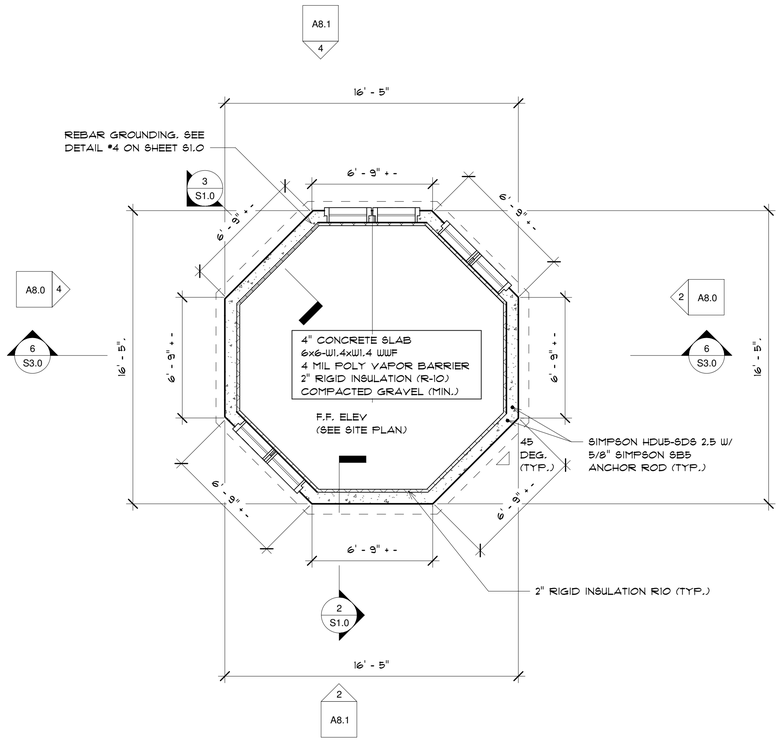
PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

BLDG. ENVELOPE DETAILS

PROJECT: 18-137
DATE: 02-21-20
SCALE AS NOTED
DRAWN BY: MW

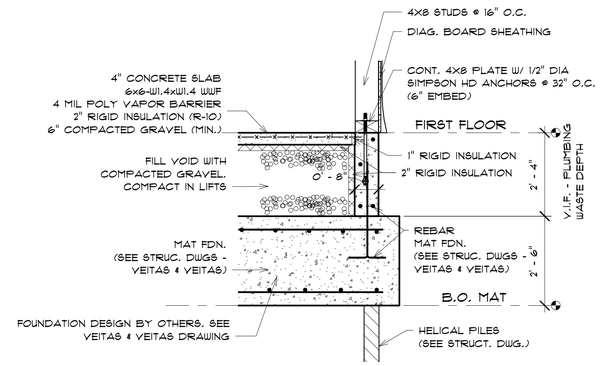
A11.1



SEE VEITAS AND VEITAS ENGINEERS DRAWING DATED AUGUST 30, 2019 FOR FOUNDATION PLAN AND DETAILS FOR ADDITIONAL INFORMATION ON FOUNDATION

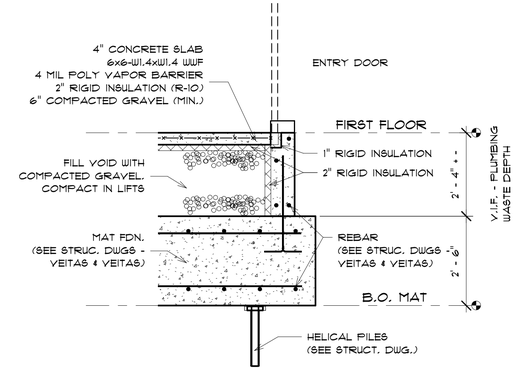
1 FOUNDATION PLAN

1/4" = 1'-0"



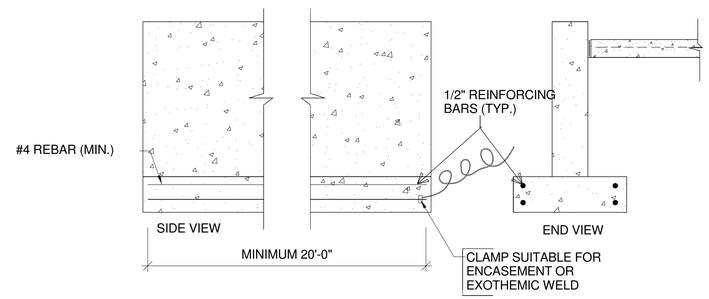
2 FDN DETAIL #1

1/2" = 1'-0"



3 FDN DETAIL #2

1/2" = 1'-0"



LOCATION TO BE COORDINATED WITH GENERAL CONTRACTOR

4 FDN ENCASED ELECTRODE DETAIL

1/2" = 1'-0"

REVISIONS:

G.B. HOLBROOK HOUSE - TOWER

THE SOLE RESPONSIBILTY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HERS RATER.

CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

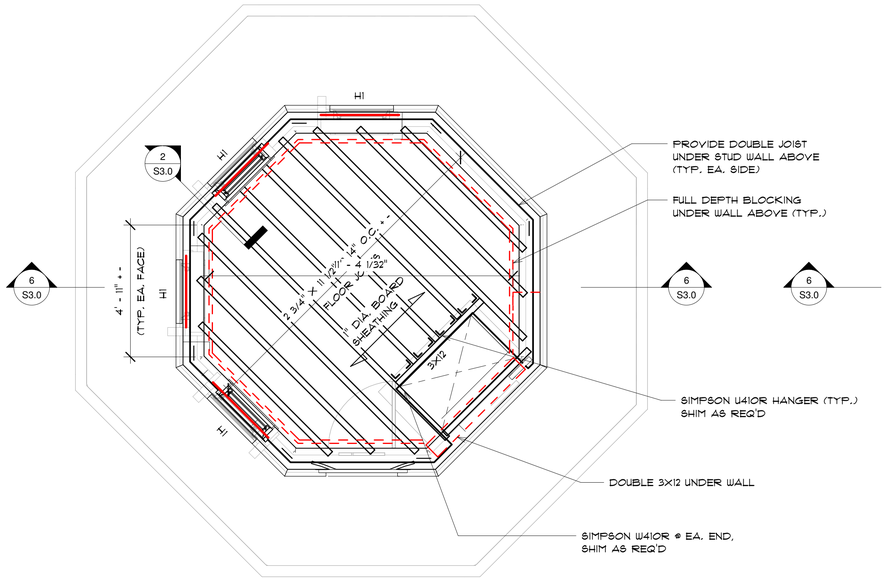
DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

FOUNDATION & DETAILS

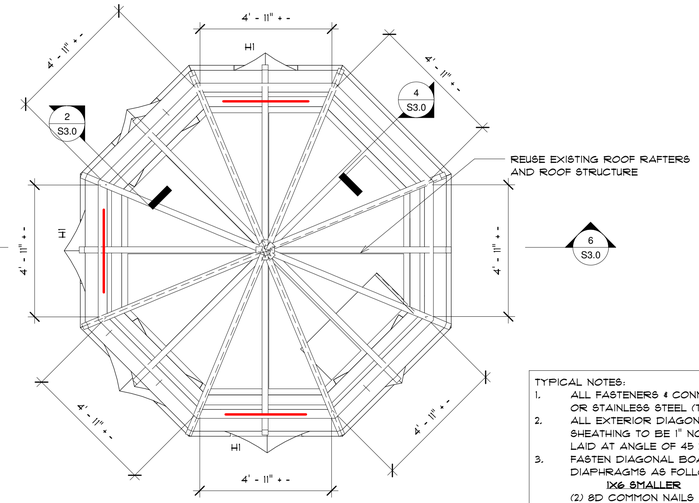
SCALE AS NOTED
DRAWN BY: MW
PROJECT: 18-137
DATE: 02-21-20

S1.0



2 FRAMING - THIRD FLOOR

3/8" = 1'-0"



3 FRAMING - ROOF

3/8" = 1'-0"

TYPICAL NOTES:

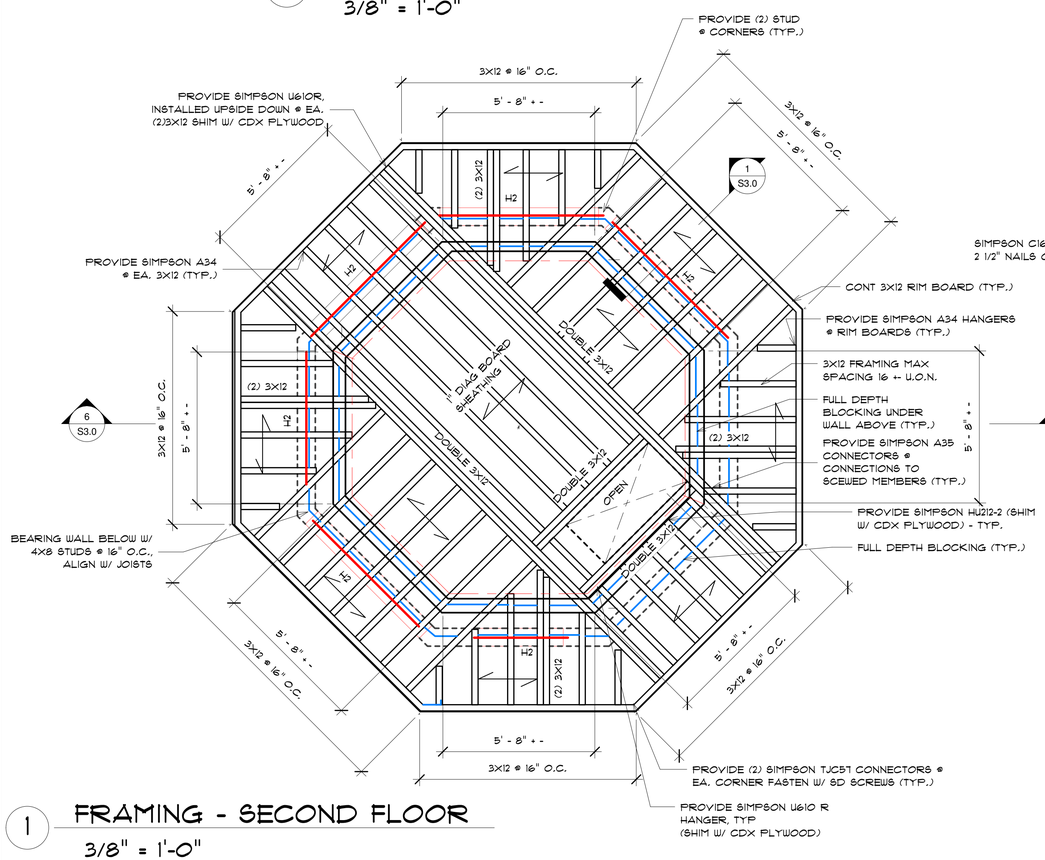
1. ALL FASTENERS & CONNECTORS TO BE GALVANIZED OR STAINLESS STEEL (TYP.)
2. ALL EXTERIOR DIAGONAL BOARD AND FLOOR SHEATHING TO BE 1" NOMINAL (MIN.), AND ARE TO BE LAID AT ANGLE OF 45 DEGREES TO THE SUPPORTS.
3. FASTEN DIAGONAL BOARD SHEATHING & FLOOR DIAPHRAGMS AS FOLLOWS:
   - 1X6 SMALLER
     - (2) 8D COMMON NAILS @ INTERMEDIATE STUDS
     - (3) 8D COMMON NAILS @ WALL BOUNDARY MEMBERS
   - 1X8 & LARGER
     - (3) 8D COMMON NAILS @ INTERMEDIATE STUDS
     - (4) 8D COMMON NAILS @ WALL BOUNDARY MEMBERS
4) AT DIAGONAL BOARD SHEATHING & FLOOR DIAPHRAGMS JOIST SHALL BE SEPARATED?? AT LEAST ONE STUD SPACE AND THREE SHALL BE AT LEAST TWO BOARDS BETWEEN JOINTS ON THE SAME SUPPORT.

WOOD HEADER SCHEDULE

MARK	SIZE (WIDTHx DEPTH)	# JACK STUDS	# KING STUDS
H1	(3)-2x6	1	1
H2	(2)-4x8	2	2

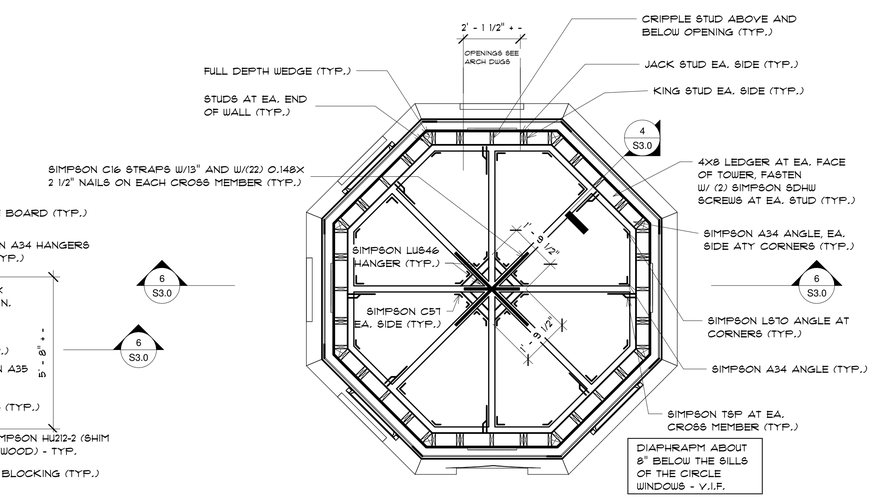
NOTES:

1. HEADERS SHALL BE DROPPED UNLESS OTHERWISE NOTED AS FLUSH FRAMED.
2. HEADERS SHALL BE FLUSH WITH EXTERIOR FACE OF WALL STUD, SHIM INSIDE FACE WITH 2x OR PLYWOOD AS REQUIRED.
3. JAMB POSTS SHALL BE CONTINUOUS DOWN TO FOUNDATIONS BELOW UNLESS OTHERWISE NOTED.
4. * AT FIRST AND SECOND FLOORS, (2) JACK STUDS ARE REQUIRED.



1 FRAMING - SECOND FLOOR

3/8" = 1'-0"



6 FRAMING - DIAPHRAGM BRACE PLAN

3/8" = 1'-0"

STRUC. PROGDWG
G.B. HOLBROOK HOUSE

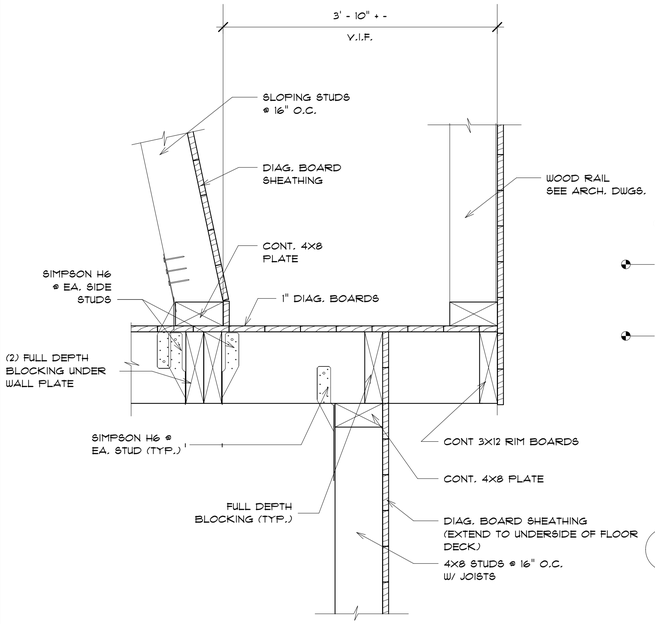
DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNIS PORT, MA

FRAMING PLANS & DETAILS

PROJECT: 18-137
DATE: 02-21-20
SCALE AS NOTED
DRAWN BY: MW

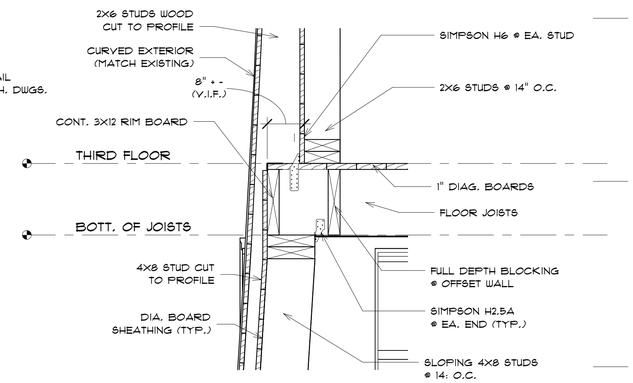
S2.0



1 FRAMING DETAIL SECOND FLOOR

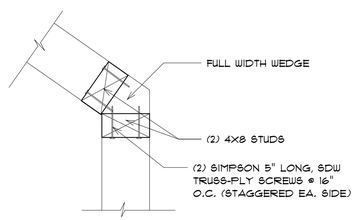
1" = 1'-0"

NOTE:
PROVIDE PROFILED STUDS @ EA. FULL STUD. FASTEN TO STUD W/ SIMPSON SDS TRUSS-PLY SCREWS @ 24" O.C. (LENGTH AS REQ'D)



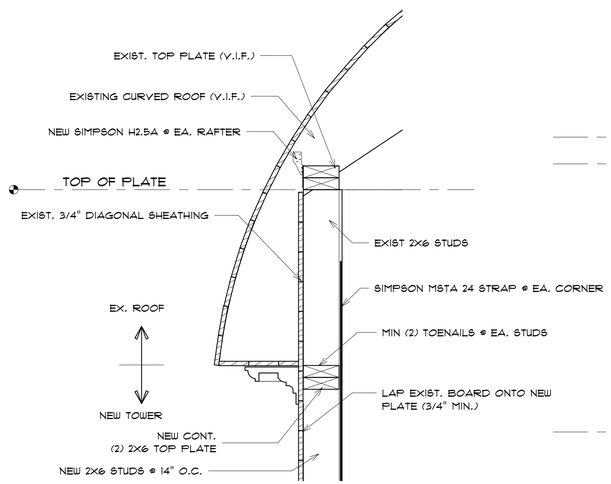
2 FRAMING DETAIL - THIRD FLOOR

1" = 1'-0"



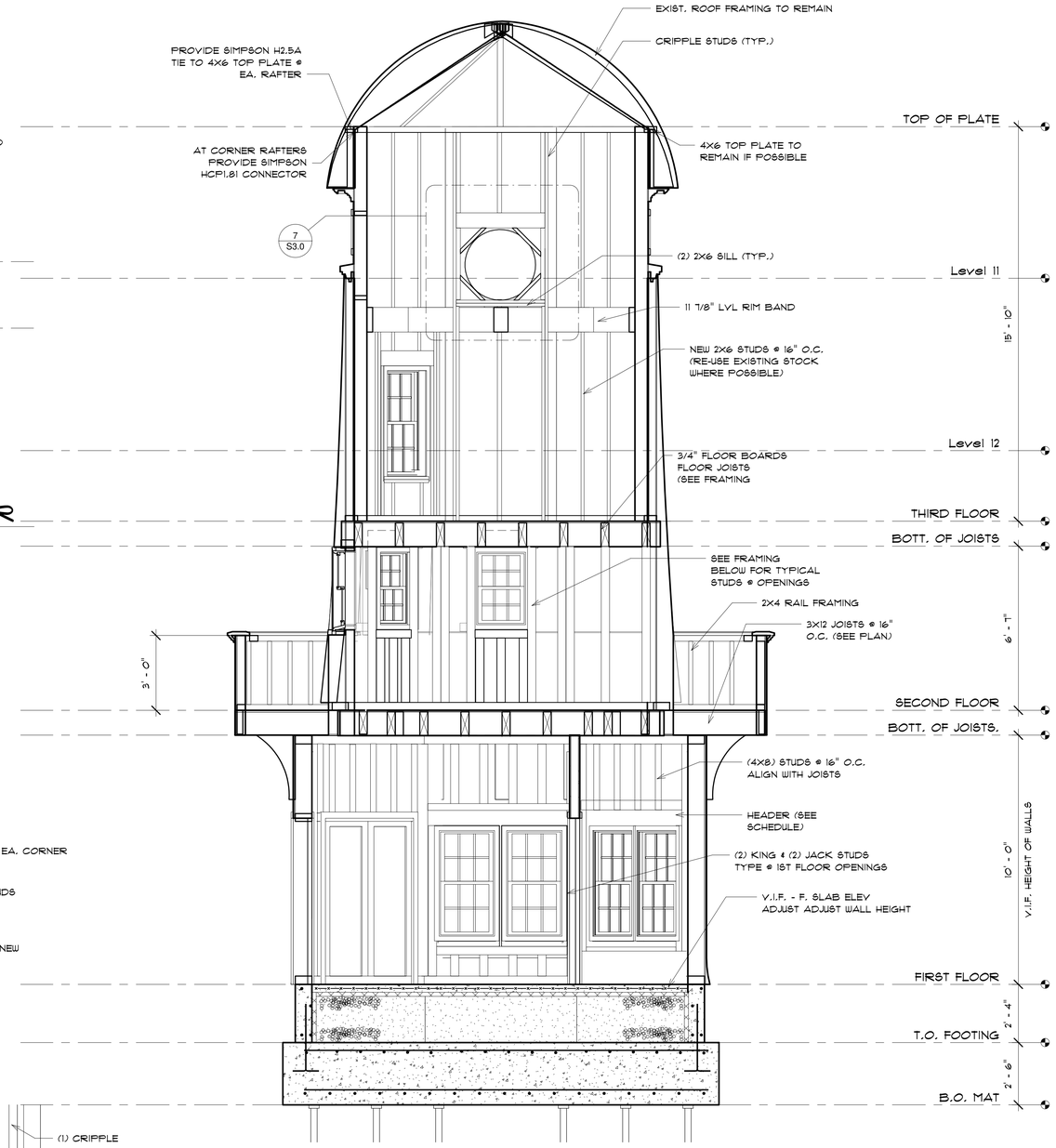
3 CORNER DETAIL

1" = 1'-0"



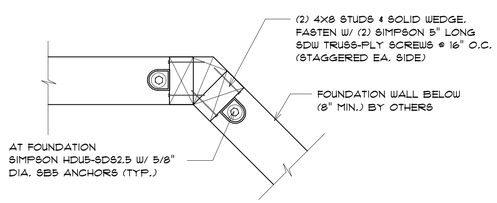
4 FRAMING DETAIL - ROOF

1" = 1'-0"



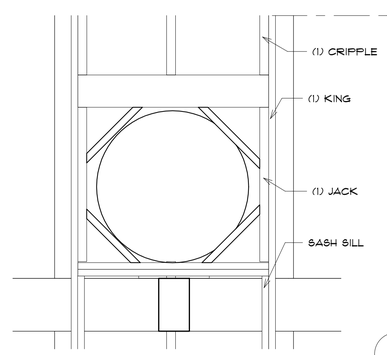
6 TOWER SECTION - A

3/8" = 1'-0"



5 TYP. HOLD DOWN DETAIL @ EA. CORNER

1" = 1'-0"



7 TYP. WINDOW OPENING

3/4" = 1'-0"

STRUC. PROGDWG
G.B. HOLBROOK HOUSE

DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNIS PORT, MA

FRAMING DETAILS

PROJECT: 18-137
DATE: 02-21-20
SCALE AS NOTED
DRAWN BY: MW

S3.0

GENERAL:

1. Structural drawings shall be used in conjunction with the architectural, mechanical, electrical and shop drawings, and specifications.

2. Unless otherwise noted, sections, details, notes, materials, and methods shown on any drawings are to be considered typical for all similar conditions.

3. In the event of a conflict between plans, specifications, and details, the Structural Engineer shall be notified immediately for clarification.

4. See Veitas and Veitas Engineers drawings dated August 30, 2019 for foundation plan and details.

5. All dimensions, elevations, and conditions must be verified in the field by the Contractor. Any discrepancies between these drawings and as-built conditions shall be brought to the attention of the Structural Engineer before proceeding with any work.

6. The structure has been designed to be self-supporting and stable after the work shown on these drawings has been completed. The Contractor shall be responsible for the stability of the structure prior to the completion of work including but not limited to, jobsite safety, all shoring, bracing, erection methods, erection sequence, and forms required during construction. Temporary supports required for stability during all intermediate stages of construction shall be designed, furnished, and installed by the Contractor.

7. Shop drawings shall be submitted to the Structural Engineer (see each section for specific items and requirements). Fabrication shall not proceed until a satisfactory review is received, the Contractor is proceeding at their own risk if failure to do so. Erection shall be executed from final reviewed shop drawings only.

8. Reproduction of structural drawings for shop drawings is not permitted. Electronic drawing files will not be provided to the Contractor unless a transfer agreement has been completed between the Structural Engineer and the Contractor.

9. All work shall comply with the building codes referenced on these drawings.

10. Do not scale drawings. Contact the Architect or Structural Engineer for dimensions not specifically shown.

CODE:

2015 International Residential Code, as amended, altered, or deleted by the provisions of the 9th Edition 780 CMR, Massachusetts Residential Code amendments.

DESIGN LOADS:

1. MINIMUM UNIFORM LIVE LOADS AND MINIMUM CONCENTRATED LIVE LOADS:

OCCUPANCY or USE	UNIFORM	CONCENTRATED
Residential		
One- and two-family dwellings		
Uninhabitable Attic (without storage):	10 psf	N/A
Uninhabitable Attic (with limited storage):	20 psf	N/A
Habitable Attics & Sleeping Areas:	30 psf	N/A
All other areas:	40 psf	N/A

2. CONCENTRATED FLOOR LOADS:
   If listed above, the concentrated load shall be used to determine the greatest load effect. Unless otherwise specified, the indicated concentration shall be assumed to be uniformly distributed over an area of 2.5 feet square and located to produce the max. load effects.

3. ROOF SNOW LOAD:

Risk Category:	II
Ground Snow Load, Pg :	30 psf
Snow Load Importance Factor, Is:	1.0
Snow Exposure Factor, Ce:	0.9
Thermal Factor, Ct:	1.1
Flat Roof Snow Load, Pf:	25 psf
Drifting, sliding, and unbalanced snow loads:	Per ASCE-7
Rain loads:	Per ASCE-7
Roof live load:	20 psf MIN

4. DEAD LOAD:

Roof dead load:	20 psf
Elevated Floor dead load:	20 psf

5. WIND DESIGN DATA:
   Wind loads have been determined using ASCE-7 Method 1 Simplified Procedure.

Risk Category:	II
Ultimate Wind Speed (3 second gust), Vult:	140 mph
Wind Exposure Category:	X
Internal Pressure Coefficient:	X.XX

Components and Cladding Design Wind Pressure:

Zone Per ASCE-7	MAX Positive (20 sf)	MAX Negative (20 sf)
1	15.1 psf	37.1 psf
2	15.1 psf	62.0 psf
3	15.1 psf	93.5 psf
4	37.1 psf	40.1 psf
5	37.1 psf	49.5 psf

NOTE: This structure has been designed as an enclosed building as defined in ASCE-7. All exterior wall glazing shall be impact resistant or protected with an impact-resistant covering meeting the requirements of the International Building Code referenced on this sheet.

NOTE: Due to the historic nature of this structure and the requirement to re-build using materials and details which match the original construction this structure does not meet the requirements for the wind loads shown above. The systems meet the capacity of the original construction but do not conform to current code requirements.

WOOD:

1. Work shall be in accordance with the applicable American Wood Council, ANSI / AF&PA, "National Design Specification for Wood Construction (NDS)" including "Design Values for Wood Construction", National Forest Products Association.

2. New wood for structural use shall have a moisture content as specified in the "National Design Specification for Wood Construction."

3. Wood construction shall conform to applicable IBC, Chapter and Section for "Conventional Light-frame Construction."

4. Sheathing panels shall be marked with the American Plywood Association (APA) trademark and shall meet the latest U.S. Product Standard PS 1 or APA PRP-108 Performance Standards.

5. All wall sheathing panels shall be 1/2" thick, 32/16 (minimum), APA Rated and all sheathing panel edges shall be blocked, unless otherwise noted. Fasten with 8d common nails spaced at 6"o.c. at panel perimeter supported edges and 12"o.c. at interior intermediate supports (field) with 1 3/8" min. fastener penetration, unless otherwise noted. Lay wall sheathing with long dimension perpendicular to support members.

6. All floor sheathing panels (sub-floor) shall be 3/4" thick, APA Rated Sturd-I-Floor, 48/24 (minimum), T&G, Exposure 1 meeting DOC PS1 or PS2. Sheathing to be glued with adhesives meeting APA Spec. AFG-01 and fastened with 8d common nails spaced at 6"o.c. at panel perimeter supported edges and 12"o.c. at interior intermediate supports (field) with 1 3/8" min. fastener penetration, unless otherwise noted. Lay floor sheathing with long dimension perpendicular to support members and stagger sheathing panels in a row one half panel length with previous row.

7. All roof sheathing panels shall be 5/8" thick [3/4" at flat roofs], 40/20 (minimum), C-D Exterior grade, APA rated Exposure 1 meeting DOC PS1 or PS2. Fasten with 8d common nails spaced at 6"o.c. at panel perimeter supported edges and 6"o.c. at interior intermediate supports (field) with 1 3/8" min. fastener penetration, unless otherwise noted. Lay roof sheathing with long dimension perpendicular to support members and stagger sheathing panels in a row one half panel length with previous row. Support edges of sheathing at roof pitch breaks with blocking.

8. Framing for walls, joists, rafters beams and headers shall be Spruce-Pine-Fir (SPF) No. 1/ No. 2, unless noted. Dimensioned lumber represents nominal sizes. See minimum properties below:

9. Wood exposed to the weather or in contact with concrete or masonry shall be pressure treated (P.T.) Southern Pine No. 1, unless noted. See minimum properties below:

10. Laminated Veneer Lumber (LVL) members shall be 1.9E Trus Joist Microllam LVL as manufactured by Weyerhaeuser or approved equivalent. See minimum properties below:

11. Wood framing shall have the minimum design values:

	Min. Design Values		
Species / Material	E (psi)	Fb (psi)	Fv (psi)
Spruce-Pine Fir (SPF) No. 1/ No. 2:	1.4e6	875	135
Southern Pine (SP) No. 1:	1.4e6	1,100	175
Laminated Veneer Lumber (LVL) 1.9E members:	1.9e6	2,600	285

12. Pressure treated (P.T.) wood shall meet the following standards for each condition of use:

Condition	Pressure Treatment	Min. Retention	AWPA Category
Interior Construction:			
(Wood not exposed to weather,	CCA, ACQ-C,D	.25	UC2
in contact with concrete or masonry)	CA-B	.1	UC2
	MCA-C	.05	UC2
Above Ground, exterior construction:			
(Beams, joists and stringers	CCA, ACQ-C,D	.25	UC3B
not in contact with the ground)	CA-B	.1	UC3B
	MCA-C	.05	UC3B
Ground Contact, fresh water;			
(Posts and members exposed to weather	CCA, ACQ-C,D	.4	UC4A
and in ground contact)	CA-B	.21	UC4A
	MCA-C	.15	UC4A

Treated Sheathing

Chromated Copper Arsenate (CCA), Alkaline Copper Quaternary (ACQ), Copper Azole (CA) and Micronized Copper Azole (MCA)

Field treat cut ends of P.T. wood with Copper Naphthenate preservative such as Copper-Greene.

13. Wood to steel and wood to wood bolted connectors shall be made with ASTM A307 bolts with flat washers. Bolt holes in wood shall be 1/32" larger than the bolt. Wood nailers shall be fastened with (2) rows of 1/2" diameter bolts staggered at 2'-0" o.c. unless otherwise noted.

14. Fastening Schedule:

Plate to Stud, Direct	2-16d
Stud to Plate, Toenail	4-8d

NOTE: SEE APPLICABLE IBC TABLE "FASTENING SCHEDULE" FOR FASTENING/ NAILING REQUIREMENTS NOT SHOWN.

15. The lateral bracing system includes plywood wall and roof sheathing. Contractor shall provide temporary bracing as required to laterally support the structure during construction.

16. Provide lateral support at all bearing points and along compression edges at intervals of 24"o.c. or closer.

17. Minimum section width = 1 3/4". The 3 1/2", 5 1/4", and 7" members may be combinations of 1 3/4" members. Follow manufacturers guidelines for Multiple Member Connections for side loaded beams.

18. Wood Construction Connectors shall be manufactured by Simpson Strong-Tie Co., MiTek Industries, Inc. or approved equal and installed in accordance with the manufacturers recommendations.

19. All wood fasteners and hangers in contact with pressure treated (P.T.) and or fire retardant treated (FRT) lumber are to be stainless steel or hot dipped galvanized (min 2.0 oz/ft^2). Hangers located in Ocean/Water Front environments shall be stainless steel.

G.B. HOLBROOK HOUSE - TOWER

THE SOLE RESPONSIBILTY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HERS RATER.

CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

REVISIONS:

DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS
10 HYANNIS AVENUE
HYANNISPORT, MA

G.C. NOTES

SCALE AS NOTED
PROJECT: 18-137
DATE: 02-21-20
DRAWN BY: MW

S4.0

TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp
BARNSTABLE TOWN CLERK
2020 FEB 19 P2:15

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 2.19.20 ☐ Full Demotion ☒ Partial Demolition

Building Address: 621 MAIN STREET
Number Street

COTUIT 02635 Assessor's Map # 036 Assessor's Parcel # 062
Village ZIP

Property Owner: PEIRSON CHILDRENS TRUST. 954.294.7151 (NICK) 954.683.1706 (GAYAN)
Name NICHOLAS PEIRSON - TRUSTEE Phone#

Property Owner Mailing Address (if different than building address) 1431 SOUTH OCEAN BLVD. UNIT 20. LAUDERDALE BY THE SEA. FL, 33062

Property Owner e-mail address: NICK@PEIRSON.NET

Contractor/Agent: ARCHI·TECH ASSOC. INC.

Contractor/Agent Mailing Address: 6 SCHOOL STREET. COTUIT. MA 02635

Contractor/Agent Contact Name and Phone #: TIMOTHY LUFF 508.420.5335
Name Phone #

Contractor/Agent Contact e-mail address: TLUFF@ARCHITECHASSOCIATES.COM

Demolition Proposed - please itemize all changes:
REMOVE STORY AND A HALF WING ON THE SOUTH WEST SIDE OF THE STRUCTURE CLOSEST TO THE GARAGE. THIS WING WAS MOVED IN 1904-1905 TO ITS CURRENT LOCATION AND THE MIDDLE PORTION (EXISTING) WAS ADDED TO CONNECT THEM.

Type of New Construction Proposed: RE-CONSTRUCT A 1½ STORY WING THAT CONNECTS TO THE HOUSE AND ADDING A WORKSHOP THAT CONNECT TO THE GARAGE (EXISTING)

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1805 MAIN HOUSE Additions Year Built: 1904-1905

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No ☒ Yes ☐

Property Owner/Agent Signature

RECEIVED
FEB 19 2020
PLANNING & DEVELOPMENT

036/062

FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
294 WASHINGTON STREET, BOSTON, MA 02108

AREA	FORM NO.
CTB	14

BRN. 305

Town Barnstable (Cotuit-Cotuit Port)

Address 621 Main Street

Historic Name Henry Hodges House

Use: Present dwelling

Original dwelling; shop

DESCRIPTION:

Date c. 1885

Source Santuit/Cotuit Historical Society

Style Greek Revival

Architect Henry Hodges (builder)

Exterior wall fabric clapboard

Outbuildings former Santuit schoolhouse (now cottage)

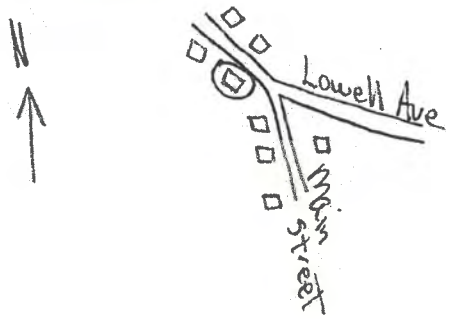
Major alterations (with dates) repalcement of first story facade windows c. 1960; insulation blown in 1982.

Moved no Date

Approx. acreage 1.25

Setting residential village area

SKETCH MAP
Show property's location in relation to nearest cross streets and/or geographical features. Indicate all buildings between inventoried property and nearest intersection. Indicate north.



Recorded by Harriet R. Cabot

Organization Barnstable Historical Comm.

Date May 1985

Photo #82-3-B14

(Staple additional sheets here)

ARCHITECTURAL SIGNIFICANCE (Describe important architectural features and evaluate in terms of other buildings within the community.)

If the 1885 construction date is correct, this is an extremely late example of the Greek Revival style, signified primarily by its very vertical proportions. Its major stylistic features are the shaped lintels over the entry and original windows, and the 6/6 sash.
The Hodges House is a 2½ story, three bay, one room deep structure enclosed by a gable roof and extended by a rear ell. Its three bay facade is centered around a very simple entry with shaped lintel, but no side lights or transom; its door with arched lights is typical of the Italianate style. The facade has unfortunately been altered by replacement of first story windows by multi-paned bay windows.

HISTORICAL SIGNIFICANCE (Explain the role owners played in local or state history and how the building relates to the development of the community.)

This house was built in 1885 as a two family dwelling perhaps accounting for its retardataire use of the Greek Revival style.Its original owners were Henry Hodges (1835-1921) and Eliza Baxter who occupied one-half and had a store at the front. There was a large barn at the rear and Mr. Hodges had bought an abandoned schoolhouse at Santuit and had it moved to the south of the house. The southern half of the house was occupied by his sister Emma (1846-1914) who had married Rowland Howland (1840-1909). Mr. Harlow did heavy teaming, having several work horses and also ran a stable with horses for hire.
After sale of the house to Dr. Peirson in 1903-04, the very old schoolhouse was moved to the north and set up in a field owned by Mr. Hodges and there he kept store for a time. Later he bought the Samuel Nickerson store and house at the junction of Main St. and Ocean View Ave. and continued to sell shoes and drygoods. The old barn was destroyed by hurricane of 1938. The schoolhouse has been moved once more to a lot adjoining the large house, and combined with another small building, has been made into an attractive small cottage.

Dr. Pierson married Genevieve Shreve and their son Benjamin married Elizabeth Gilbert in 1930.

BIBLIOGRAPHY and/or REFERENCES (name of publication, author, date and publisher)

Barnstable County Atlas. 1907.
Santuit/Cotuit Historical Society. Cotuit Library.

Pierson House 1959 west side Upper Main St.

In 1885 this was a two-family dwelling built by Henry Hodges 1835-1921
Eliza Baxter
who occupied one-half and had a store at the front. There was a large barn at the rear and Mr.Hodges had bought an abandoned schoolhouse at Santuit and had it moved to the south of the house.
The southern half of the house was occupied by his sister Emma 1846-1914
who had married Rowland Harlow 1840-1909
Mr. Harlow did heavy teaming, having several work horses and also ran a stable with horses for hire.
After the sale of this house to Dr.Pierson in 1903-4 the very old schoolhouse was moved to the north and set up in a field owned by Mr. Hodges and there he kept store for a time. Later he bought the Samuel Nickerson store and house at the junction of Main Street and Oceanview Avenue (Dr.Cahil House) and continued to sell Shoes and drygoods.
The old barn was destroyed by the hurricane of 1938. The schoolhouse has been moved once more to a lot adjoining the large house and combined with another small building has been made into an attractive small cottage.
The store windows are still in place at the front of the Pierson house.
Dr.Pierson married Genevieve Shreve and their son Benjamin married Elizabeth Gilbert in 1930. They are the present owners.

Mr. and Mrs. Rowland Harlow, Ernest Harlow, Mrs. Hodges, Eunice, Roland Harlow, Jr. and Mr. Hodges.

The small older house on the back (west) of the main house was used for a kitchen and connected to the store house by a large dining room used by the Pierson's.
The front house was remodeled in 1960 when the Benjamin Pierson retired & came to live here year round.
1985 Store now owned by Mr. & Mrs. Edward (Ned) J. Pierson, the schoolhouse is occupied by Mr. Benjamin Pierson (non-resident form) HRLabbot 5/8/85

Parcel: 036-062 | Location: 621 MAIN STREET (COTUIT), Cotuit | Owner: PEIRSON, ELIZABETH L & NICHOLAS D TRS

Parcel
036-062

Location
621 MAIN STREET (COTUIT)

Village
Cotuit

Town sewer at address
No

Developer lot:
LOT 2A & 1B & 1C

Fire district
Cotuit

Interactive map

Road index
0951

Secondary road

Asbuilt septic scan
036062_1 , 036062_2

Owner: PEIRSON, ELIZABETH L & NICHOLAS D TRS

Owner
PEIRSON, ELIZABETH L & NICHOLAS D TRS

Co-Owner
PEIRSON CHILDRENS TRUST

Book page
23599/ 257

Street1
975 MAIN STREET

Street2

City
COTUIT

State
MA

Zip
02635

Country

Land

Acres
1.44

Use
Single Fam MDL-01

Zoning
RF

Neighborhood
0109

Topography

Street factor

Town Zone of Contribution
WP (Wellhead Protection Overlay District)

Utilities

Location factor

State Zone of Contribution
IN

Construction

Building 1 of 1

Year built
1880

Roof structure
Gable/Hip

Heat type
Hot Water

Living area
4610

Roof cover
Asph/F Gls/Cmp

Heat fuel
Gas

Gross area
7765

Exterior wall
Vinyl Siding

AC type
None

Style
Conventional

Interior wall
Drywall

Bedrooms
4 Bedrooms

Model
Residential

Interior floor
Carpet, Hardwood

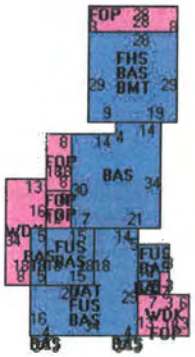
Bath rooms
4 Full-1 Half

Grade
Custom

Foundation
Mixed

Total rooms
10 Rooms

Stories
2 Stories



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
07/31/2018	Sid/Wind/Roof/Door	18-2152	$4,367		replace 1 door
09/06/2017	Sid/Wind/Roof/Door	17-3065	$5,332		replacement windows Uvalue .30 (3)
01/15/2010	Other	200906323	$75,000	05/26/2010	RES ELEVATOR
08/01/1990	Addition	B33904	$15,000	01/15/1991	CO GARAGE
06/02/1985	Addition	B27978	$35,000	01/15/1986	CO ADD'N
06/01/1985	Addition	B27978A	$0	01/15/1986	CO ADD'N

Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	04/09/2009	PEIRSON, ELIZABETH L & NICHOLAS D TRS	23599/ 257	$1
2	09/15/1993	PEIRSON, SUSAN R TR	8783/ 261	$1

Line	Sale Date	Owner	Book/Page	Sale Price
3	09/15/1993	PEIRSON, SUSAN R	8783/ 236	$1
4	10/15/1990	PEIRSON, EDWARD L & SUSAN R	7316/ 316	$1
5	12/15/1982	PEIRSON, EDWARD L	3639/ 238	$0

Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2020	$469,900	$63,100	$80,600	$301,900	$915,500
2	2019	$409,200	$63,100	$84,400	$315,100	$871,800
3	2018	$311,000	$63,100	$86,000	$317,900	$778,000
4	2017	$306,200	$63,200	$90,200	$317,900	$777,500
5	2016	$306,200	$63,200	$90,200	$318,100	$777,700
6	2015	$369,600	$79,600	$92,600	$305,100	$846,900
7	2014	$369,600	$79,600	$94,600	$305,100	$848,900
8	2013	$357,500	$80,700	$92,600	$305,100	$835,900
9	2012	$345,700	$78,600	$80,600	$315,100	$820,000
10	2011	$458,000	$48,300	$78,400	$315,100	$899,800
11	2010	$459,300	$8,400	$72,400	$322,000	$862,100
12	2009	$608,400	$6,300	$49,900	$326,900	$991,500
13	2008	$546,600	$6,300	$54,000	$369,900	$976,800
15	2007	$545,600	$6,300	$54,000	$369,900	$975,800
16	2006	$532,400	$6,300	$54,700	$363,400	$956,800
17	2005	$393,600	$6,300	$54,200	$191,200	$645,300
18	2004	$339,600	$6,300	$54,800	$191,200	$591,900
19	2003	$272,800	$6,300	$56,100	$122,100	$457,300
20	2002	$272,800	$6,300	$56,100	$122,100	$457,300
21	2001	$272,800	$7,300	$56,100	$122,100	$458,300
22	2000	$267,200	$6,600	$44,800	$80,100	$398,700
23	1999	$251,000	$6,200	$38,700	$80,100	$376,000
24	1998	$251,000	$6,200	$38,700	$80,100	$376,000
25	1997	$272,900	$0	$0	$68,400	$359,400
26	1996	$228,000	$0	$0	$68,400	$314,500
27	1995	$283,400	$0	$0	$68,400	$371,900
28	1994	$229,300	$0	$0	$51,300	$301,400
29	1993	$229,300	$0	$0	$52,000	$302,100
30	1992	$261,400	$0	$0	$57,000	$342,100
31	1991	$294,500	$0	$0	$102,200	$404,600
32	1990	$294,500	$0	$0	$102,200	$404,600
33	1989	$294,500	$0	$0	$102,200	$404,600
34	1988	$156,000	$0	$0	$44,700	$207,400
35	1987	$156,000	$0	$0	$44,700	$207,400
36	1986	$123,200	$0	$0	$44,200	$174,100

Photos


09/10/2012


06/28/2010


06/28/2010


09/10/2012


09/10/2012


09/10/2012


09/10/2012


09/10/2012


09/10/2012


05/26/2010


05/26/2010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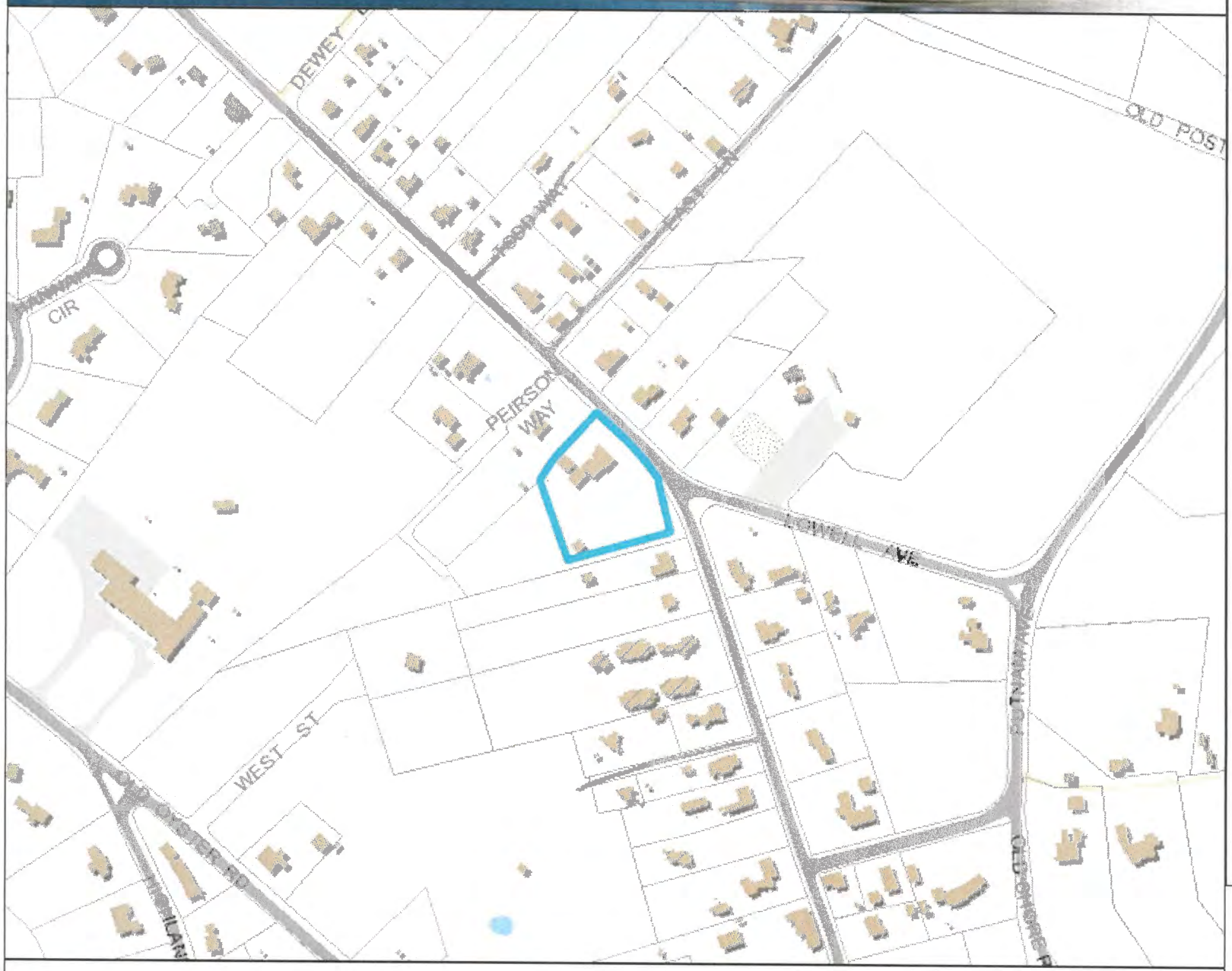
09/10/2012

TOWN OF BARNSTABLE

PROPERTY MAPS



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Parking Lots
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - Bridge
  - Paved Median
- Water Bodies

Map printed on: 2/20/2020

0 333 667 Feet

Approx. Scale: 1 inch = 333 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

TOWN OF BARNSTABLE

PROPERTY MAPS

Legend

Road Names

Map printed on: 2/20/2020

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet

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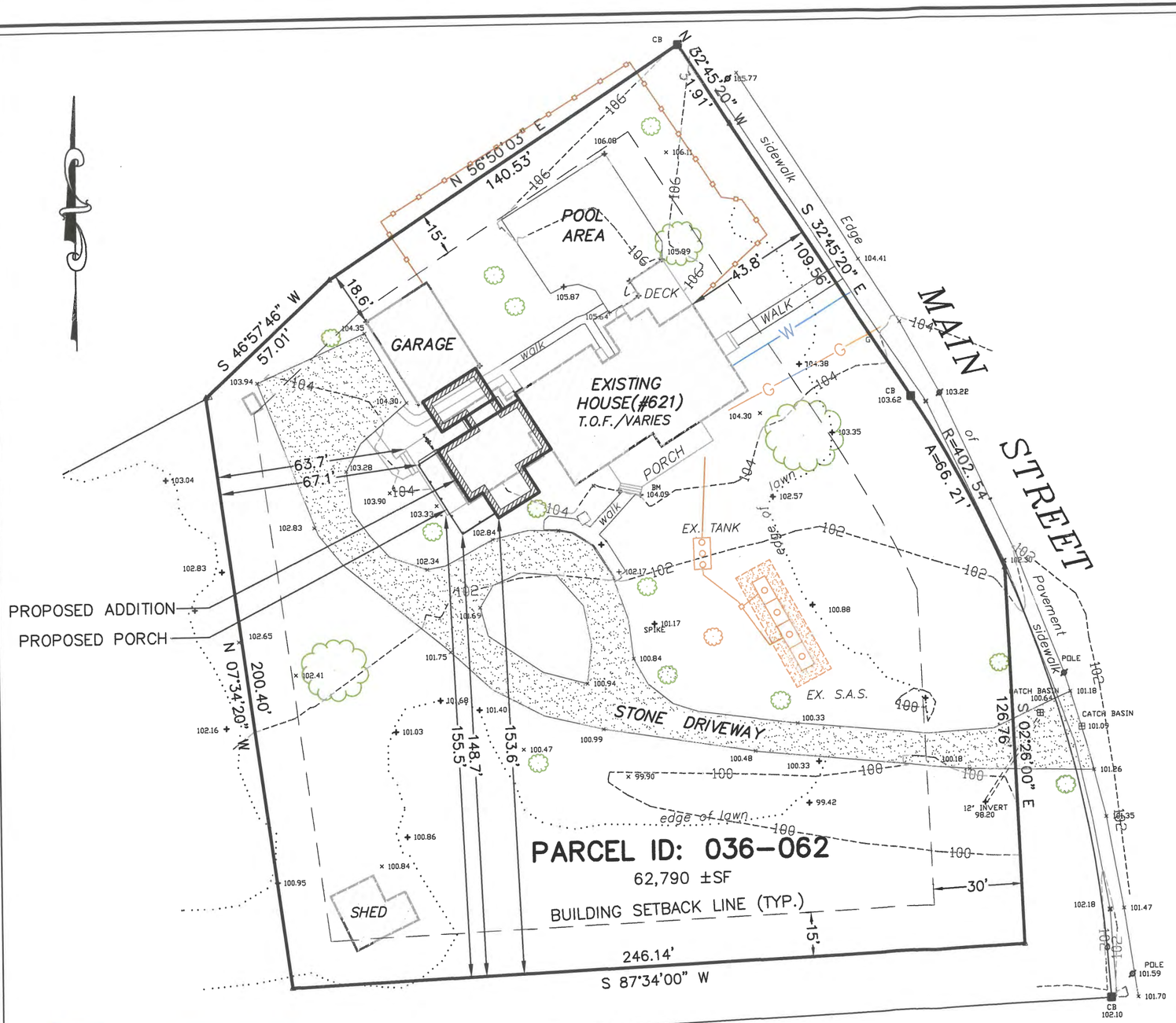
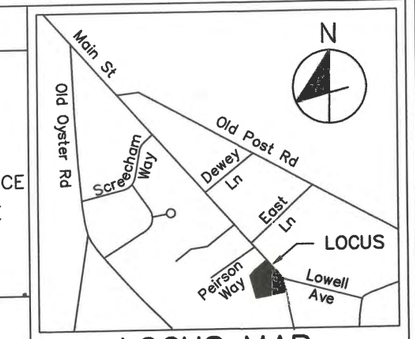


LEGEND

— 98 —	EXISTING CONTOUR
x 100.98	EXISTING SPOT GRADE
62	PROPOSED CONTOUR
O.H.W.	OVERHEAD WIRES
W	EXISTING WATER SERVICE
G	EXISTING GAS SERVICE
	TEST PIT
	BENCHMARK



LOCUS MAP
NOT TO SCALE

FLOOD ZONE DESIGNATION
FLOOD MAP 25001C0756J
EFFECTIVE 7/16/14
NON HAZARD–ZONE X

ZONING CLASSIFICATION: ZONE RF
SETBACKS: FRONT YARD=30'
SIDE/REAR YARD=15'
LOT AREA = 87,120 SF

WATER RESOURCE PROTECTION
SALTWATER ESTUARY PROTECTION
WELLHEAD PROTECTION (WP)
STATE DESIGNATED ZONE II

OVERLAY DISTRICT
RESOURCE PROTECTION

WIND EXPOSURE CATEGORY
Exposure B

NOTES:
1) TOTAL NUMBER OF BEDROOMS SHALL NOT EXCEED 5.
2) ALL ELEVATIONS ARE BASED ON AN ASSUMED DATUM.

COMMONWEALTH OF MASSACHUSETTS
PETER T. McENTEE
CIVIL
No. 35109
REGISTERED PROFESSIONAL ENGINEER
2/19/20

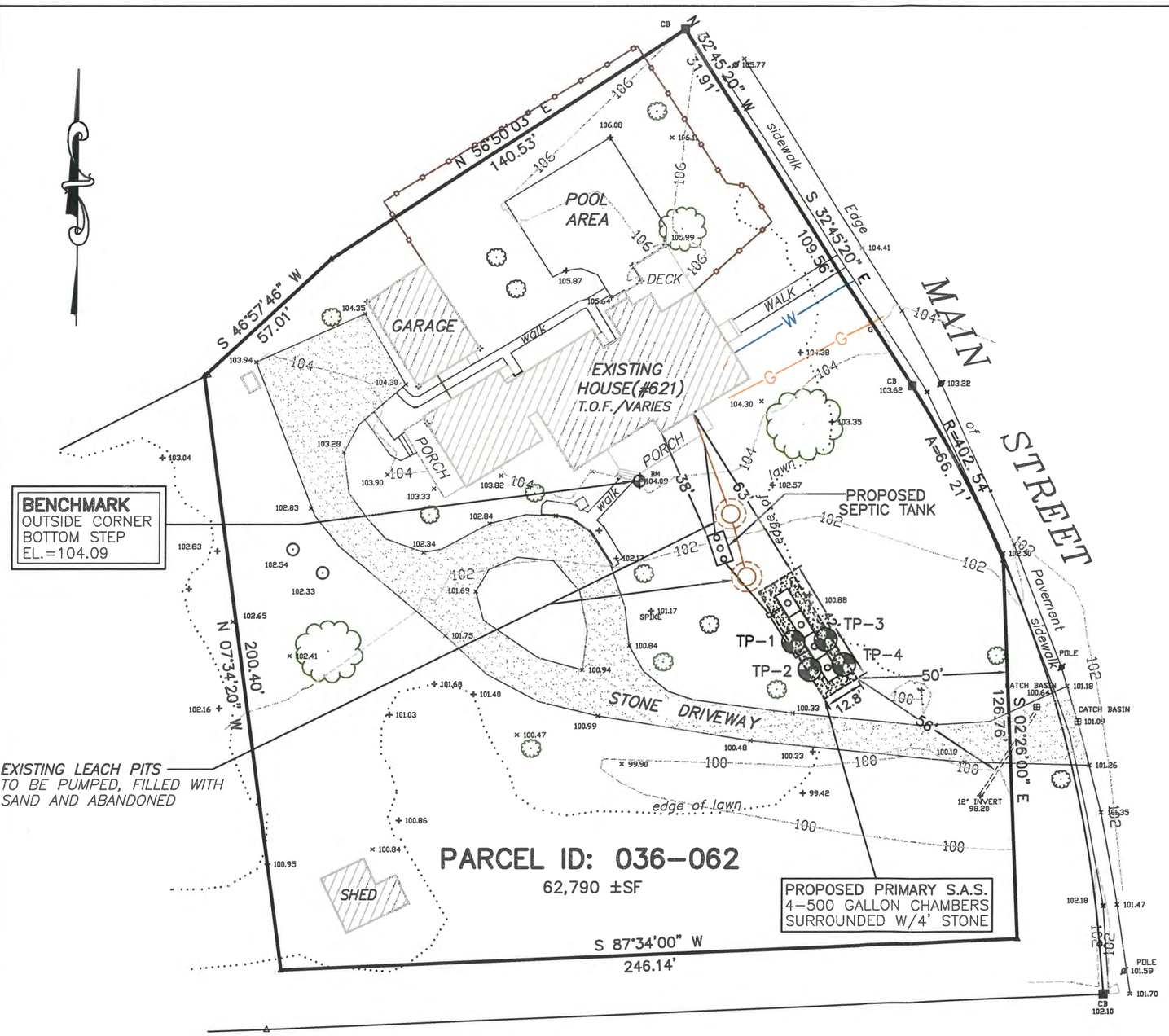
RECEIVED
FEB 19 2020
PLANNING & DEVELOPMENT

OWNER OF RECORD
PEIRSON CHILDRENS TRUST
PEIRSON, ELIZABETH L &
NICHOLAS D TRS
975 MAIN STREET
COTUIT, MA 02635

PROPOSED BUILDING ADDITION
621 MAIN STREET, COTUIT, MA

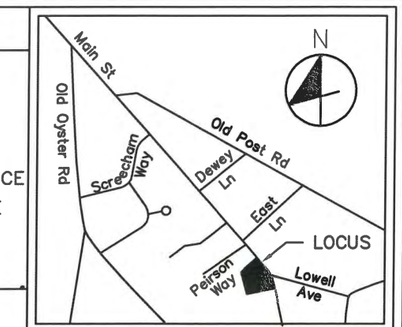
Prepared for: ARCHI–TECH ASSOCIATES, INC, 6 School St., Cotuit, MA 02635

Engineering by: Engineering *Works, Inc.* 12 West Crossfield Road, Forestdale, MA 02644 (508) 477–5313	SCALE 1"=40'	DRAWN P.T.M.	JOB. NO. 131–20
	DATE 2/19/20	CHECKED P.T.M.	SHEET NO. 1 of 1



LEGEND

98	EXISTING CONTOUR
x 100.98	EXISTING SPOT GRADE
62	PROPOSED CONTOUR
O.H.W.	OVERHEAD WIRES
W	EXISTING WATER SERVICE
G	EXISTING GAS SERVICE
	TEST PIT
	BENCHMARK



LOCUS MAP
NOT TO SCALE

GENERAL NOTES:

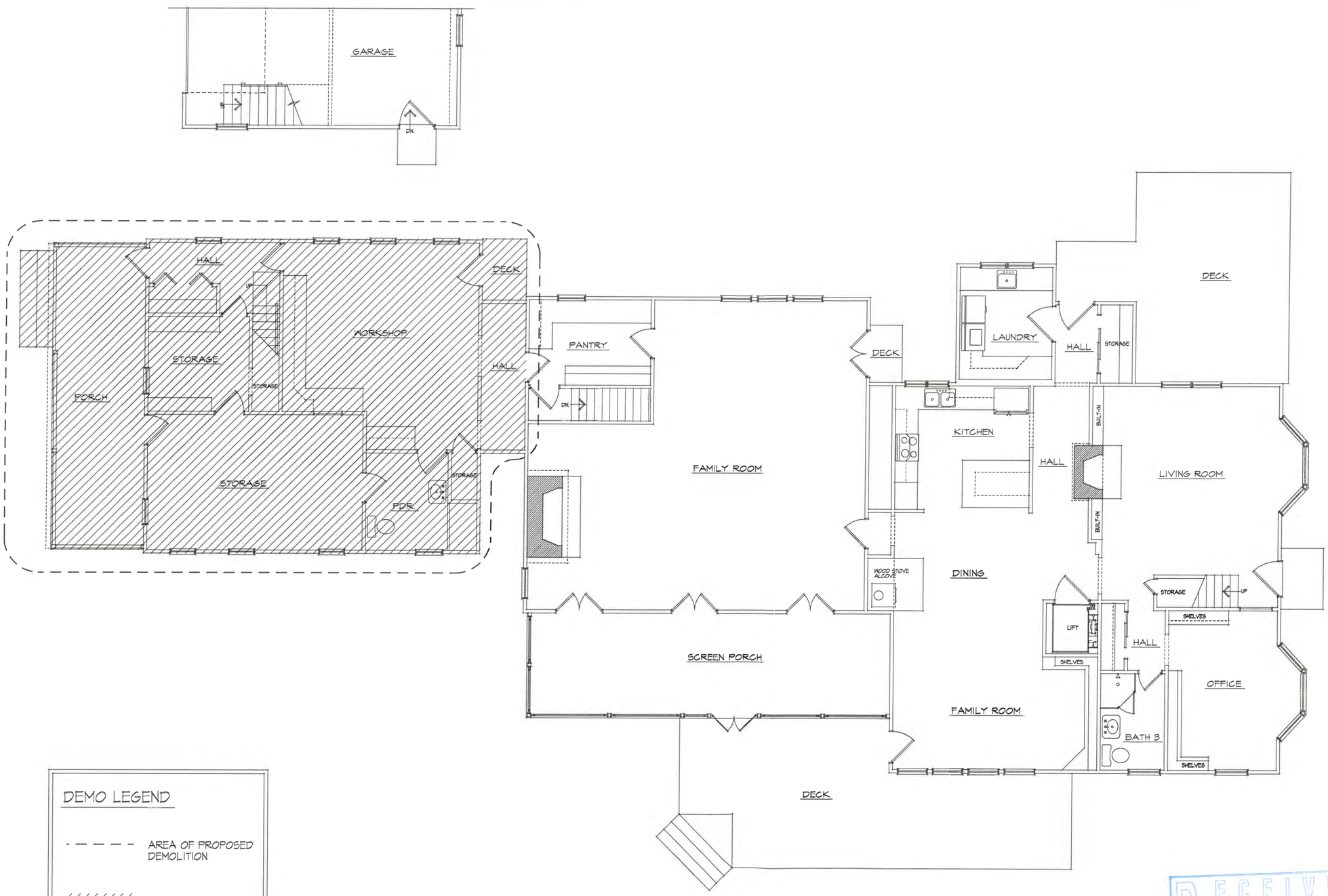
1. ALL CHANGES TO THIS PLAN MUST BE APPROVED BY THE LOCAL BOARD OF HEALTH AND THE DESIGN ENGINEER.
2. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE STATE ENVIRONMENTAL CODE, TITLE V, AND ANY APPLICABLE LOCAL RULES AND REGULATIONS.
3. THE SEWAGE DISPOSAL SYSTEM SHALL NOT BE BACKFILLED PRIOR TO INSPECTION AND APPROVAL BY THE BOARD OF HEALTH AND THE DESIGN ENGINEER.
4. ANY CONDITIONS ENCOUNTERED DURING CONSTRUCTION DIFFERING FROM THOSE SHOWN HEREON SHALL BE REPORTED TO THE DESIGN ENGINEER BEFORE CONSTRUCTION CONTINUES.
5. ALL ELEVATIONS BASED ON AN ASSUMED DATUM.
6. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR OR OWNER TO NOTIFY THE LOCAL BOARD OF HEALTH FOR PROPER INSPECTIONS DURING CONSTRUCTION.
7. WATER SUPPLY PROVIDED BY TOWN WATER SERVICE.
8. THERE ARE NO WELLS WITHIN 150' OF THE PROPOSED S.A.S.
9. ALL AREAS CLEARED FOR CONSTRUCTION SHALL BE RESTORED AS AGREED UPON BY OWNER AND CONTRACTOR OR AS OTHERWISE DIRECTED BY THE APPROVING AUTHORITIES.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, PRIOR TO BEGINNING CONSTRUCTION.
11. WHERE REQUIRED, CONTRACTOR SHALL REMOVE ALL UNSUITABLE SOILS IN THE AREA BENEATH AND FOR 5' ON ALL SIDES OF THE S.A.S. AND REPLACE WITH CLEAN SAND AS SPECIFIED IN 310 CMR 255(3).
12. AREAS REQUIRING STRIPOUT OF UNSUITABLE MATERIALS SHALL BE INSPECTED BY DESIGN ENGINEER PRIOR TO BACKFILL.
13. THIS PLAN IS TO BE USED FOR SEPTIC SYSTEM PURPOSES ONLY AND NOT CONSIDERED TO BE A PROPERTY LINE SURVEY.
14. THE ENGINEER IS NOT RESPONSIBLE FOR ANY UNDOCUMENTED SEPTIC SYSTEM COMPONENTS NOT SHOWN ON THE PLAN.

OWNER OF RECORD
PEIRSON CHILDRENS TRUST
PEIRSON, ELIZABETH L &
NICHOLAS D TRS
975 MAIN STREET
COTUIT, MA 02635

PROPOSED SEPTIC SYSTEM UPGRADE PLAN
621 MAIN STREET, COTUIT, MA

Prepared for: Susan Peirson, 1431 S. Ocean Blvd. 20, Lauderdale By The Sea, FL 33062

Engineering by:	SCALE	DRAWN	JOB. NO.
Engineering *Works, Inc.*	1"=40'	P.T.M.	115-18
12 West Crossfield Road, Forestdale, MA 02644 (508) 477-5313	DATE 3/14/18	CHECKED P.T.M.	SHEET NO. 1 of 2



DEMO LEGEND

- - - - - AREA OF PROPOSED DEMOLITION

EXISTING STRUCTURE TO BE DEMOLISHED

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
FIRST FLOOR LIVING AREA = 3,000 SQ. FT. (INCLUDED STAIRS)

ISSUED FOR REVIEW

2/11/2020 3:44 PM

ARCHI-TECH ASSOCIATES
6 school street ✆ 508.420.5335 ✆ 508.420.5304
cotuit, ma 02655 @ info@architechassociates.com
architechassociates.com

residential design

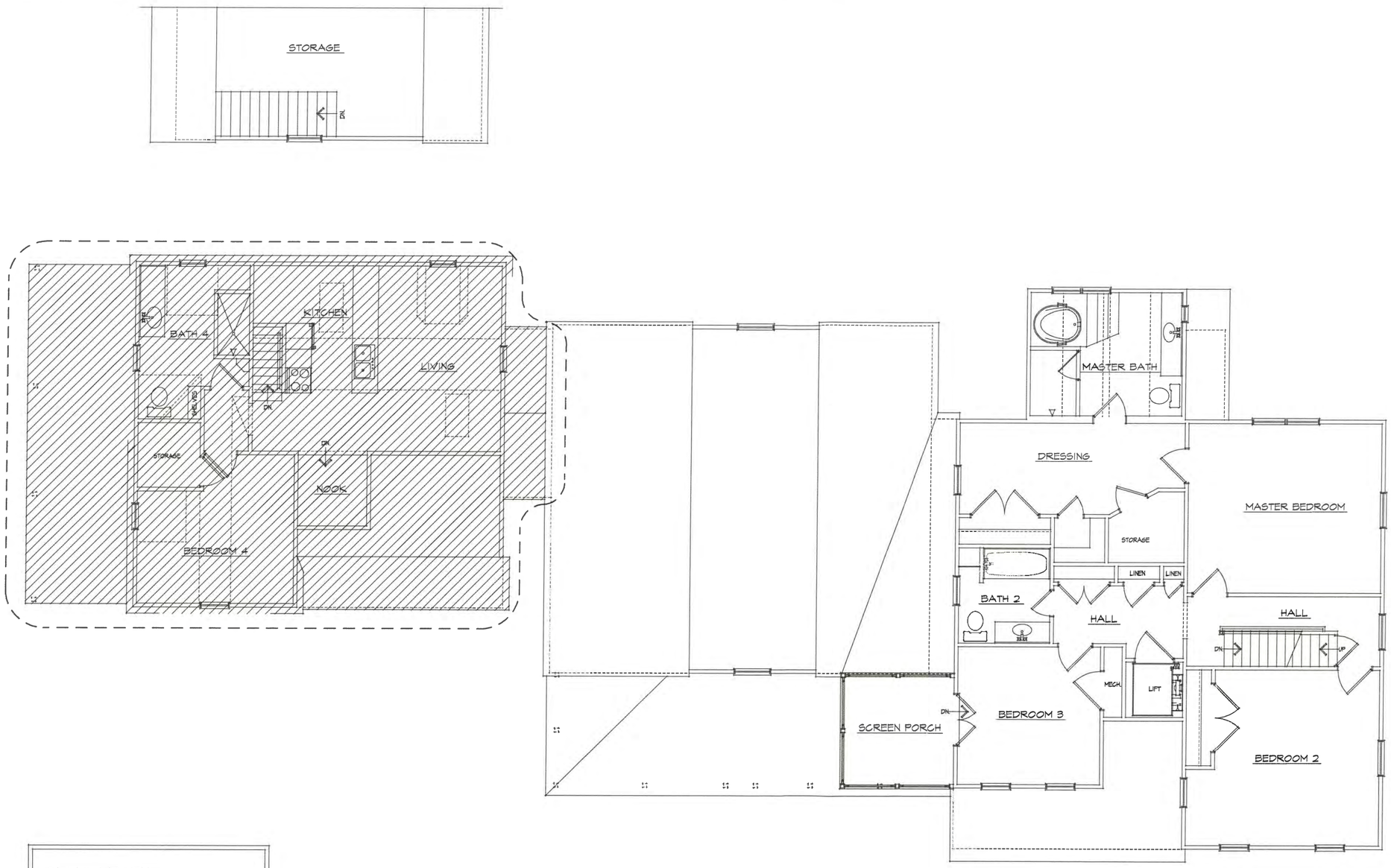
Existing Conditions at the
Peirson Residence
621 Main Street
Cotuit, Massachusetts

First Floor Plan

job no. :	1418
date :	11 FEBRUARY 2020
scale :	AS NOTED
drawn :	ELC
rev. :	
rev. :	

EX-1

sht of



DEMO LEGEND

- - - - - AREA OF PROPOSED DEMOLITION

EXISTING STRUCTURE TO BE DEMOLISHED

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
SECOND FLOOR LIVING AREA = 1,780 SQ. FT.

ISSUED FOR REVIEW

ARCHI-TECH ASSOCIATES
6 school street ✆ 508.420.5335 ℻ 508.420.5304
cotuit, ma 02635 @ info@architechassociates.com
architechassociates.com

residential design

Existing Conditions at the
Peirson Residence
621 Main Street
Cotuit, Massachusetts

Second Floor Plan

job no.:	1918
date :	11 FEBRUARY 2020
scale :	AS NOTED
drawn :	ELC
rev. :	
rev. :	

EX-2

sht of

2/11/2020 3:44 PM

EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"

DEMO LEGEND

EXISTING STRUCTURE TO BE DEMOLISHED

AREA OF PROPOSED DEMOLITION

PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

ISSUED FOR REVIEW

ARCHI-TECH ASSOCIATES
6 school street t 508.420.5335 f 508.420.5304
cotuit, ma 02635 e info@architechassociates.com
architechassociates.com

residential design

additions & alterations at the
Peirson Residence
621 Main Street
Cotuit, Massachusetts

Proposed & Existing Elevations

job no.:	1918
date :	11 FEBRUARY 2020
scale :	AS NOTED
drawn :	ELC, JAL
rev. :	
rev. :	

A-3

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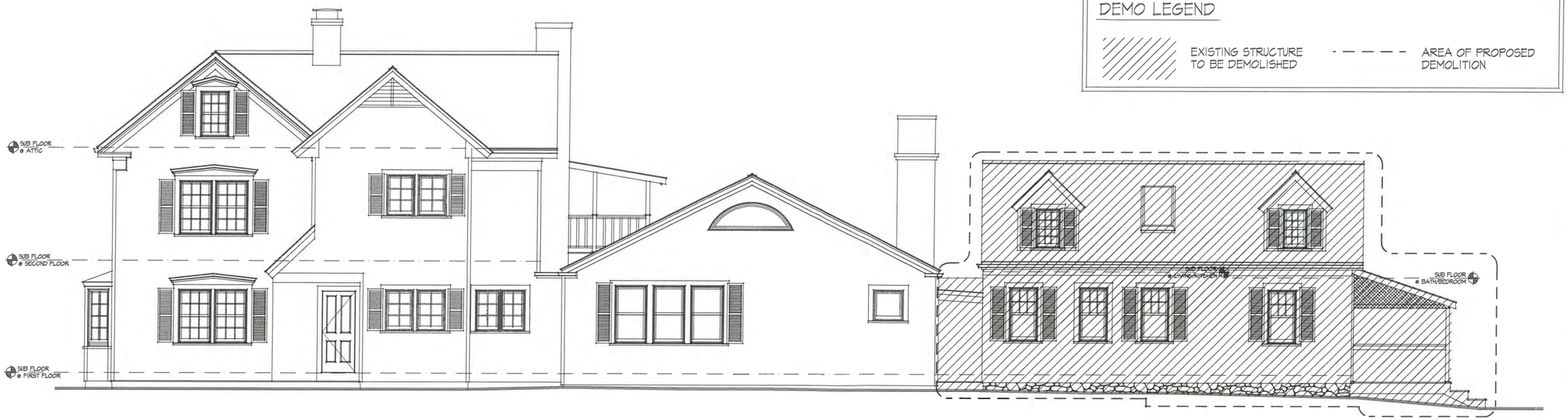
2/11/2020 3:55 PM



EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

DEMO LEGEND

EXISTING STRUCTURE TO BE DEMOLISHED

AREA OF PROPOSED DEMOLITION

PROPOSED RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

RECEIVED FEB 19 2020 PLANNING & DEV

ARCHI-TECH ASSOCIATES
6 school street ✆ 508.420.5335 🖷 508.420.5304
cotuit, ma 02635 @ info@architechassociates.com
architechassociates.com
residential design

additions & alterations at the
Peirson Residence
621 Main Street
Cotuit, Massachusetts

Proposed & Existing Elevations

job no. :	1418
date :	11 FEBRUARY 2020
scale :	AS NOTED
drawn :	ELC, JAL
rev. :	
rev. :	

A-4

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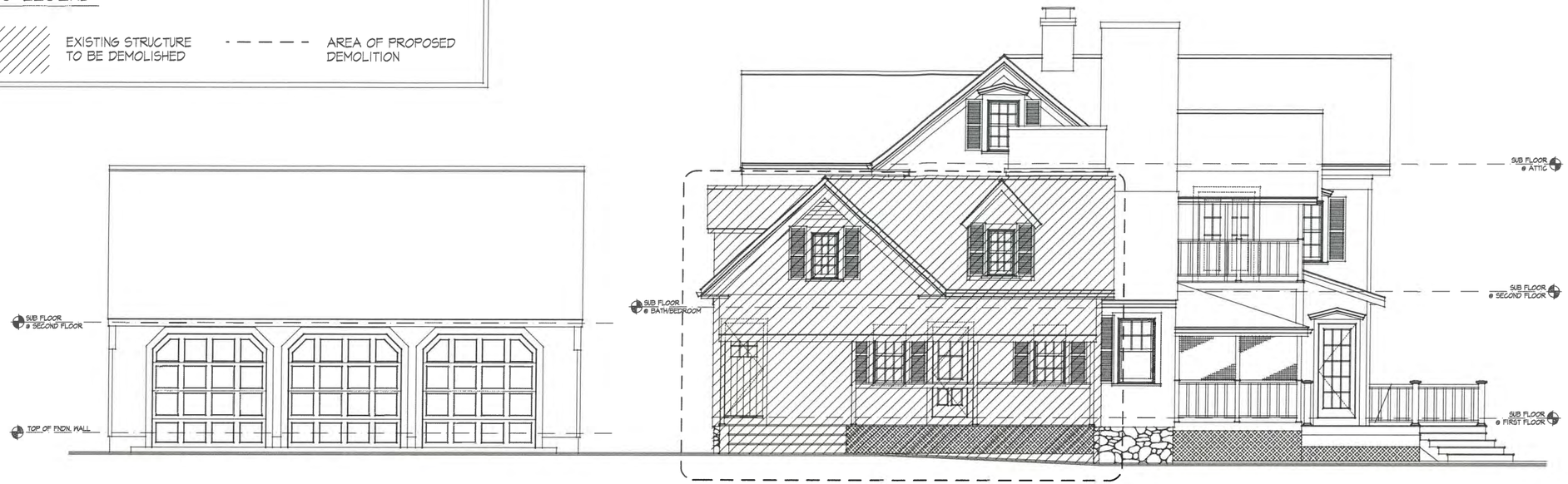
ISSUED FOR REVIEW

2/11/2020 3:55 PM

DEMO LEGEND

EXISTING STRUCTURE TO BE DEMOLISHED

AREA OF PROPOSED DEMOLITION



EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

ARCHI-TECH ASSOCIATES

6 school street ✆ 508.420.5335 f 508.420.5304
cotuit, ma 02635 @ info@architechassociates.com

architechassociates.com

residential design

additions & alterations at the
Peirson Residence
621 Main Street
Cotuit, Massachusetts

Proposed & Existing Elevations

job no.:	1918
date :	11 FEBRUARY 2020
scale :	AS NOTED
drawn :	ELC, JAL
rev. :	
rev. :	

A-5

ISSUED FOR REVIEW

sht of

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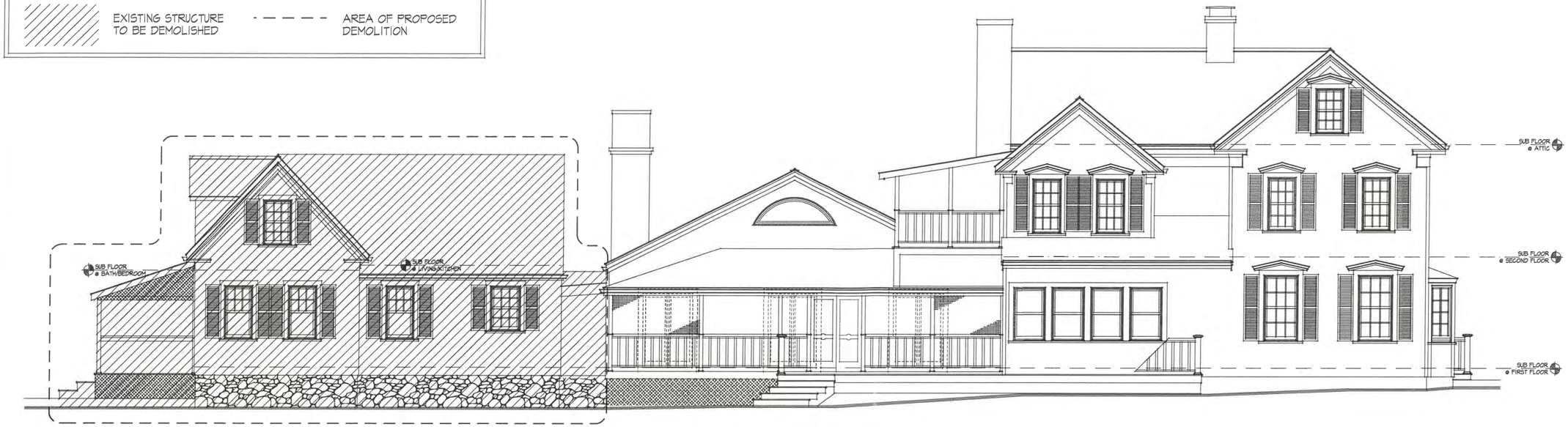
DEMO LEGEND

EXISTING STRUCTURE TO BE DEMOLISHED

AREA OF PROPOSED DEMOLITION



EXISTING LEFT ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"

ISSUED FOR REVIEW

ARCHI-TECH ASSOCIATES

6 school street ✆ 508. 420. 5335 ✆ 508. 420. 5304
cotuit, ma 02635 @ info@architechassociates.com

architechassociates.com

residential design

additions & alterations at the

Peirson Residence

621 Main Street
Cotuit, Massachusetts

Proposed & Existing Elevations

job no.:	1918
date :	11 FEBRUARY 2020
scale :	AS NOTED
drawn :	ELC, JAL
rev. :	
rev. :	

A-6

sht of

2/11/2020 3:55 PM

TOWN'S ORIGINAL

TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp
20 FEB 19 A9:45

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 2/17/2020 ☐ Full Demotion ☐ Partial Demolition (ADDITION)

Building Address: 9 (Number) EAST BAY (Street)

OSTERVILLE (Village) 02655 (ZIP) Assessor's Map # 141 Assessor's Parcel # 009/001

Property Owner: PATRICK CALLAHAN (Name) — (Phone#)

Property Owner Mailing Address (if different than building address) 52 PROSPECT AVE, POCASSET, MA 02559

Property Owner e-mail address: PATRICK.CALLAHAN@C-S-I.COM

Contractor/Agent: ALEXANDER RANNEY

Contractor/Agent Mailing Address: 969 MAIN ST. OSTERVILLE, MA 02655

Contractor/Agent Contact Name and Phone #: (Name) (508) 733-4683 (Phone #)

Contractor/Agent Contact e-mail address: ALEX@RANNEYRIMINGTON.COM

Demolition Proposed - please itemize all changes:

ADD GARAGE TO REAR OF HOUSE - 2 CAR W/ ROOM ABOVE

Type of New Construction Proposed: (LIKE FOR LIKE)

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1829 Additions Year Built: 2012

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No ☐ Yes ☑

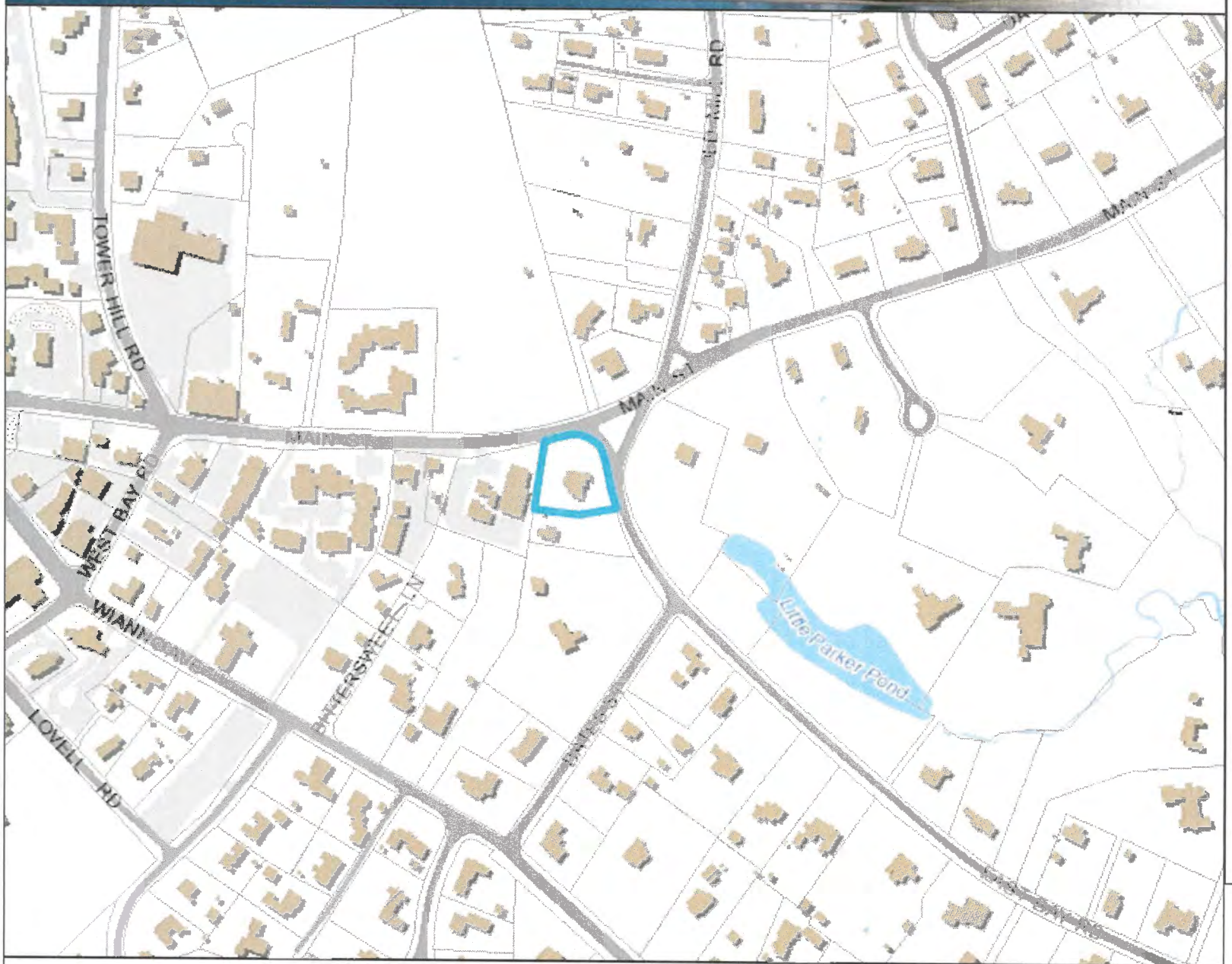
(CONTRACT)
Property Owner/Agent Signature

BHC NOID 2018.doc

INDIVIDUALLY LISTED ON THE NR

TOWN OF BARNSTABLE

PROPERTY MAPS



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Parking Lots
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - Bridge
  - Paved Median
- Water Bodies

Map printed on: 2/20/2020

0 333 667 Feet

Approx. Scale: 1 inch = 333 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

TOWN OF BARNSTABLE

PROPERTY MAPS

Legend

Road Names

Map printed on: 2/20/2020

0 42 83 Feet

Approx. Scale: 1 inch = 42 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

NRIND NRMRA [BRN.N] 09/18/1987

FORM B - BUILDING

141/009-001

Barnstable, MA MRA

AREA	FORM NO.
OVA	24

MASSACHUSETTS HISTORICAL COMMISSION
80 BOYLSTON STREET
BOSTON, MA 02116

geographical features. Indicate all buildings between inventoried property and nearest intersection(s).
Indicate north

see attached assessors' map

UTM REFERENCE 19/385020/4609140

USGS QUADRANGLE Cotuit, MA

SCALE 1:25,000

Barnstable (Osterville-Main St.)

ess 9 East Bay Road

oric Name Shubael Baxter House

Present dwelling

Original dwelling

RIPTION

c. 1829

ce Registry of Deeds

e Federal/Colonial Revival remodelings

itect unknown

rior Wall Fabric clapboard

Outbuildings barn, garage

Major Alterations (with dates)

house enlarged by two bays, monumental central portico & quoins added-early 20th ce

Condition

excellent

Moved NO Date n/a

Acreage .93 141/9-1,9-2

Setting residential east of commercial center

National Register
Individual listing 9/18/1987

Recorded by Candace Jenkins/Barbara Crosby

Organization Barnstable Historical Comm.

Date 1986

Photo # -37-A24

NATIONAL REGISTER CRITERIA STATEMENT (if applicable)

The Captain Shubael Baxter House possesses integrity of location, design, setting, materials, workmanship, feeling and association. It is significant as the home of a local sea captain and as an impressive piece of architecture that has acheived its present appearance through a major Colonial Revival style remodeling of an earlier Federal period house. It thus meets criteria B and C of the National Register of Historic Places.

ARCHITECTURAL SIGNIFICANCE Describe important architectural features and evaluate in terms of other buildings within the community.

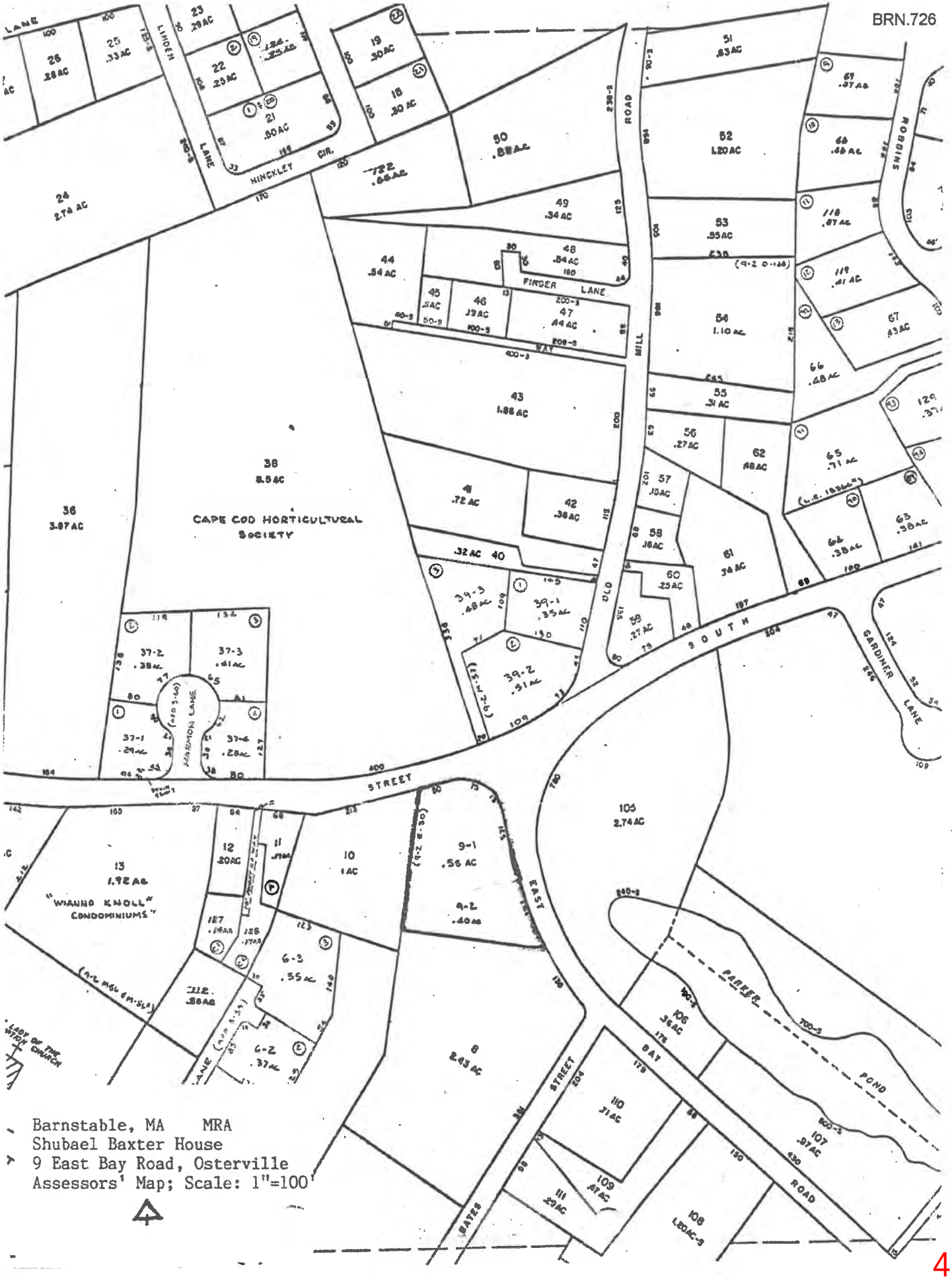
The impressive Shubael Baxter House represents an early 20th century remodeling of a Federal period house with full-blown Colonial Revival style details. Rising two stories to a hip roof, it is seven bays (expanded eastward by two bays) in length, with its facade organized around a monumental two story entry pavillion which breaks through the roof in a segmental curve. The entry itself is headed by a segmental pediment and surmounted by a three part window at the second story. Corners are emphasized with heavy quoins. Windows are simply framed and contain 12/12 sash.

HISTORICAL SIGNIFICANCE Explain the role owners played in local or state history and how the building relates to the development of the community.

The house was originally owned by Shubael Baxter, a sea captain and privateer. It was later owned by Capt. James Henry Parker (1828-1869) who was lost overboard while in command of the schooner "Abbie Bursley" near Montauk Point. Later in the 19th century, it was owned by Dr. Thomas R. Clement, a former Civil War Surgeon. In 1907 it was owned by J. S. Twombley who may have been responsible for the Colonial Revival style remodelings.

BIBLIOGRAPHY and/or REFERENCES

Barnstable County Registry of Deeds.
Barnstable County Atlasses. 1858, 1880, 1907.
Chesbro & Crosby. Osterville, A Walk Through the Past. 1979.
Trayser, Donald. Barnstable, Three Centuries of a Cape Cod Town. 1939.
Deyo, Simeon. History of Barnstable County, MA. 1890.
The Seven Villages of Barnstable.



Barnstable, MA MRA
Shubael Baxter House
9 East Bay Road, Osterville
Assessors' Map; Scale: 1"=100'

BRN 726

AREA	FORM NO.
OV A	24

FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
80 BOYLSTON STREET, BOSTON, MA 02116

Town Barnstable (Osterville-Main St.)

Address 9 East Bay Road

Historic Name Shubael Baxter House

Use: Present dwelling

Original dwelling

DESCRIPTION:

Date c. 1829

Source Registry of Deeds

Style Federal/Colonial Revival remodelings

Architect unknown

Exterior wall fabric clapboard

Outbuildings barn, garage

Major alterations (with dates)

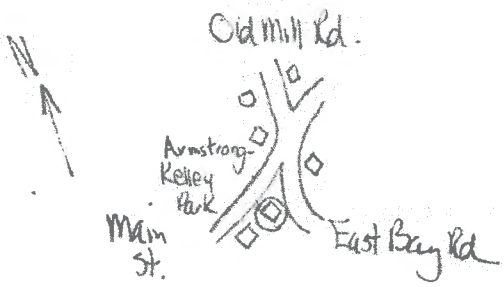
house enlarged by two bays, monumental central portico and quoins added- early 20th cen.

Moved no Date

Approx. acreage .93

Setting residential east of commercial center

Show property's location in relation to nearest cross streets and/or geographical features. Indicate all buildings between inventoried property and nearest intersection. Indicate north.



Recorded by Barbara Crosby

Organization Barnstable Historical Comm.

Date 1981 revised 1985

Photo #99-37-A24

(Staple additional sheets here)

Ben. 726

ARCHITECTURAL SIGNIFICANCE (Describe important architectural features and evaluate in terms of other buildings within the community.)

The impressive Shubael Baxter House represents an early 20th century remodeling of a Federal period house with full-blown Colonial Revival style details. Rising two stories to a hip roof, it is seven bays (expanded eastward by two bays) in length, with its facade organized around a monumental two story entry pavillion which breaks through the roof in a segmental curve. The entry itself is headed by a segmental pediment and surmounted by a three part window at the second story. Corners are emphasized with heavy quoins. Windows are simply framed and contain 12/12 sash.

HISTORICAL SIGNIFICANCE (Explain the role owners played in local or state history and how the building relates to the development of the community.)

The house was originally owned by Shubael Baxter, a sea captain and privateer. It was later owned by Capt. James Henry Parker (1829-1869) who was lost overboard while in command of the schooner "Abbie Bursley" near Montauk Point. Later in the 19th century it was owned by Dr. Thomas R. Clement, a former Civil War surgeon. In 1907 it was owned by J.S. Twombley who may have been responsible for the Colonial Revival style remodelings.

BIBLIOGRAPHY and/or REFERENCES (name of publication, author, date and publisher)

BArnstable County Registry of Deeds.
Barnstable County Atlases. 1858, 1880, 1907.
Chesbro & Crosby. Osterville, A Walk Through the Past. 1979.
Trayser, Donald. Barnstable, Three Centuries of a Cape Cod Town. 1939.
Deyo, Simeon. History of Barnstable County, Mass. 1890.
The Seven Villages of Barnstable. 1979.

February 18, 1988 The Barnstable Patriot

THE SHUBAEL BAXTER HOUSE--This house, at 8 East Bay Road, Osterville, was originally owned by a sea captain-privateer. (Forty-seventh in a series on properties in the town of Barnstable listed in the National Register of Historic Places)

Historic Homes of Barnstable

This impressive house represents an early 20th-Century remodeling of a Federal-period house with fullblown Colonial Revival details. Rising two stories to a hip roof, it is seven bays wide (including a two-bay expansion), its facade today dominated by the monumental "new" central portico.

That portico, built probably by J.S. Twombley, who bought the place in 1907, rises more than two stories to break into the roof in a segmental curve, that curve being repeated in the segmental pediment that heads the central entry itself. Heavy quoins that emphasize the corners were also added at the same time.

The history of the place is rather interesting. The house, at the southwest corner of East Bay Road and Main Street, was originally owned by privateering sea Captain Shubael Baxter when it was built around 1829.

A later owner was Capt. James Henry Parker, who lived from 1829 till he was lost overboard while commanding the schooner Abbie Bursley near Montauk Point, L.I. A still later owner in that century was a former Civil War surgeon, Dr. Thomas R. Clement.

Information and photo courtesy of
Barnstable Historical Commission

Parcel: 141-009-001 | Location: 9 EAST BAY ROAD, Osterville | Owner: CALLAHAN, PATRICK

Parcel 141-009-001	Developer lot:	Road index 0468
Location 9 EAST BAY ROAD	Fire district C-O-MM	Secondary road MAIN STREET (OST.)
Village Osterville	Interactive map	
Town sewer at address No		

Asbuilt septic scan
141009001_1 , 141009001_2

Owner: CALLAHAN, PATRICK

Owner CALLAHAN, PATRICK	Co-Owner	Book page 31948/ 22
Street1 52 PROSPECT AVENUE	Street2	
City POCASSET	State Zip Country MA 02559	

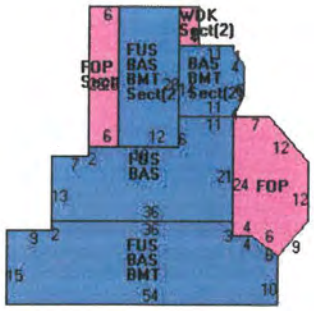
Land

Acres 0.55	Use Single Fam MDL-01	Zoning SPLIT RC;BA	Neighborhood 0115
Topography Level	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Septic,Gas,Public Water	Location factor	State Zone of Contribution OUT	

Construction

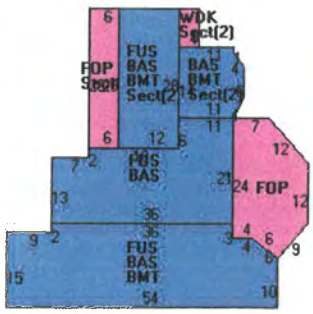
Building 1 of 2

Year built 1829	Roof structure Gable/Hip	Heat type Hot Air
Living area 3755	Roof cover Asph/F Gls/Cmp	Heat fuel Gas
Gross area 5664	Exterior wall Wood Shingle, Clapboard	AC type Central
Style Colonial	Interior wall Plastered	Bedrooms 5 Bedrooms
Model Residential	Interior floor Pine/Soft Wood, Quarry Tile	Bath rooms 0 Full-0 Half
Grade Custom Plus	Foundation Brick Walls	Total rooms 12 Rooms
Stories 2 Stories		



Building 1 of 2

Year built 2012	Roof structure Gable/Hip	Heat type Hot Air
Living area 3755	Roof cover Asph/F Gls/Cmp	Heat fuel Gas
Gross area 5664	Exterior wall Wood Shingle, Clapboard	AC type Central
Style Colonial	Interior wall Plastered	Bedrooms
Model Residential	Interior floor Pine/Soft Wood, Quarry Tile	Bath rooms 0 Full-0 Half
Grade Custom Plus	Foundation Brick Walls	Total rooms 2
Stories 2 Stories		



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
08/14/2012	Remodel-Addition	201203768	$250,000	04/10/2013	DEMO 12X30 WING OF HSE IN REAR-REBLD TO EXIST ADDING 12X14 FOR KIT/DIN
01/25/2011	New Windows	201100398	$3,500	06/30/2011	REPLC 2 WINDS-MARVIN
03/24/2008	New Siding	200801549	$4,000	06/30/2008	RESIDE
01/07/2008	New Roof	200800091	$12,800	06/30/2008	REROOF STRIPPING OLD

Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	04/12/2019	CALLAHAN, PATRICK	31948/ 22	$1,475,000
2	06/30/2010	WHITE, ELAINE B & MARTIN	24654/ 210	$1
3	12/21/2007	WHITE, ELAINE B	22563/ 131	$1,225,000
4	10/08/2004	SPIOTTA, ROLAND D & ESTHER M	19121/ 255	$100
5	03/24/1999	SPIOTTA, ROLAND D	12146/ 145	$100
6	05/14/1990	SPIOTTA, ESTHER M	7159/ 51	$1
7	04/09/1970	SPIOTTA, ROLAND D	1468/ 733	$50,000

Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2020	$420,300	$54,200	$1,700	$814,400	$1,290,600
2	2019	$421,700	$54,500	$1,700	$787,200	$1,265,100
3	2018	$352,600	$54,800	$1,800	$720,100	$1,129,300
4	2017	$336,100	$55,600	$1,700	$720,100	$1,113,500
5	2016	$336,100	$55,600	$1,700	$716,600	$1,110,000
6	2015	$360,400	$55,400	$2,100	$713,200	$1,131,100
7	2014	$360,400	$55,400	$2,100	$713,200	$1,131,100
8	2013	$320,700	$36,100	$5,200	$713,200	$1,075,200
9	2012	$328,000	$34,600	$4,000	$656,600	$1,023,200
10	2011	$379,000	$3,300	$0	$656,600	$1,038,900
11	2010	$379,500	$3,300	$0	$656,600	$1,039,400
12	2009	$451,400	$2,400	$0	$871,000	$1,324,800
13	2008	$458,800	$2,400	$0	$907,700	$1,368,900
15	2007	$416,100	$2,300	$0	$907,700	$1,326,100
16	2006	$406,600	$2,300	$0	$902,500	$1,311,400
17	2005	$336,400	$2,100	$0	$820,500	$1,159,000
18	2004	$293,400	$2,300	$0	$965,300	$1,261,000
19	2003	$268,600	$2,300	$0	$434,000	$704,900
20	2002	$268,600	$2,300	$0	$434,000	$704,900
21	2001	$281,400	$2,600	$0	$434,000	$718,000
22	2000	$329,000	$2,500	$0	$155,100	$486,600
23	1999	$329,000	$2,500	$0	$155,100	$486,600
24	1998	$329,000	$2,500	$0	$155,100	$486,600
25	1997	$326,700	$0	$0	$155,100	$481,800
26	1996	$326,700	$0	$0	$155,100	$481,800
27	1995	$326,700	$0	$0	$155,100	$481,800
28	1994	$274,600	$0	$0	$139,600	$414,200

Card #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
29	1993	$274,600	$0	$0	$139,600	$414,200
30	1992	$312,700	$0	$0	$155,100	$467,800
31	1991	$364,900	$0	$0	$232,700	$597,600
32	1990	$364,900	$0	$0	$232,700	$597,600
33	1989	$364,900	$0	$0	$232,700	$597,600
34	1988	$282,500	$0	$0	$111,400	$393,900
35	1987	$282,500	$0	$0	$111,400	$393,900
36	1986	$282,500	$0	$0	$111,400	$393,900

Photos


04/10/2013


04/10/2013


04/10/2013


04/10/2013

FRONT

51

LEFT #1

LEFT #2

BACK

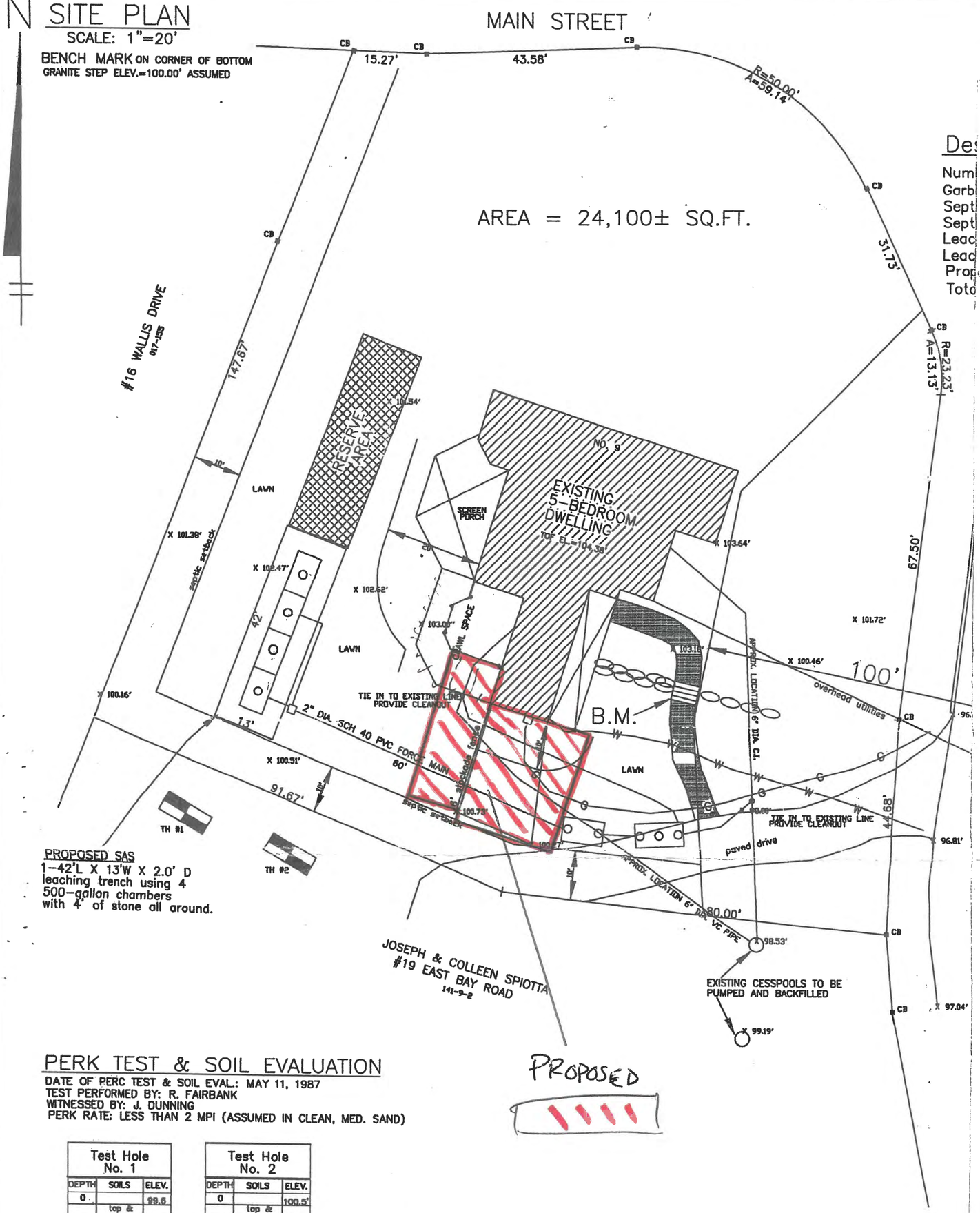
RIGHT #1

RIGHT #2

SITE PLAN

SCALE: 1"=20'

BENCH MARK ON CORNER OF BOTTOM GRANITE STEP ELEV.=100.00' ASSUMED



PROPOSED SAS
1-42'L X 13'W X 2.0' D leaching trench using 4 500-gallon chambers with 4' of stone all around.

PERK TEST & SOIL EVALUATION

DATE OF PERC TEST & SOIL EVAL.: MAY 11, 1987
TEST PERFORMED BY: R. FAIRBANK
WITNESSED BY: J. DUNNING
PERK RATE: LESS THAN 2 MPI (ASSUMED IN CLEAN, MED. SAND)

Test Hole No. 1

DEPTH	SOILS	ELEV.
0		99.6
2.0'	top & subsoil	97.6'
5'	clean medium sand	94.6'
8.5'	clean fine sand obs. ▽ GW	91.1'
10'		89.6'

Test Hole No. 2

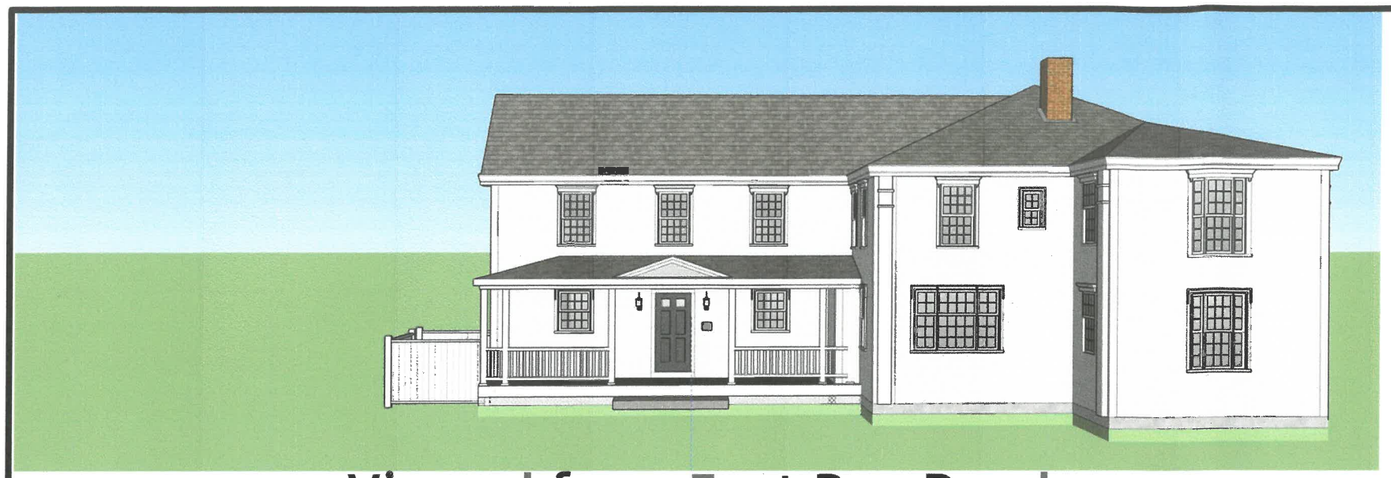
DEPTH	SOILS	ELEV.
0		100.5'
2.0'	top & subsoil	98.5'
8.5'	clean medium sand obs. ▽ GW	92.0'
10'		90.5'

Frimpter Calculations

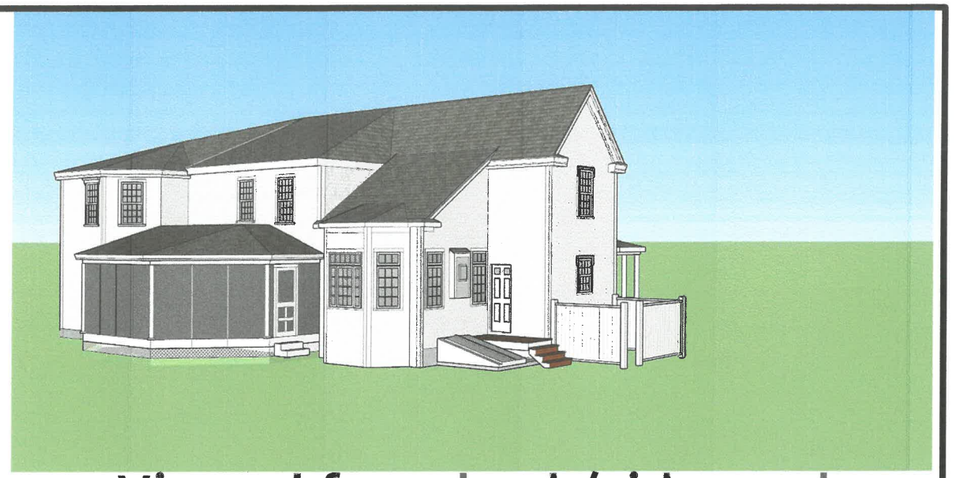
Depth to water = 8.5'
Index Well = TSW-89
Fluctuation Range: Zone B
Adjusted GW Level = 0.3'

Use Adjusted GW ELEV. of 92.3' for design purposes.

P6464



Viewed from East Bay Road



Viewed from back/side yard

Viewed from Main Street

Cape CAD Design

969 MAIN STREET
OSTERVILLE, MA
508-280-7074
Designer: Patrick Rimington

PROPOSED GARAGE FOR:
CALLAHAN RESIDENCE
9 EAST BAY ROAD
OSTERVILLE, MA

SCALE:
NONE

DATE:
10/10/2019

EXISTING ELEVATIONS

Viewed from East Bay Road

Viewed from back/side yard

Viewed from Main Street

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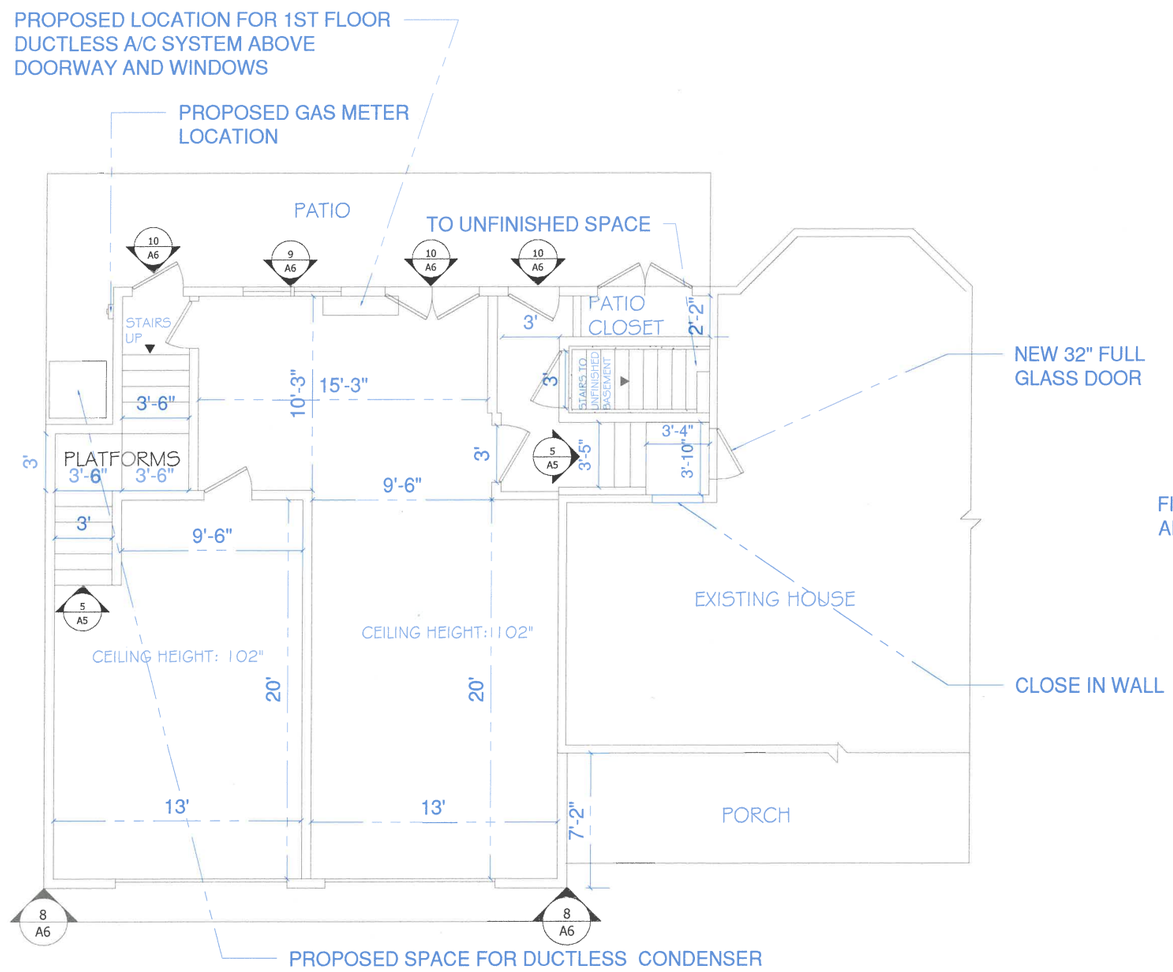
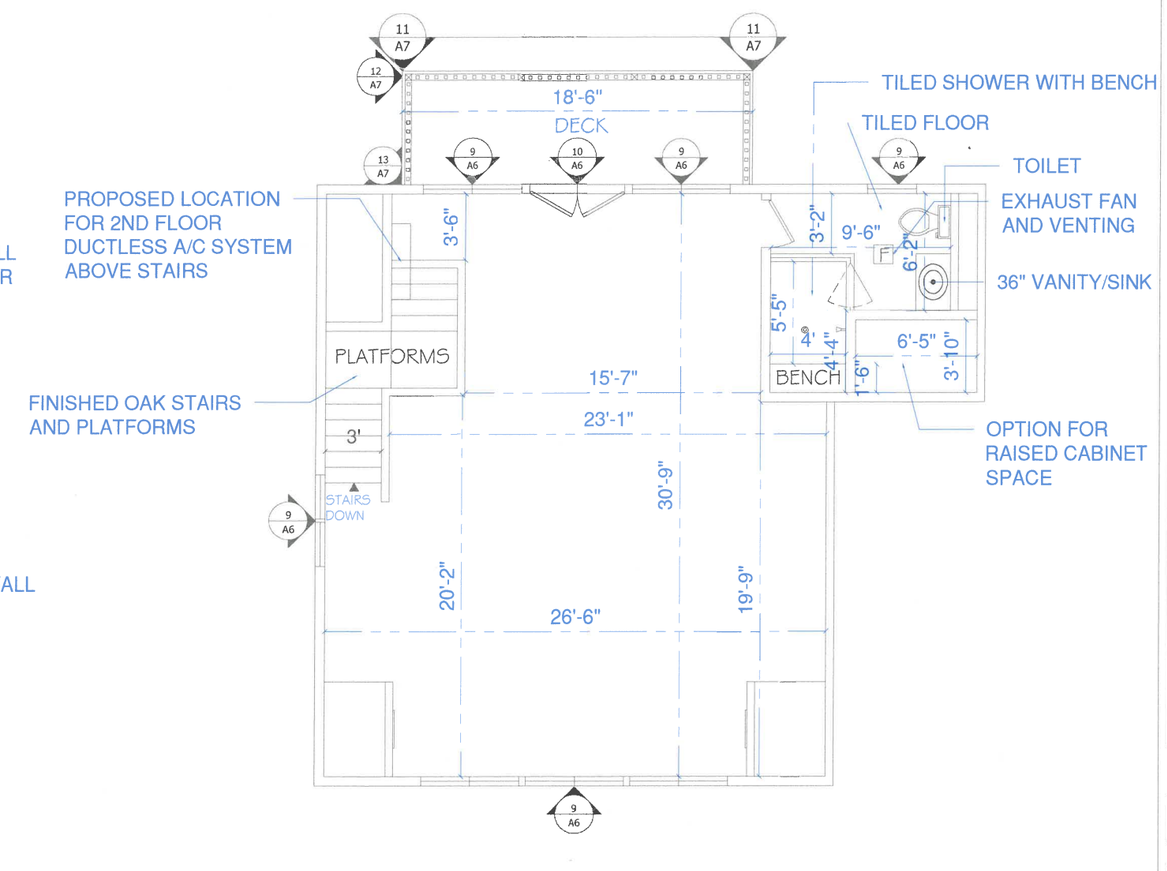
SCALE:
NONE

DATE:
10/10/2019

PROPOSED ELEVATIONS





Cape CAD Design

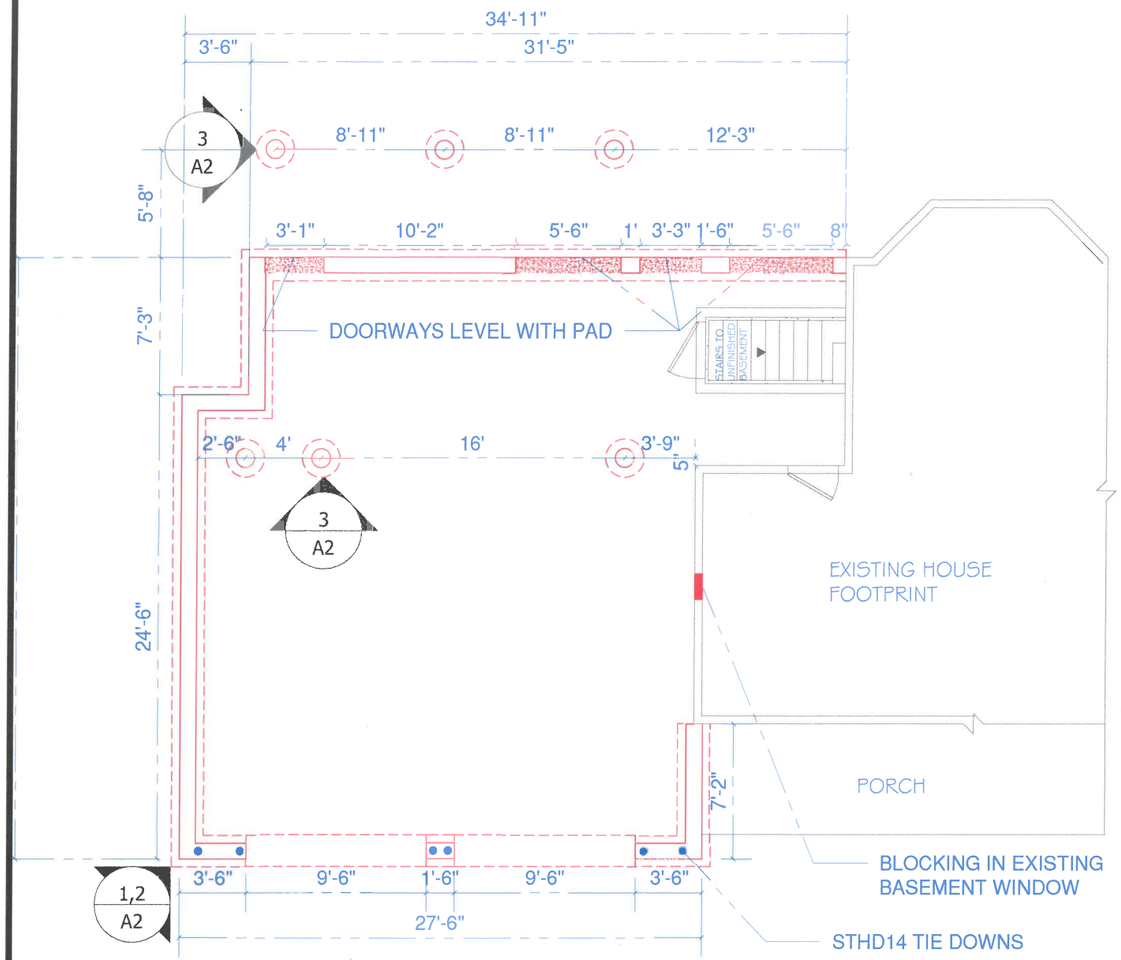
969 MAIN STREET
OSTERVILLE, MA
508-280-7074
Designer: Patrick Rimington

PROPOSED GARAGE FOR:
CALLAHAN RESIDENCE
9 EAST BAY ROAD
OSTERVILLE, MA

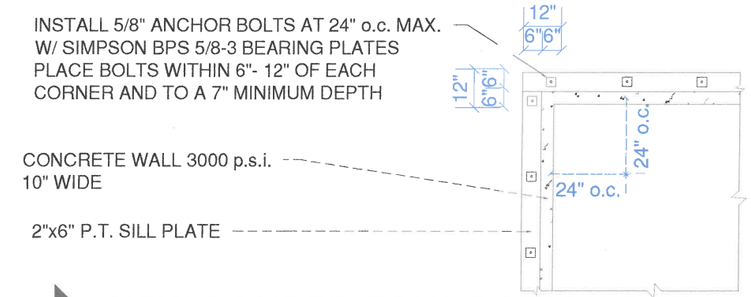
SCALE:
1/8" = 1'

DATE:
10/10/2019

DRAWING NUMBER:
A1



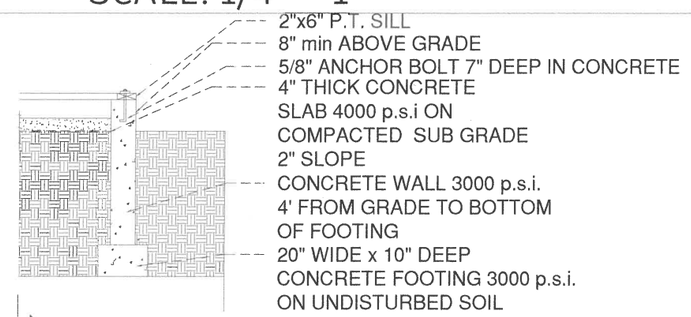
GARAGE



1 A2

NEW POURED FOUNDATION DETAIL W/ GRADE LEVEL SLAB

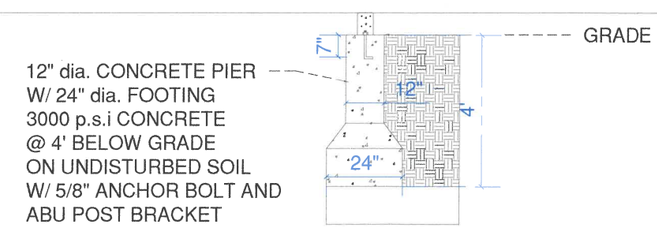
SCALE: 1/4" = 1'



2 A2

NEW 4' POURED FOUNDATION WITH GRADE LEVEL SLAB

SCALE: 1/4" = 1'



3 A2

NEW CONCRETE PIER WITH FOOTING DETAIL

Cape CAD Design
969 MAIN STREET
OSTERVILLE, MA
508-280-7074
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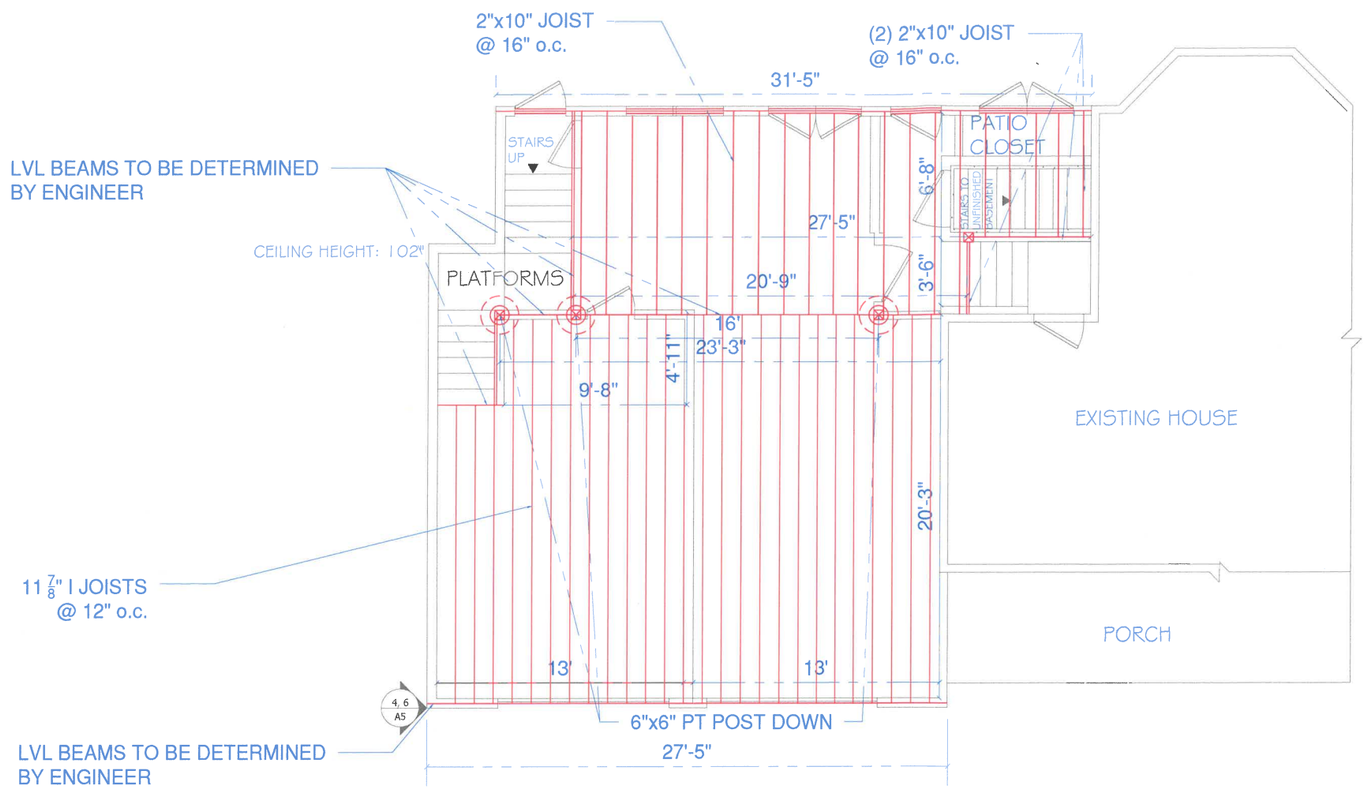
OSTERVILLE, MA

SCALE:
1/8" = 1'

DATE:
10/10/2019

DRAWING NUMBER:
A2



GARAGE CEILING FRAME

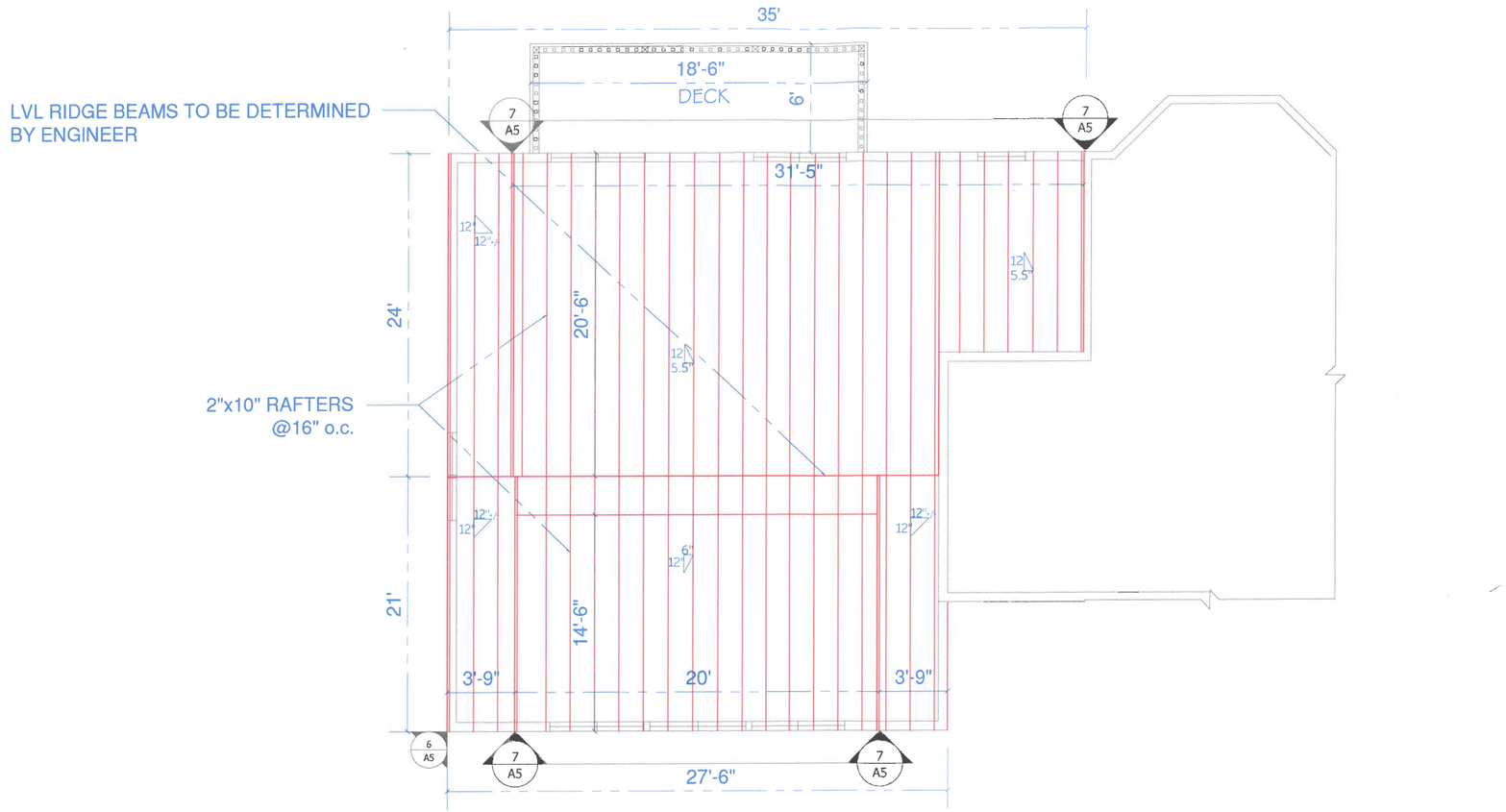
Cape CAD Design
969 MAIN STREET
OSTERVILLE, MA
508-280-7074
Designer: Patrick Rimington

PROPOSED GARAGE FOR:
CALLAHAN RESIDENCE
9 EAST BAY ROAD
OSTERVILLE, MA

SCALE:
1/8" = 1'

DATE:
10/10/2019

DRAWING NUMBER:
A3



ROOF FRAME

Cape CAD Design

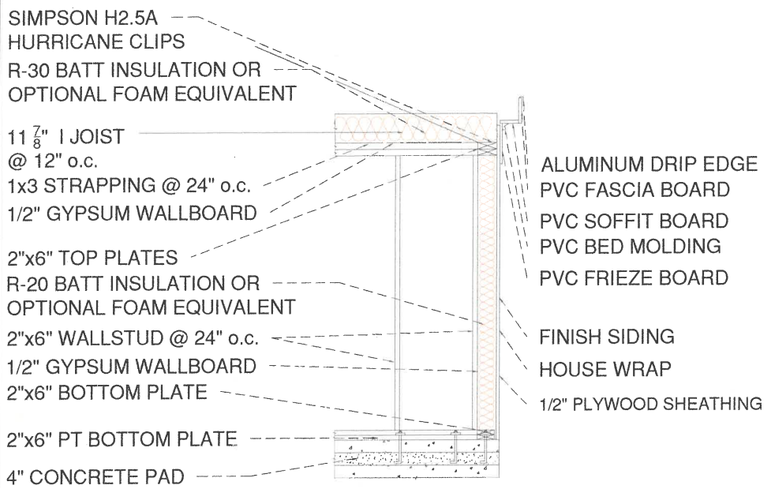
969 MAIN STREET
OSTERVILLE, MA
508-280-7074
Designer: Patrick Rimington

PROPOSED GARAGE FOR:
CALLAHAN RESIDENCE
9 EAST BAY ROAD
OSTERVILLE, MA

SCALE:
1/8" = 1'

DATE:
10/10/2019

DRAWING NUMBER:
A4



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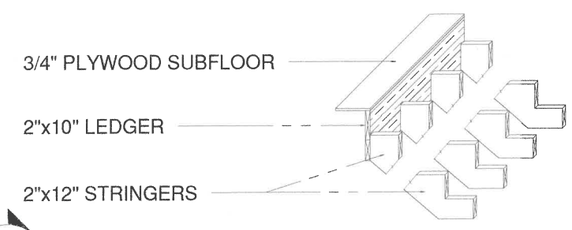
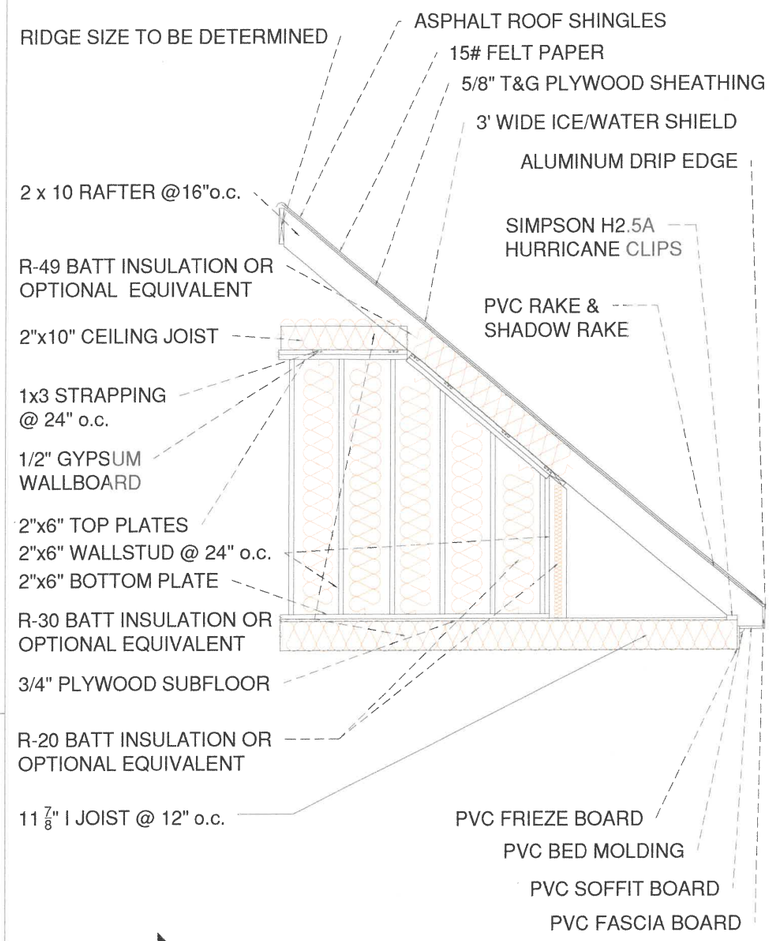
A3

FLOOR TO CEILING DETAIL



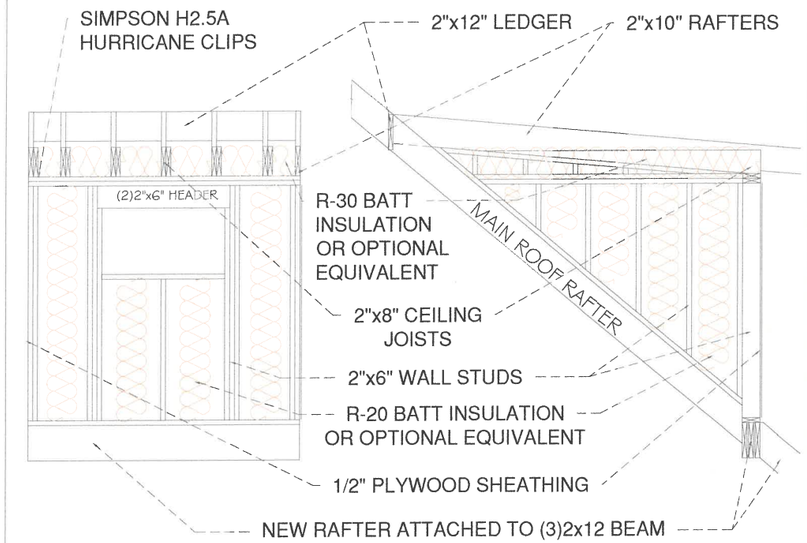
5
A1

INTERIOR STAIR FRAME DETAIL



6
A3, A4

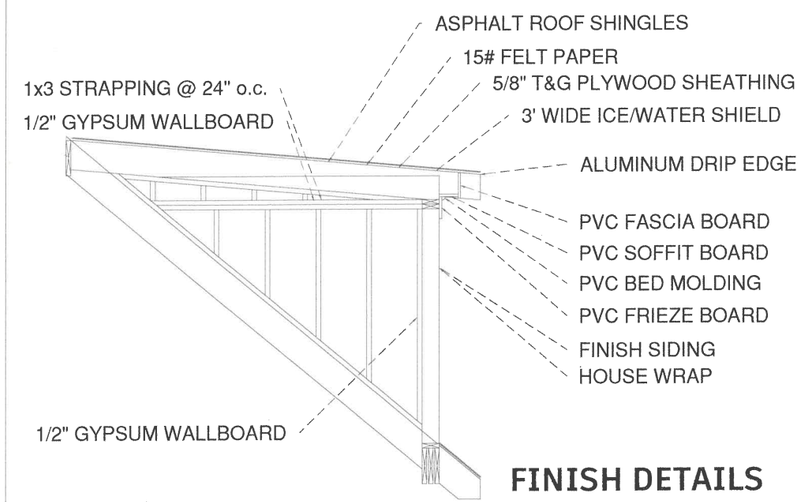
FLOOR TO ROOF DETAIL FOR 2ND FLOOR OR ATTIC SPACE



FRONT VIEW

FRAME DETAILS

SIDE VIEW



FINISH DETAILS

7
A4

SHED DORMER DETAIL

Cape CAD Design

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OSTERVILLE, MA
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PROPOSED GARAGE FOR:
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OSTERVILLE, MA

SCALE:
1/4" = 1'

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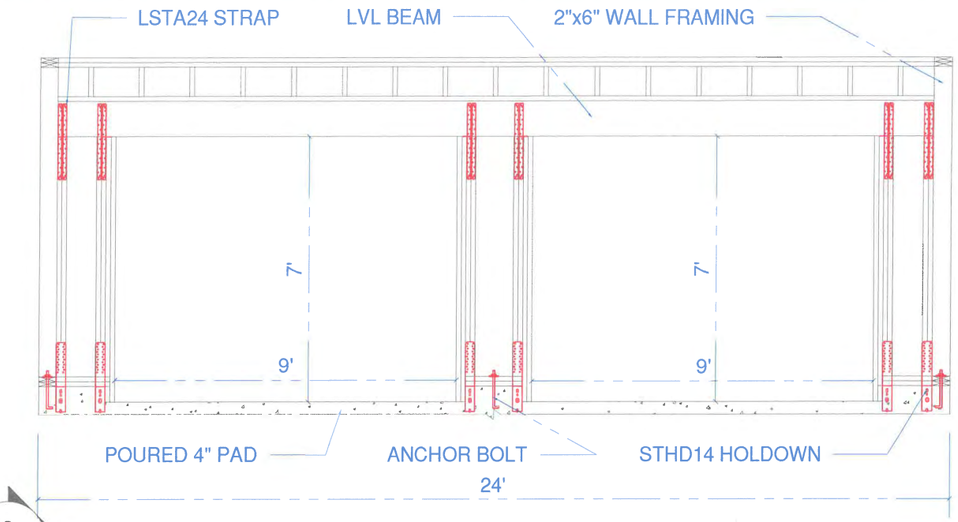
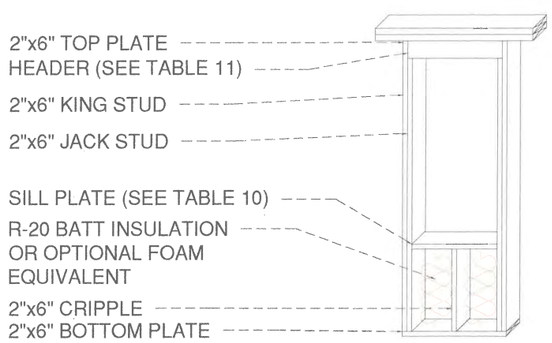
10/10/2019

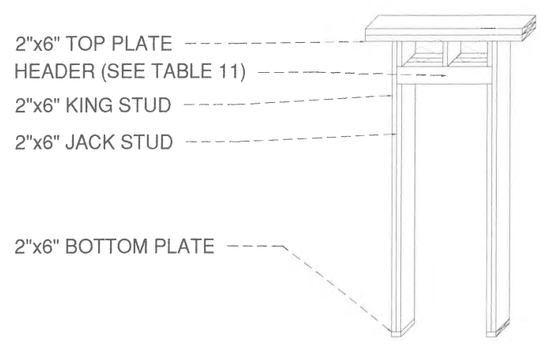
DRAWING NUMBER:
A5



8 / A1 **TWO GARAGE DOOR OPENINGS**



9 / A1 **2"x6" WINDOW FRAMING**



10 / A1 **2"x6" EXTERIOR DOORWAY FRAMING**

TABLE 10 WINDOW SILL PLATES IN EXTERIOR WALLS

SILL PLATE SPAN (FT.)	MINIMUM SILL PLATE SIZE (FLAT)	REQUIREMENTS AT EACH END OF SILL PLATE			
		NUMBER OF FULL HEIGHT STUDS			LATERAL (LBS.
		12" O.C.	16"O.C.	24" O.C.	
2	1 - 2x4	1	1	1	131
3	1 - 2x4	2	2	1	197
4	1 - 2x4	2	2	1	262
5	1 - 2x4	3	3	2	328
6	1 - 2x6, 2 - 2x4	3	3	2	394
7	1 - 2x6, 2 - 2x4	4	3	2	459
8	1 - 2x6, 2 - 2x4	4	3	2	525
9	2 - 2x6	5	3	3	590
10	2 - 2x6	5	4	3	656
11	2 - 2x6	6	4	3	721
12	2 - 2x6	6	5	3	787

TABLE 11 HEADERS IN LOAD BEARING EXTERIOR WALLS

HEADER SPAN (FT.)	MINIMUM HEADER SIZE[1]	REQUIREMENTS AT EACH END OF HEADER				
		NUMBER OF FULL HEIGHT STUDS			UPLIFT (LB.)	LATERAL (LB.)
		12" O.C.	16"O.C.	24" O.C.		
2	2 - 2x4, 1 - 2x6	1	1	1	273	131
3	2 - 2x4, 1 - 2x6	2	2	1	410	197
4	2 - 2x6, 1 - 2x10	2	2	1	547	262
5	2 - 2x8	3	3	2	683	328
6	3 - 2x8, 3 - 2x12	3	3	2	820	394
7	4 - 2x10, 3 - 2x12	4	3	2	957	459
8	3.125x8.25[2]	4	3	2	1094	525
9	3.125x9.625[2]	5	3	3	1230	590
10	3.125x11[2]	5	4	3	1367	656
11	3.125x12.375[2]	6	4	3	1503	721

1 Header is sized to resist a 20 psf live load and a 20 psf dead load for a 40 SF/LF tributary area (36 foot building width two-foot overhangs). Uplift and lateral loads are from wind pressures

2 Tabulated spans assume 20 F combination glulam with a minimum F_b=2,000 psi, F_v=210 psi and E = 1,500,000 psi.

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PROPOSED GARAGE FOR:
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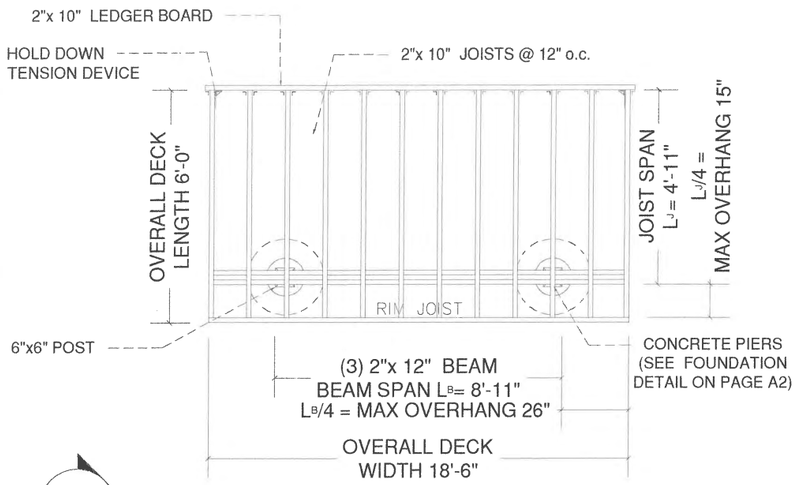
OSTERVILLE, MA

SCALE:
1/4" = 1'

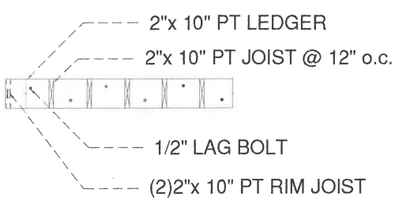
DATE:
10/10/2019

DRAWING NUMBER:
A6

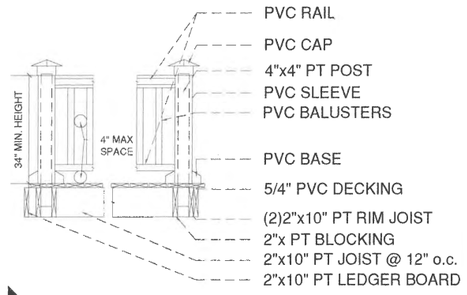
LUMBER SPECIES: PRESSURE TREATED SPRUCE



11 / A1 **DECK FRAME DETAILS**



12 / A1 **LEDGER & JOIST FRAME DETAILS**



13 / A1 **DECK RAIL DETAIL**

IECC2015 RESIDENTIAL ENERGY EFFICIENCY DETAILS

CLIMATE ZONE 5A (USE EITHER PRESCRIPTIVE VALUES OR RESCHECK CALCULATION

TABLE 402.1.1 (MINIMUM PRESCRIPTIVE INSULATION & FENESTRATION REQUIREMENTS)

FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAMED WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	BASEMENT SLAB R-VALUE	CRAWL SPACE WALL R-VALUE
0.30	0.55	49	20 or 13+5[h]	30[g]	15/19	10 (2 FT. DEEP)	15/19

g. *Or insulation sufficient to fill the framing cavity, R-19 minimum.*

h. *First value is cavity insulation, second is continuous insulation or insulated siding, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation or insulated siding. If structural sheathing covers 40 percent or less of the exterior, continuous insulation R-value shall be permitted to be reduced by no more than R-3 in the locations where structural sheating is used - to maintain a consistant total*

NAILING SCHEDULE

JOINT DESCRIPTION	NO. OF COMMON NAILS W/LOCATION & SPACING	NO. & SIZE OF NAILS W/LOCATION & SPACING
ROOF FRAMING:		
BLOCKING TO RAFTER	3-8d (each end/TOE NAIL)	3 -3x0.131" (eachend/TOE NAIL)
CEILING JOISTS ATTCHED TO PARALLEL RAFTER	4-16d (each end/TOE NAIL)	4-3"x0.131 (each end TOE NAIL)
WALL FRAMING:		
STUD TO STUD (NOT AT BRACED WALL PANELS)	16d (FACE NAIL/24" o.c.)	3"x0.131 (FACE NAIL/16" o.c.)
STUD TO STUD AND ABUTTING STUDS AT INTERSECTION WALL CORNERS (AT BRACED WALL PANELS)	16d (FACE NAIL/16" o.c.)	3"x0.131 (FACE NAIL/12" o.c.)
HEADER TO HEADER (FACE NAILED)	16d (each edge/FACE NAIL 16"o.c.)	
CONTINUOUS HEADER TO STUD	4-8d (TOE NAIL)	
TOP PLATE TO TOP PLATE	16d (FACE NAIL/16" o.c.)	3"x0.131 (FACE NAIL/12" o.c.)
BOTTM PLATE TO JOIST, RIMJOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANEL)	16d (FACE NAIL/16" o.c.)	3"x0.131 (FACE NAIL/12" o.c.)
BOTTM PLATE TO JOIST, RIMJOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	2-16d (FACE NAIL/2 each 16" o.c.)	4-3"x0.131 (FACE NAIL/4 each 16 o.c.)
TOP OR BOTTOM PLATE TO STUD	4-8d (TOE NAIL) or 2-16d (END NAIL)	4-3"x0.131 (TOE NAIL) or 3-3"x0.131 END NAIL)
TOP PLATE LAPS AT CORNERS AND INTERSECTIONS	2-16d (FACE NAIL)	3-3"x0.131 (FACE NAIL)
1" BRACE TO EACH STUD AND PLATE	2-8d (FACE NAIL)	2 STAPLES 1 3/4" (FACE NAIL)
1"x6" SHEATHING TO EACH BEARING	2-8d (FACE NAIL)	2 STAPLES , 1" CROWN 16ga., 1 3/4" LONG (FACE NAIL)
1"x8" SHEATHING TO EACH BEARING	3-8d (FACE NAIL)	3 STAPLES, 1" CROWN 16ga., 1 3/4" LONG (FACE NAIL)
WIDER THAN 1"x8" SHEATHING TO EACH BEARING	3-8d (FACE NAIL)	4 STAPLES, 1" CROWN 16ga., 1 3/4" LONG (FACE NAIL)
FLOOR FRAMING:		
JOIST TO SILL, TOP PLATE OR GIRDER (TOE NAILED)	3-8d (TOE NAIL)	3-3"x0.131 (TOE NAIL)
RIM JOIST, BAND JOIST, OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	8d (TOE NAIL/6" o.c.)	3"x0.131 (TOE NAIL/6" o.c.)
1"x6" SUBFLOOR OR LESS TO EACH JOIST	2-8d (FACE NAIL)	2 STAPLES, 1"CROWN, 16ga., 1 3/4" LONG (FACE NAIL)
BAND OR RIM JOIST TO JOIST	3-16d (END NAIL)	4-3"x0.131 (END NAIL)
BUILT UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	2- 20d (at ends/each splice/FACE NAIL)	3-3"X0.131 (at ends/each splice/FACE NAIL)
BRIDGING TO JOIST		2-10d BOX (3"x0.128) (each end/TOE NAIL)
BAND JOIST TO SILL OR TOP PLATE (TOE NAILED)	2-16d	3-16d
ROOF, EXTERIOR WALL AND SUBFLOOR SHEATHING:		
WOOD STRUCTURAL PANELS (PLYWOOD)	8d (6" EDGE / 12" FIELD o.c)	10d
CEILING SHEATHING:		
1/2" GYPSUM WALLBOARD		1 1/4" SCREWS, TYPE W (7" EDGE / 7" FIELD o.c.)

Cape CAD Design

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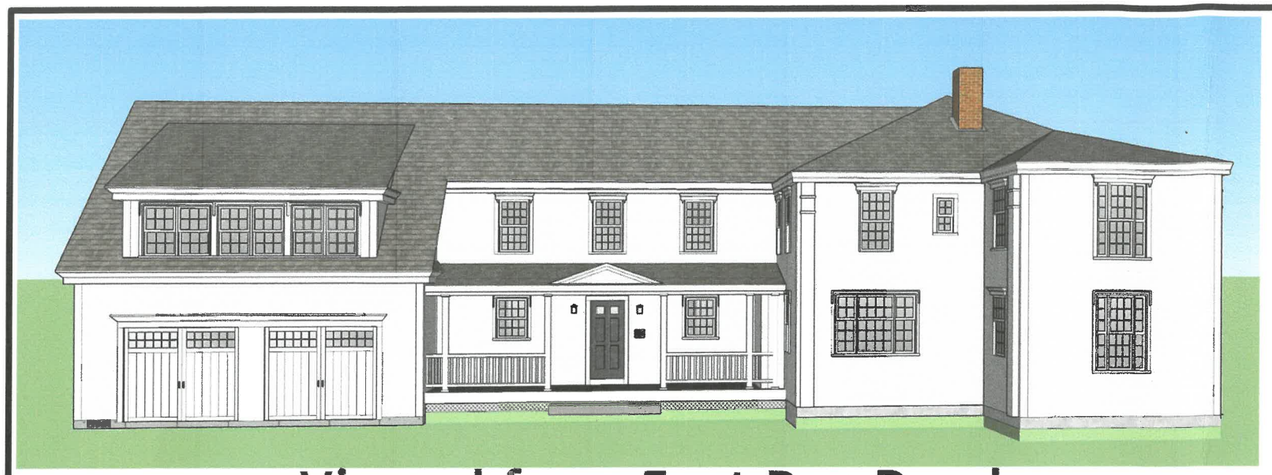
OSTERVILLE, MA
508-280-7074
Designer: Patrick Rimington

PROPOSED GARAGE FOR:
CALLAHAN RESIDENCE
9 EAST BAY ROAD
OSTERVILLE, MA

SCALE:
1/4" = 1'

DATE:
10/10/2019

DRAWING NUMBER:
A7



Viewed from East Bay Road

Viewed from back/side yard

Viewed from Main Street

Cape CAD Design

969 MAIN STREET
OSTERVILLE, MA
508-280-7074
Designer: Patrick Rimington

PROPOSED GARAGE FOR:
CALLAHAN RESIDENCE
9 EAST BAY ROAD
OSTERVILLE, MA

SCALE:
NONE

DATE:
10/10/2019

PROPOSED ELEVATIONS

TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp
BARNSTABLE TOWN CLERK
20 FEB 21 P2:59

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 2/19/20 ☐ Full Demotion ☒ Partial Demolition

Building Address: 58 (Number) WIANNO AVENUE (Street)

Osterville (Village) 02655 (ZIP) Assessor's Map # 141 Assessor's Parcel # 003

Property Owner: JEFFREY KASCHULUK (Name) 508-317-2547 (Phone#)

Property Owner Mailing Address (if different than building address) PO BOX 865
OSTERVILLE, MA 02655

Property Owner e-mail address: JEFFREY@WESTBAYDI.COM

Contractor/Agent: N/A

Contractor/Agent Mailing Address: N/A

Contractor/Agent Contact Name and Phone #: N/A (Name) (Phone #)

Contractor/Agent Contact e-mail address: N/A

Demolition Proposed - please itemize all changes:

See attached narrative.

Type of New Construction Proposed: See attached narrative.

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1869 Additions Year Built:

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No ☐ Yes ☒ "not contributing"

Property Owner/Agent Signature

RECEIVED
FEB 21 2020
PLANNING & DEVELOPMENT

Relocation and Repurposing of 58 Wianno (historic portion only):

The applicant to physically relocate the original house from the site, and place on a new site nearby. Therefore the demolition of this structure will be limited to the additions and the portions of the house that have deteriorated beyond repair. The front porch and single story lean-too roof over a portion of the kitchen will be removed and reconstructed at a later date. The attached 2-car garage will razed and removed. Similarly, the second floor will need to be remove and rebuilt at the homes new location. The roofing, roof sheathing and some members of the roof framing are in very poor condition and will not survive a move nor will they be adequate when the home is repurposed. The two existing chimneys will be removed as these are single width of brick and not practical to reuse. Please note, the applicant will also seek appropriate permits from the Town of Barnstable Building Department for the relocation and reuse of the small cottage on the property known as 29 West Bay Road.

Relocation and Repurposing of 554 Wianno (excludes existing 3-car garage):

The applicant proposes to carefully disassemble the old Phelps Residence (*aka - The Beacon*) and relocate the house to a new location at 58 Wianno Ave. This application is therefore dependent on approval of the applicants Notice of Intent Application at that address. The applicant with will remove the porch structures, the chimneys and other non-significant features of the house. Please see the color coded site pan attached to this application. The applicant proposes to remove and restore certain artifacts of the old house such as old true divided-light windows, French doors, and transom windows to be repurposed inside the reconstructed house. This effort will continue on the inside of the house where portions of the center stairs, newel posts, balustrades and other millwork will be salvaged, restored and repurposed. The house will need to be separated into several sections so that it can be transported 5,200 feet Or 0.99 miles to its new home where it will be carefully resembled. It is proposed that the ocean facing front façade of Phelps House will be turned to front on Wianno Ave. The elevation current viewed from Wianno Ave will then face West Bay Road. Please note the existing 3-car garage is not part of this application and will remain at 554 Wianno Ave. The history of this house will soon be improved and continued; it will become public and accessible and add historic character to the center of the village.

141/003

BRN 2056

FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
80 BOYLSTON STREET
BOSTON, MA 02116

AREA	FORM NO.
OVB	BRN 2056

141/3 108

47E1

Town Barnstable (Osterville)

Address ~~58 Wianno Ave~~

Historic Name Watson Adams

Use: Present residence

Original residence

DESCRIPTION

Date 1869

Source Registry of Deeds

Style Greek Revival

Architect unknown

Exterior Wall Fabric clapboard and shingle

Outbuildings garage

Major Alterations (with dates) 1885 - eel, 1889 - bay

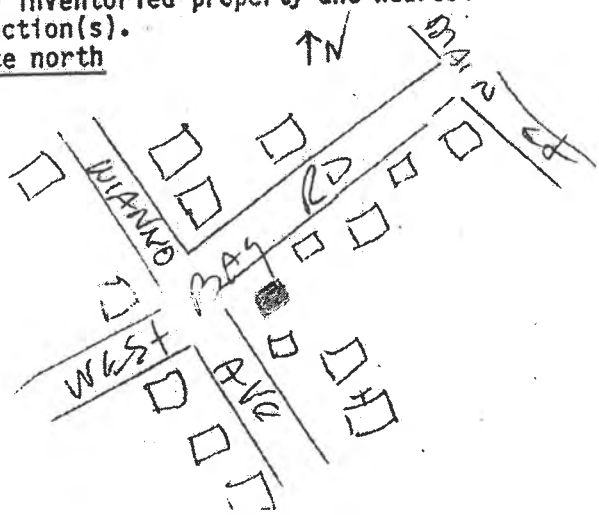
Condition good

Moved no Date -

Acreage .41

Setting Just inside village business area across from the library, post office and a bank.

Sketch Map: Draw map showing property's location in relation to nearest cross streets and/or geographical features. Indicate all buildings between inventoried property and nearest intersection(s).
Indicate north



Recorded by Barbara Crosby

Organization Barnstable Historical Com

Date 1983 revised 1998

UTM REFERENCE

USGS QUADRANGLE

SCALE

BEN 2056

NATIONAL REGISTER CRITERIA STATEMENT (if applicable)

ARCHITECTURAL SIGNIFICANCE Describe important architectural features and evaluate in terms of other buildings within the community.

This is a two and a half story Greek Revival house under a steeply angled roof, gable end to the west three bays wide. On this west end the principal entrance is to the north. On the south side of the gable is a two story bay extending about two feet toward the street. At the east end of the house is a two story gabled extension. with peak lower than the main house. This has an open porch with square column across the south side, and an enclosed shed roof on the east side. Beyond this to the north is a one story passage extending to a gabled two story garage with two car doors facing east. The exterior is shingle, the roof composition shingle with two thin brick chimneys at the peaks of the main house and the east wing.

HISTORICAL SIGNIFICANCE Explain the role owners played in local or state history and how the building relates to the development of the community.

Watson F. Adams 1842-1903 went to sea as a youth serving in 1863 on the schooner "Lewis Spanier", Capt. Enoch Lewis of Centerville, when it was lost off the Jersey coast and also on the schooners "Hickman", "Pennsylvania" and "GL". He served in the Civil War and was an active member of the Charles Chipman Post, GAR of Sandwich for many years. In 1865 he married Susan West 1848-1901, daughter of Capt. Nathan E. West 1822-1913, the most reknowned sea captain of the village. He bought land in 1869 from Clarissa Lovell 1790-1870 and built this house. He did not register the deed until 1878 when he registered 12' of land on the west side of the property that he purchased from Clarissa Lovell's family after her death. His second wife, Carrie, inherited the home, married Samuel H. Ballard and sold the property in 1912 to Agnes Shields 1868-1933, wife of James Shields 1873-1951. Mr. Shields came from Balansloe County, Galway, Ireland to Boston in 1896 and in 1904 married Agnes Crane who had come from Triminie County, Sligo, Ireland in 1892. He was brought to Osterville by John S. Twombly 1848-1922 of Brookline, in 1905, as his coachman. Mr. Twombly's wife, Lillian, was the daughter of Dr. Thomas R. Clement 1823-1898 who was the village doctor from 1880 to his death and left his home on East Bay Road (141/9.1) to her. After the probate of the estate of Mrs. Shields, the property went to her four children, then in 1947 to son, John Shields 1906-1995 and in 1950 to son, William Leo 1914-1962 and his wife, Margaret Hayden Shields. Mr. Shields was a Barnstable High School teacher and football coach. The football field was named after him. Mrs. Shields who was an elementary school teacher in the village still owns the property.

BIBLIOGRAPHY and/or REFERENCES

Atlas - 1880, 1907
Registry of Deeds, Registry of Probate
Osterville, A Walk Through the Past 1979 Chesbro/Crosby
Osterville, Vol I 1988, Vol II 1989 P. Chesbro
Architecture - Dr. James Gould

TOWN OF BARNSTABLE

PROPERTY MAPS

Legend

Road Names

Map printed on: 2/25/2020

0 42 83 Feet

Approx. Scale: 1 inch = 42 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Parcel: 141-003 | Location: 58 WIANNO AVENUE, Osterville | Owner: KASCHULUK, JEFFREY

Parcel 141-003	Developer lot: LOTS 1 & 2	Road index 1832
Location 58 WIANNO AVENUE	Fire district C-O-MM	Secondary road WEST BAY ROAD
Village Osterville	Interactive map	
Town sewer at address No		

Owner: KASCHULUK, JEFFREY

Owner KASCHULUK, JEFFREY	Co-Owner	Book page 27423/ 232
Street1 PO BOX 3433	Street2	
City NANTUCKET	State Zip Country MA 02584	

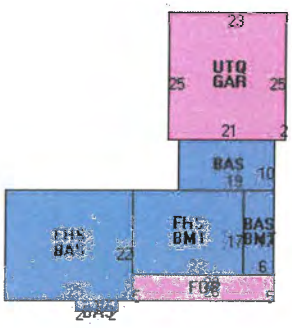
Land

Acres 0.44	Use Multi Hses MDL-01	Zoning BA	Neighborhood 0113
Topography Level	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Public Water,Gas,Septic	Location factor	State Zone of Contribution OUT	

Construction

Building 1 of 2

Year built 1850	Roof structure Gable/Hip	Heat type Hot Water
Living area 1336	Roof cover Asph/F Gls/Cmp	Heat fuel Oil
Gross area 3564	Exterior wall Clapboard	AC type None
Style Cape Cod	Interior wall Plastered	Bedrooms 3 Bedrooms
Model Residential	Interior floor Pine/Soft Wood	Bath rooms 1 Full-1 Half
Grade Average	Foundation Mixed	Total rooms 6 Rooms
Stories 1 1/2 Stories		



Building 2 of 2

Year built 1955	Roof structure Gable/Hip	Heat type Hot Water
Living area 572	Roof cover Asph/F Gls/Cmp	Heat fuel Gas
Gross area 572	Exterior wall Wood Shingle	AC type Central
Style Cottage	Interior wall Drywall	Bedrooms 2 Bedrooms
Model Residential	Interior floor Carpet	Bath rooms 1 Full-0 Half
Grade Average	Foundation Blk/Pour Ftgs	Total rooms 4 Rooms
Stories 1 Story		

Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
02/26/2018	Sid/Wind/Roof/Door	18-565	$0		REROOF (stripping old shingles)
02/07/2012	New Roof	201200692	$10,000	06/30/2012	RERROOF STRIPPING OLD-RESIDE-REPLC 22 WINDS 3 DRS

Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	05/31/2013	KASCHULUK, JEFFREY	27423/ 232	$728,000
2	11/03/2005	JAXTIMER, ERNEST J TR	20439/ 26	$975,000
3	03/24/2000	MITCHELL, HELEN & SHIELDS, M L TRS	12903/ 19	$1
4	04/03/1950	SHIELDS, MARGARET L	746/ 150	$0

Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2020	$173,600	$22,300	$0	$459,800	$655,700
2	2019	$153,900	$22,300	$0	$438,900	$615,100
3	2018	$187,400	$29,200	$0	$484,000	$700,600
4	2017	$177,800	$29,400	$0	$484,000	$691,200
5	2016	$177,800	$29,400	$0	$488,400	$695,600
6	2015	$217,700	$33,600	$0	$476,700	$728,000
7	2014	$191,000	$31,500	$0	$552,500	$775,000
8	2013	$191,000	$31,500	$0	$547,500	$770,000
9	2012	$194,300	$30,300	$0	$724,600	$949,200
10	2011	$230,800	$3,300	$0	$724,600	$958,700
11	2010	$231,200	$3,300	$0	$724,600	$959,100
12	2009	$291,600	$2,600	$0	$757,200	$1,051,400
13	2008	$322,900	$2,600	$0	$774,000	$1,099,500
15	2007	$358,300	$2,600	$0	$774,000	$1,134,900
16	2006	$288,900	$2,600	$0	$748,200	$1,039,700
17	2005	$255,700	$2,400	$0	$677,100	$935,200
18	2004	$210,000	$2,400	$0	$677,100	$889,500
19	2003	$206,900	$2,400	$0	$121,400	$330,700
20	2002	$179,300	$2,300	$0	$121,400	$303,000
21	2001	$179,300	$2,400	$0	$152,100	$333,800
22	2000	$144,800	$2,500	$0	$64,600	$211,900
23	1999	$144,800	$2,500	$0	$64,600	$211,900
24	1998	$144,800	$2,500	$0	$64,600	$211,900
25	1997	$144,500	$0	$0	$64,500	$209,000
26	1996	$144,500	$0	$0	$64,500	$209,000
27	1995	$144,500	$0	$0	$64,500	$209,000
28	1994	$151,700	$0	$0	$146,800	$298,500
29	1993	$151,700	$0	$0	$146,800	$298,500
30	1992	$172,800	$0	$0	$163,100	$335,900
31	1991	$181,700	$0	$0	$230,500	$412,200
32	1990	$181,700	$0	$0	$230,500	$412,200
33	1989	$181,700	$0	$0	$230,500	$412,200
34	1988	$104,300	$0	$0	$199,900	$304,200
35	1987	$104,300	$0	$0	$199,900	$304,200
36	1986	$104,300	$0	$0	$199,900	$304,200

Photos


2018/02/27


2018/02/27


2018/02/27


2018/02/27


2018/02/27


2018/02/27


2018/02/27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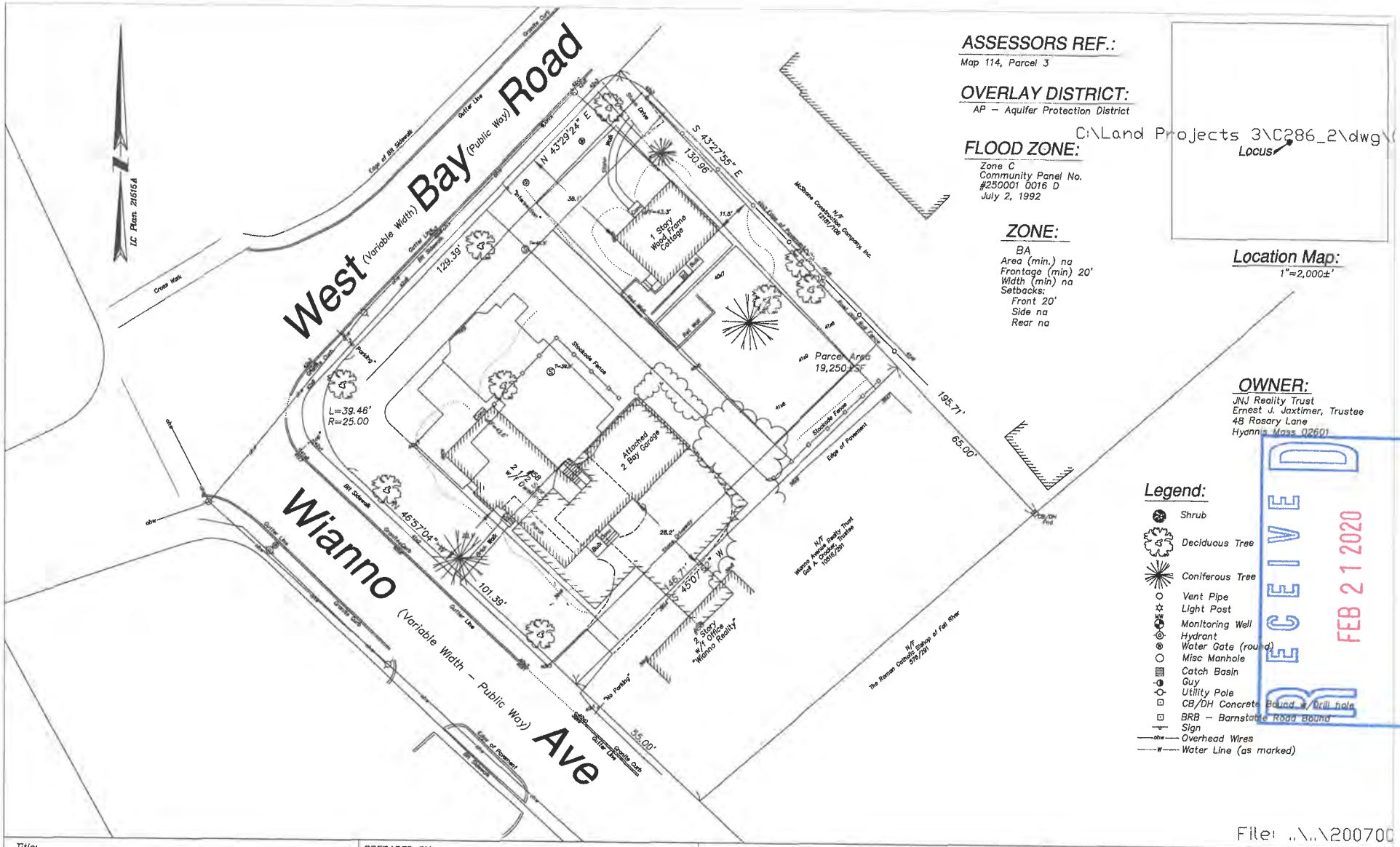


ASSESSORS REF.:

Map 114, Parcel 3

OVERLAY DISTRICT:

AP – Aquifer Protection District

FLOOD ZONE:

Zone C
Community Panel No.
#250001 0016 D
July 2, 1992

ZONE:

BA
Area (min.) na
Frontage (min) 20'
Width (min) na
Setbacks:
Front 20'
Side na
Rear na

Location Map:

1"=2,000±'

OWNER:

JNJ Reality Trust
Ernest J. Jaxtimer, Trustee
48 Rosary Lane
Hyannis Mass 02601

Legend:

- Shrub
- Deciduous Tree
- Coniferous Tree
- Vent Pipe
- Light Post
- Monitoring Well
- Hydrant
- Water Gate (round)
- Misc Manhole
- Catch Basin
- Guy
- Utility Pole
- CB/DH Concrete Bound w/Drill hole
- BRB – Barnstable Road Bound
- Sign
- —ohw— Overhead Wires
- —W— Water Line (as marked)

File: ..\..\200700

Title:

Existing Conditions Plan of Land at 58 Wianno Avenue in Barnstable (Osterville) Mass.

Date: January 30, 2006

Scale: 1"=20'

PREPARED BY:

Sullivan Engineering, Inc.
PO Box 659
Osterville, MA 02655
(508)428-3344 (508)428-3115 fax

CapeSurv
7 Parker Road
Osterville MA 02655
(508)420-3994 (508)420-3995 fax

Draft:	Field: WHK/JPM
Review:	Comp/Draft: JPM/RRL
Proj. #	Drawing # C286_201

PREPARED FOR:

JNJ Realty Trust
48 Rosary Lane
Hyannis Mass 02601

20 0 10 20 40 80

Notes/Revision:

1.) The property line information shown was compiled from available record information.
2.) The topographic information was obtained from an on the ground survey performed on or between 19/DEC/05 and 25/JAN/06.
3.) The datum used is NGVD '29, a fixed mean sea level datum.

Sheet 1 of 1

Picture #1

View from Library at the opposite corner of Wianno Ave & West Bay Road

Picture #2

North elevation facing West Bay Road

Picture #3	
	West elevation facing Wianno Road
Picture #4	
	View from southwest

Picture #5

View of two story gable on west side with deteriorated roof shingles, failing shutters, and scaling paint

Picture #6

Close up view of brick foundation on west side

Picture #7	
	Close up view of stone foundation at left side of west porch
Picture #8	
	Close up view of rotten porch decking, framing below has also decayed beyond repair

Picture #9

Close up view of the main and porch roofs on the southwest corner. The fascia and soffit boards behind the gutter have failed and are open to the weather.
Above the single width brick chimney will be removed as it is not strong enough to move or be compliant for reuse.

Picture #10

South gable of main house above later kitchen expansion below shed roof

Picture #11	
	View inside main attic showing deteriorated wooden roof sheathing and undersized roof rafters. (2" x 5" @ +/- 28" OC)
Picture #12	
	This photo shows the existing roof raters resting on the raised plate in the eaves of the second floor, the applicant proposes to remove the roove above the plate and reconstruct at the new site.

Picture #13	
	South side of the garage, this is not part of the original historic house and will be razed.
Picture #14	
	Rotten door jamb at the garage

TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp
BARNSTABLE TOWN CLERK
20 FEB 21 P2:59

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 2/19/20 ☐ Full Demotion ☒ Partial Demolition

Building Address: 554 (Number) WIANNO AVENUE (Street)

OSTERVILLE (Village) 02655 (ZIP) Assessor's Map # 162 Assessor's Parcel # 013

Property Owner: MATTHEW & LAURIE KELLEY (Name) 508-789-1259 (Phone#)

Property Owner Mailing Address (if different than building address) 45 DAMIEN ROAD
WELLESLEY, MA 02481

Property Owner e-mail address: MGK333@GMAIL.COM LAURIE@KELLEY.COM

Contractor/Agent: JEFFREY KASCHULUK

Contractor/Agent Mailing Address: PO BOX 865, OSTERVILLE, MA 02655

Contractor/Agent Contact Name and Phone #: JEFFREY KASCHULUK (Name) 508-317-2547 (Phone #)

Contractor/Agent Contact e-mail address: JEFFREY@WESTBAYDI.COM

Demolition Proposed - please itemize all changes:

See attached narrative.

Type of New Construction Proposed: See attached narrative.

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1882 Additions Year Built:

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No ☐ Yes ☒

Matthew Kelley Laurie Kelley
Property Owner/Agent Signature

Relocation and Repurposing of 58 Wianno (historic portion only):

The applicant to physically relocate the original house from the site, and place on a new site nearby. Therefore the demolition of this structure will be limited to the additions and the portions of the house that have deteriorated beyond repair. The front porch and single story lean-too roof over a portion of the kitchen will be removed and reconstructed at a later date. The attached 2-car garage will razed and removed. Similarly, the second floor will need to be remove and rebuilt at the homes new location. The roofing, roof sheathing and some members of the roof framing are in very poor condition and will not survive a move nor will they be adequate when the home is repurposed. The two existing chimneys will be removed as these are single width of brick and not practical to reuse. Please note, the applicant will also seek appropriate permits from the Town of Barnstable Building Department for the relocation and reuse of the small cottage on the property known as 29 West Bay Road.

Relocation and Repurposing of 554 Wianno (excludes existing 3-car garage):

The applicant proposes to carefully disassemble the old Phelps Residence (*aka - The Beacon*) and relocate the house to a new location at 58 Wianno Ave. This application is therefore dependent on approval of the applicants Notice of Intent Application at that address. The applicant with will remove the porch structures, the chimneys and other non-significant features of the house. Please see the color coded site pan attached to this application. The applicant proposes to remove and restore certain artifacts of the old house such as old true divided-light windows, French doors, and transom windows to be repurposed inside the reconstructed house. This effort will continue on the inside of the house where portions of the center stairs, newel posts, balustrades and other millwork will be salvaged, restored and repurposed. The house will need to be separated into several sections so that it can be transported 5,200 feet Or 0.99 miles to its new home where it will be carefully resembled. It is proposed that the ocean facing front façade of Phelps House will be turned to front on Wianno Ave. The elevation current viewed from Wianno Ave will then face West Bay Road. Please note the existing 3-car garage is not part of this application and will remain at 554 Wianno Ave. The history of this house will soon be improved and continued; it will become public and accessible and add historic character to the center of the village.

162/013

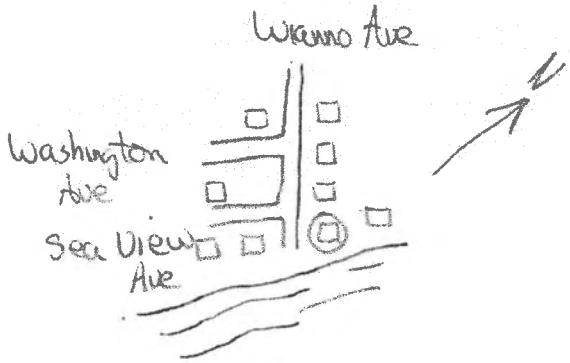
BRN 764

AREA	FORM NO.
OVC	62 BRN. 764

FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
294 WASHINGTON STREET, BOSTON, MA 02108

Show property's location in relation to nearest cross streets and/or geographical features. Indicate all buildings between inventoried property and nearest intersection. Indicate north.



Recorded by Barbara Crosby

Organization Barnstable Historical Comm.

Date December 1983

Town BArnstable (Osterville/Wianno)

Address 554 Wianno Ave.

Historic Name George H. Phelps House

Use: Present dwelling

Original same

DESCRIPTION:

Date 1882

Source Registry of Deeds

Style Shingle Style

Architect unknown

Exterior wall fabric shingle

Outbuildings garage

Major alterations (with dates) large rear ell added 1890s; interior remodeling 1905; front door location changed 1945; front porch enclosed 1948.

Moved no Date n/a

Approx. acreage 1.83

Setting residential seaside resort area part of Wianno H.D.

Photo #124-154-C62

(Staple additional sheets here) Contributing Building National Register District

BRN.764

ARCHITECTURAL SIGNIFICANCE (Describe important architectural features and evaluate in terms of other buildings within the community.)

The Phelps House is a large, rambling, 2½ story structure enclosed by a jerkin-headed gable roof with numerous dormers. The basic rectangular mass of the house is enlivened by cross gables and numer ous wings and ells.

HISTORICAL SIGNIFICANCE (Explain the role owners played in local or state history and how the building relates to the development of the community.)

This house was constructed by George Phelps of Boston. Phelps, before entering the family business, wanted to be an architect, and may have been involved in the original design and subsequent changes to the house. Unlike other houses in the area, this one remains in the original family.

BIBLIOGRAPHY and/or REFERENCES (name of publication, author, date and publisher)

BArnstable County Atlas. 1907.
Barnstable County Registry of Deeds and Probate.

TOWN OF BARNSTABLE

PROPERTY MAPS

Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Parking Lots
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - Bridge
  - Paved Median
- Water Bodies

Map printed on: 2/25/2020

0 333 667 Feet

Approx. Scale: 1 inch = 333 feet

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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

TOWN OF BARNSTABLE

PROPERTY MAPS

Legend

Road Names

Map printed on: 2/25/2020

0 — 83 — 167 Feet

Approx. Scale: 1 inch = 83 feet

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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Parcel: 162-013 | Location: 554 WIANNO AVENUE, Osterville | Owner: KELLEY, MATTHEW & LAURIE

Asbuilt septic scan
162013_1

Parcel	Developer lot:	Road index
162-013	LOTS 6, 8 & UN-NUMBERED	1832
Location	**Fire district**	**Secondary road**
554 WIANNO AVENUE	C-O-MM	
Village	**Interactive map**	
Osterville		
Town sewer at address		
No		

Owner: KELLEY, MATTHEW & LAURIE

Owner	Co-Owner	Book page
KELLEY, MATTHEW & LAURIE		31417/ 155
Street1	**Street2**	
45 DAMIEN ROAD		
City	**State Zip Country**	
WELLESLEY	MA 02481	

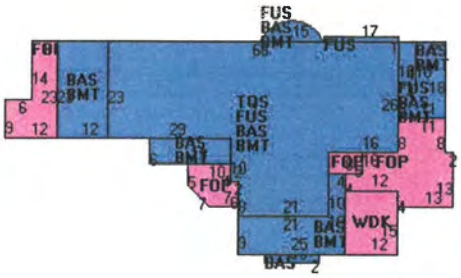
Land

Acres	Use	Zoning	Neighborhood
1.83	Single Fam MDL-01	RF-1	WF13
Topography	**Street factor**	**Town Zone of Contribution**	
Level	Paved	AP (Aquifer Protection Overlay District)	
Utilities	**Location factor**	**State Zone of Contribution**	
Septic,Gas,Public Water	Waterfront,Excel View	OUT	

Construction

Building 1 of 1

Year built	Roof structure	Heat type
1880	Gable/Hip	Hot Air
Living area	**Roof cover**	**Heat fuel**
6371	Asph/F Gls/Cmp	Gas
Gross area	**Exterior wall**	**AC type**
10888	Wood Shingle	None
Style	**Interior wall**	**Bedrooms**
Conventional	Plastered	9 Bedrooms
Model	**Interior floor**	**Bath rooms**
Residential	Carpet	7 Full-1 Half
Grade	**Foundation**	**Total rooms**
Custom Plus	Brick Walls	16
Stories		
3 Stories		



Permit History

Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	07/20/2018	KELLEY, MATTHEW & LAURIE	31417/ 155	$5,250,000
2	12/09/2004	PHILLIPS, FRANCIS B & WALTER M JR	19328/ 326	$2,000,000
3	08/29/2003	PHILLIPS, WALTER M JR ET AL	17553/ 275	$1

Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2020	$658,700	$66,300	$37,900	$4,779,900	$5,542,800
2	2019	$573,800	$66,300	$40,800	$4,248,800	$4,929,700
3	2018	$483,400	$66,800	$45,900	$4,472,400	$5,068,500
4	2017	$472,600	$68,000	$46,900	$4,472,400	$5,059,900

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
5	2016	$472,600	$68,000	$46,900	$4,463,700	$5,051,200
6	2015	$532,900	$71,800	$48,000	$4,280,000	$4,932,700
7	2014	$532,900	$71,800	$49,600	$4,280,000	$4,934,300
8	2013	$532,900	$71,800	$51,000	$4,280,000	$4,935,700
9	2012	$539,100	$69,700	$46,600	$4,436,100	$5,091,500
10	2011	$776,500	$8,300	$53,800	$4,436,100	$5,274,700
11	2010	$1,364,800	$8,300	$73,300	$4,990,600	$6,437,000
12	2009	$1,754,700	$5,400	$26,400	$6,225,900	$8,012,400
13	2008	$1,379,400	$14,900	$26,400	$4,632,700	$6,053,400
15	2007	$1,373,300	$14,900	$26,400	$4,632,700	$6,047,300
16	2006	$1,301,100	$14,900	$27,200	$4,578,200	$5,921,400
17	2005	$1,078,600	$14,000	$27,900	$4,578,300	$5,698,800
18	2004	$960,600	$14,000	$28,300	$4,578,300	$5,581,200
19	2003	$479,500	$14,000	$29,100	$2,305,800	$2,828,400
20	2002	$479,500	$14,000	$29,100	$2,305,800	$2,828,400
21	2001	$427,200	$13,800	$24,400	$1,811,700	$2,277,100
22	2000	$509,100	$7,300	$25,300	$1,486,400	$2,028,100
23	1999	$509,100	$7,300	$21,700	$1,486,400	$2,024,500
24	1998	$509,100	$7,300	$21,700	$1,486,400	$2,024,500
25	1997	$216,200	$0	$0	$1,486,400	$1,729,900
26	1996	$216,200	$0	$0	$1,486,400	$1,729,900
27	1995	$216,200	$0	$0	$1,486,400	$1,729,900
28	1994	$183,900	$0	$0	$1,337,800	$1,554,100
29	1993	$183,900	$0	$0	$1,337,800	$1,554,100
30	1992	$209,600	$0	$0	$1,486,400	$1,732,700
31	1991	$408,000	$0	$0	$1,563,100	$2,022,200
32	1990	$408,000	$0	$0	$1,563,100	$2,022,200
33	1989	$623,000	$0	$0	$1,736,800	$2,417,300
34	1988	$316,500	$0	$0	$532,200	$922,900
35	1987	$316,500	$0	$0	$532,200	$922,900
36	1986	$316,500	$0	$0	$532,200	$922,900

Photos


5.4.2018


5.4.2018


5.4.2018


5.4.2018


LandVest
5.4.2018


5.4.2018


02/19/2008


5.4.2018


5 4 2018


5 4 2018


5 4 2018


5 4 2018


02/19/2008


5 4 2018


5 4 2018


5 4 2018

EXISTING VIEW FROM SOUTHEAST

EXISTING EAST SIDE FACING THE OCEAN

EXISTING VIEW FROM SOUTHWEST

EXISTING SOUTH SIDE FACING WIANNO AVE.

** THIS EXISTING CONDITION SITE PLAN IS ADOPTED FORM A SITE PLAN CREATED BY BAXTER NYE ENGINEERING OF HYANNIS, MA.

1 EXISTING CONDITIONS PLANS TO ACCOMPANY THE HISTORIC APPLICATION
SCALE" 1" = 20'-0"

STAMP:

BROWN LINDQUIST FENUCCIO & RABER ARCHITECTS, INC.
203 WILLOW STREET, SUITE A
YARMOUTHPORT, MA 02675
PH 508-362-8382
FAX 508-362-2828

"THE BEACON"
ORIGINALLY THE PHELPS RESIDENCE
AT
554 WIANNO AVENUE
OSTERVILLE, MA

TITLE:

EXISTING CONDITIONS SITE PLAN

DATE ISSUED: 02 - 19 - 2020

REVISIONS: --

DRAWN BY: TWS

PROJECT #: --

DRAWING NO.:

EC-SP

Picture #1	
	View of south side facing Wianno Ave.
Picture #2	
	View from Southeast

Picture #3	
	View from East – facing Nantucket Sound
Picture #4	
	View from northeast

Picture #5	
	North side with bay window and original French doors with transom

Picture #6	
	View of west elevation (left side when viewed from Wianno Ave.)

Picture #7	
	Picture of entry porch addition to be removed, this will not be reconstructed at the new location. Similarly the gable covered bulkhead to the basement will be removed.
Picture #8	
	The existing kitchen addition and porch will be removed and will not be reconstructed.

Picture #9	
	Existing detached 3-car garage to remain @ 554 Wianno

Town Clerk Stamp

TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 4/27/20 ☑ Full Demotion (COTTAGE) ☑ Partial Demolition

Building Address: 183 OSTERVILLE W. BARNSTABLE RD
Number Street

OSTERVILLE 02655 Assessor's Map # 120 Assessor's Parcel # 003/002
Village ZIP

Property Owner: JOYCE GRESH 508-776-4067
Name Phone#

Property Owner Mailing Address (if different than building address)

Property Owner e-mail address: JGRESH52@GMAIL.COM

Contractor/Agent: DOUG MULLEN

Contractor/Agent Mailing Address: PO BOX 1274 MARSTONS MILLS MA 02648

Contractor/Agent Contact Name and Phone #: DOUG MULLEN 774-487-6775
Name Phone #

Contractor/Agent Contact e-mail address: DOUG@MULLENBUILDING.COM

Demolition Proposed - please itemize all changes:

① DEMOLISH GARAGE/DINING ROOM (LEFT ELEVATION)
② DEMOLISH COTTAGE IN BACK OF HOUSE.

Type of New Construction Proposed: KITCHEN ADDITION WITH BEDROOM ABOVE

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1935 Additions Year Built:

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No ☑ Yes ☐

Property Owner/Agent Signature

TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

DO NOT TIME STAMP THIS SHEET

Town Clerk's stamp is to be placed on the first page of the application which is page 2 of this packet.

Thank you.

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Application Requirements

☐ **Application – 3 Copies** Complete all sections of the application form including "detail of demolition proposed" and "type of new construction proposed" narratives. Three copies of the application shall be submitted to and stamped by the Town Clerk at 367 Main Street, Hyannis. One copy of the application remains with the Clerk, two copies shall then be filed with the Barnstable Historical Commission, at 200 Main Street, Hyannis. ***Please be sure to stamp the application, not this checklist.***

☐ **Supporting Materials – 3 Copies**

☐ Photographs — Include photos of:
- Each elevation where demolition is proposed
- Structure from all abutting streets

☐ Site Plan — A plan showing:
- All structures on the lot
- All proposed demolition, additions or changes to those structures
- Existing structure footprint
- Proposed structure footprint

☐ Elevations — Detailed elevations of all building facades outlining existing and proposed. An existing floor plan must be included highlighting the areas to be demolished. **(please provide three large scale and three 11X17 copies of the plans)**

☐ **$100 Filing Fee** — $100 fee shall be submitted with the application. Check made payable to the Town of Barnstable.

☐ **$34.50 Advertising Fee** — The applicant shall pay the cost of the required two advertisements in the local newspaper. Check made payable to the Barnstable Patriot.

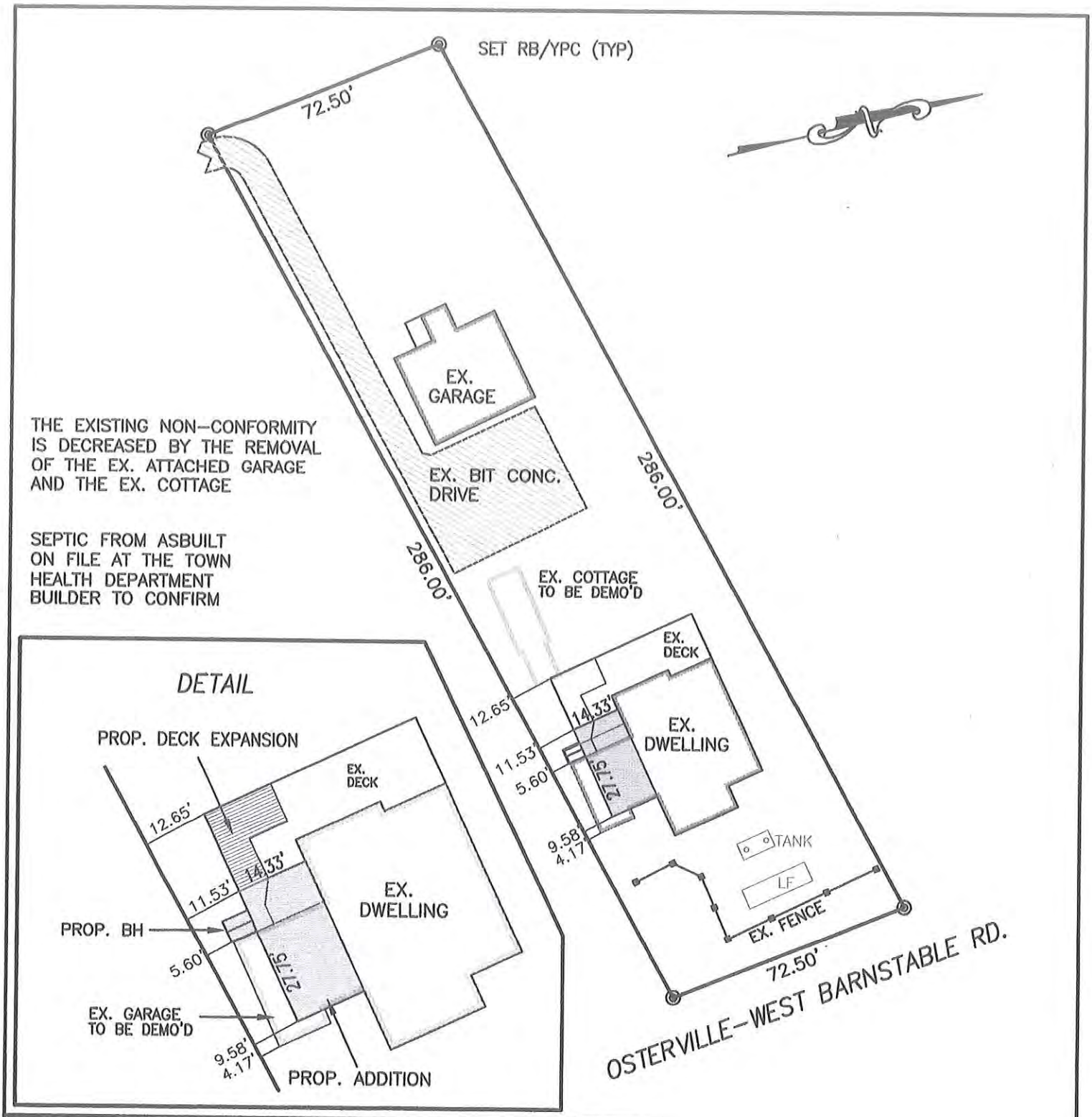
☐ **Postage Stamps** — First class postage stamps are required for abutter notification. Commission support staff in the Planning & Development Department will provide the number of stamps required.

Should the Barnstable Historical Commission Chair determine that a hearing is not required, both the Barnstable Patriot fee and postage stamps will be returned to the applicant

ADDITIONAL INFORMATION

- To prevent delays in processing, please provide all requested information with the application
- The applicant or a representative must be present at the public hearing

Please contact the Planning & Development Department at 200 Main Street, Hyannis, (508) 862-4787 or contact Erin Logan at erin.logan@town.barnstable.ma.us with any questions



CERTIFIED PLOT PLAN

I CERTIFY THAT THE IMPROVEMENTS SHOWN HAVE BEEN LOCATED BY A FIELD SURVEY.

3-30-20

ROBB SYKES, P.L.S. DATE

COMMONWEALTH OF MASSACHUSETTS
ROBB SYKES
No. 35418
REGISTERED PROFESSIONAL LAND SURVEYOR

MBLU 120-003-002
183 OSTERVILLE-WEST BARNSTABLE RD.
OSTERVILLE, MA

DATE: 3-30-2020
SCALE: 1"=40'

DRAWN: RBS
JOB #: S673
DWG. CPP

EASTBOUND LAND SURVEYING, INC.
P.O. BOX 442
FORESTDALE, MA 02644
508-477-4511

FRONT ELEVATION

LEFT ELEVATION

RIGHT ELEVATION

REAR ELEVATION

Stefan Richman
Design
phone: 508-280-5738
e-mail: stefanrichman@hotmail.com

Note:
Any/all discrepancies, errors, and/or ommissions to the notes, dimensions, and/or drawings shall be brought to the attention of the designer prior to start of construction. Going forward with construction constitutes acceptance of these plans and any discrepancies, errors, and/or ommissions become the sole responsibility of the building contractor and/or home owner. All construction to conform to current edition of the Mass. building code in it's entirety

Job: EXISTING CONDITIONS @ 183 OSTERVILLE-WEST BARSTABLE RD. BARNTABLE, MA

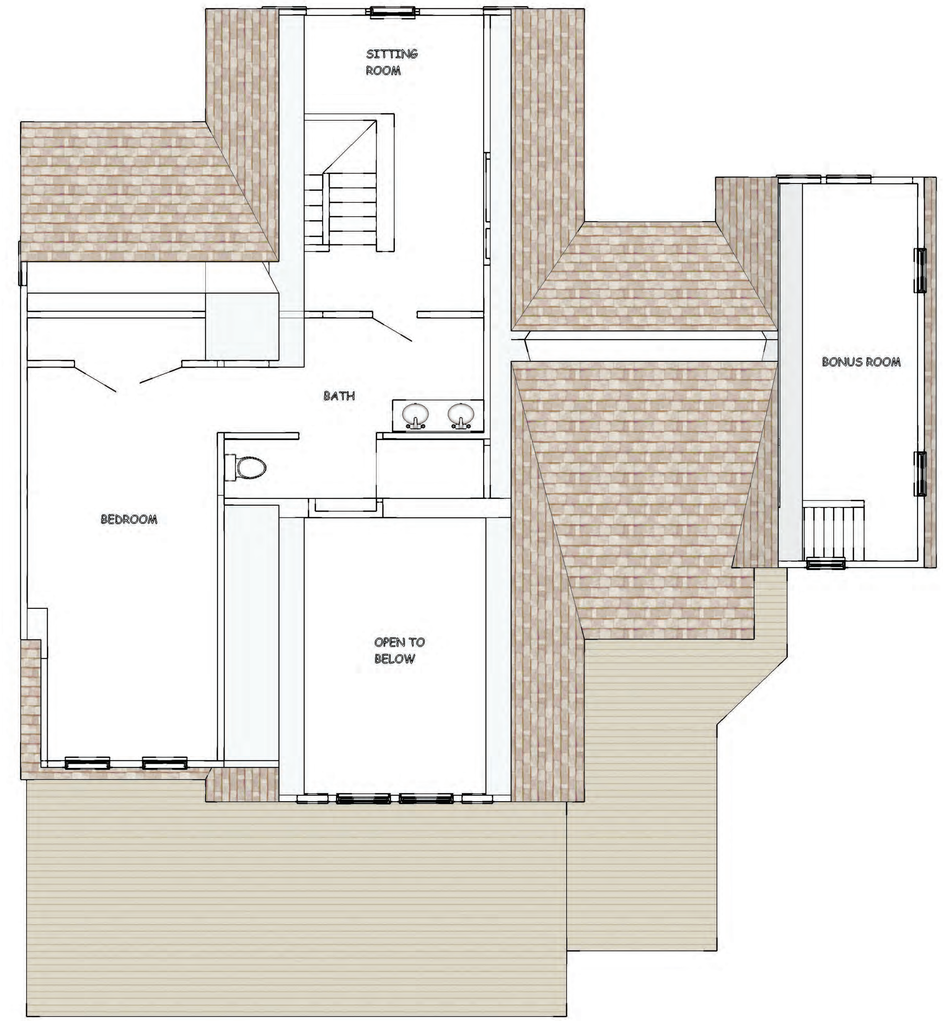
Title: ELEVATIONS

Scale: 1/4" = 1'0"

Date: 11 - 22 - 18

Revisions:

1ST FLOOR PLAN



2ND FLOOR PLAN

Stefan Richman Design
phone: 508-280-5738
e-mail: stefanrichman@hotmail.com

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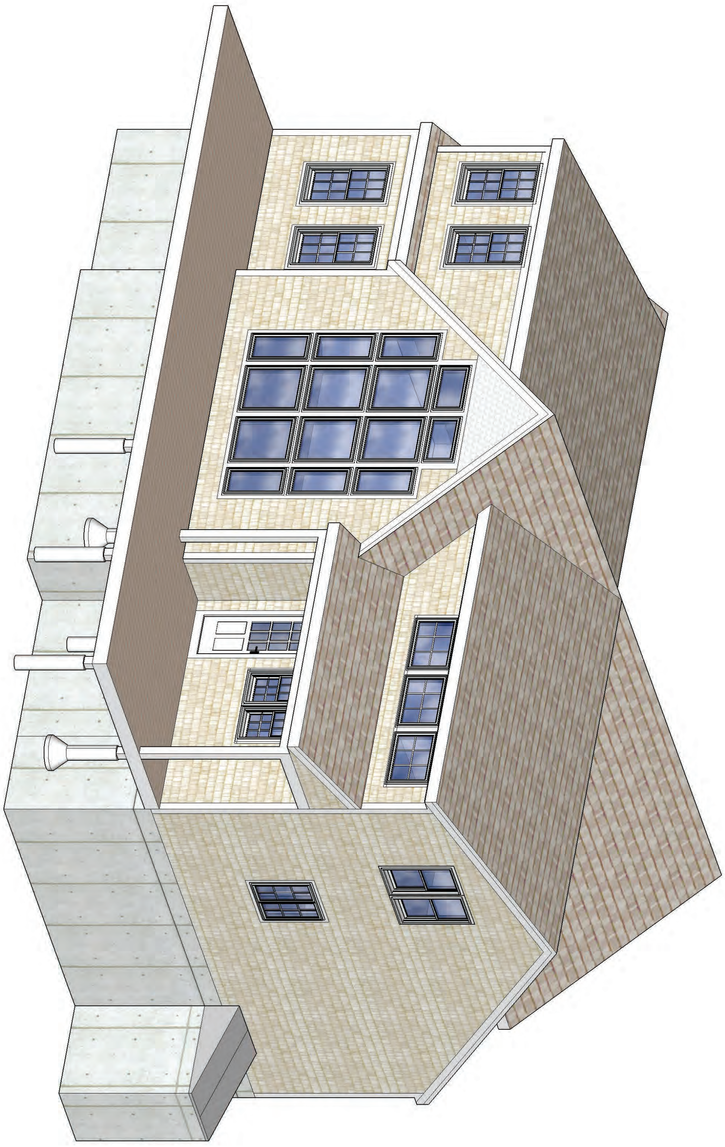
Job: EXISTING CONDITIONS @ 183 OSTERVILLE-WEST BARSTABLE RD. BARNTABLE, MA

Title: 1ST & 2ND FLOOR PLANS

Scale: 1/4" = 1'0"

Date: 11 - 22 - 18

Revisions:



Page: 1 OF 6 111

Revisions:
12 - 20 - 19

Date: 10 - 14 - 19

Scale: 1/4 = 1'0"

Job:

PROPOSED ADDITION @
183 OSTERVILLE-W. BARNSTABLE RD
BARNSTABLE, MA

Title: COVER

Note:

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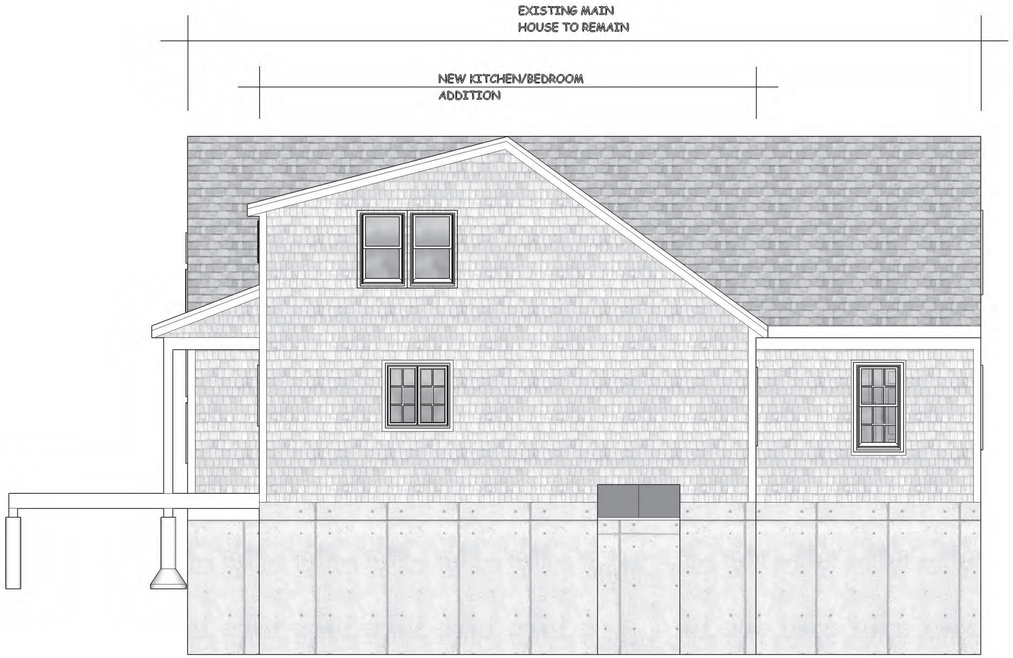
Stefan Richman
Design

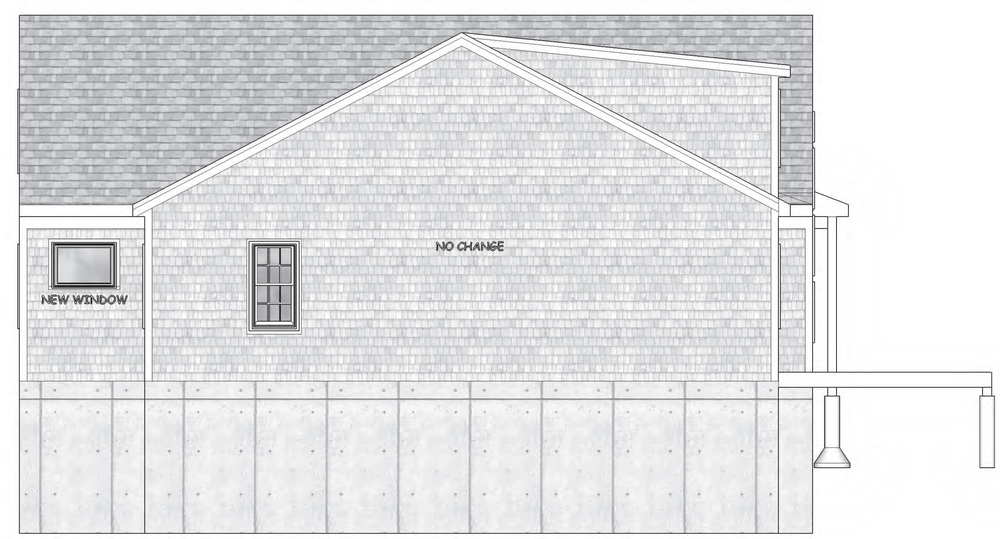
phone: 508-280-5738
e-mail: stefanrichman@hotmail.com



LEFT ELEVATION

FRONT ELEVATION

REAR ELEVATION



RIGHT ELEVATION

Stefan Richman
Design
phone: 508-280-5738
e-mail: stefanrichman@hotmail.com

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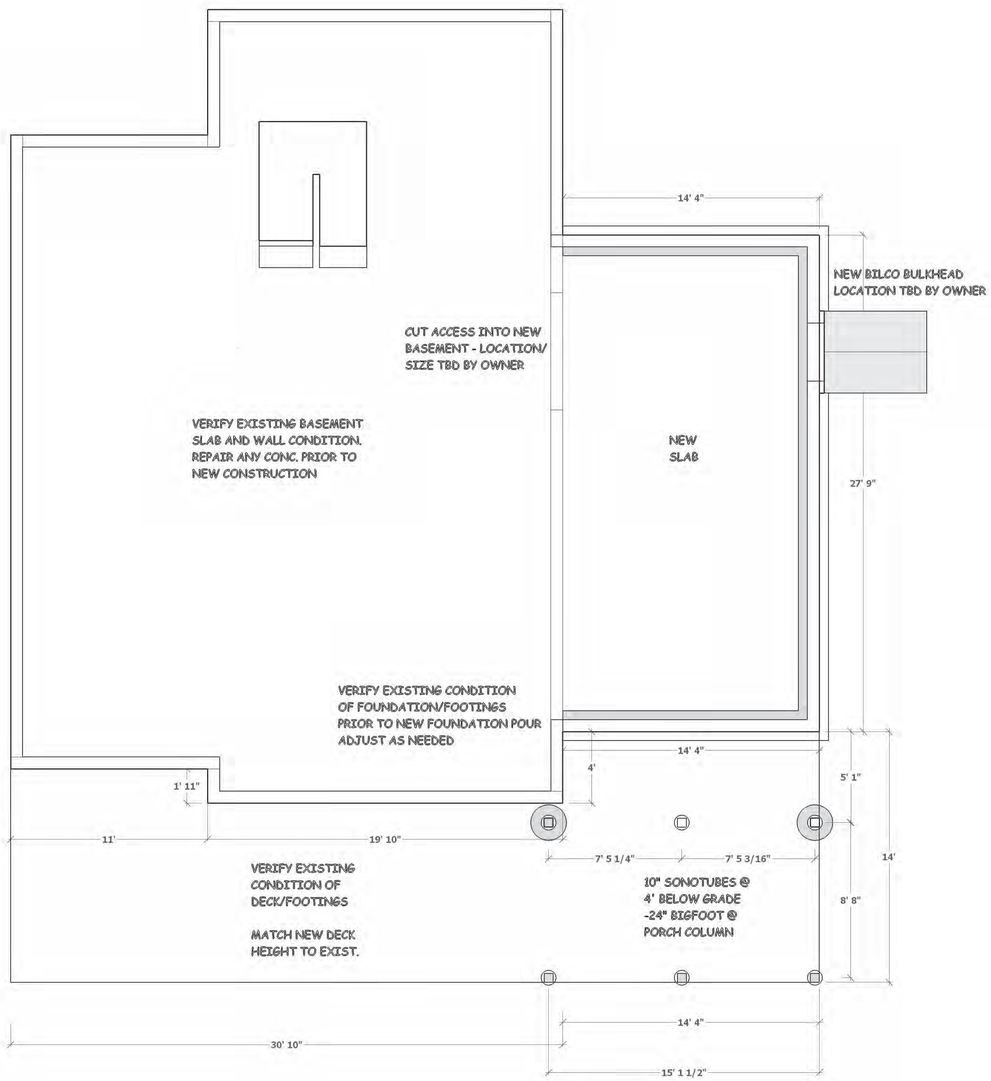
Job: PROPOSED ADDITION @
183 OSTERVILLE-W. BARNSTABLE RD
BARNSTABLE, MA

Title: ELEVATIONS

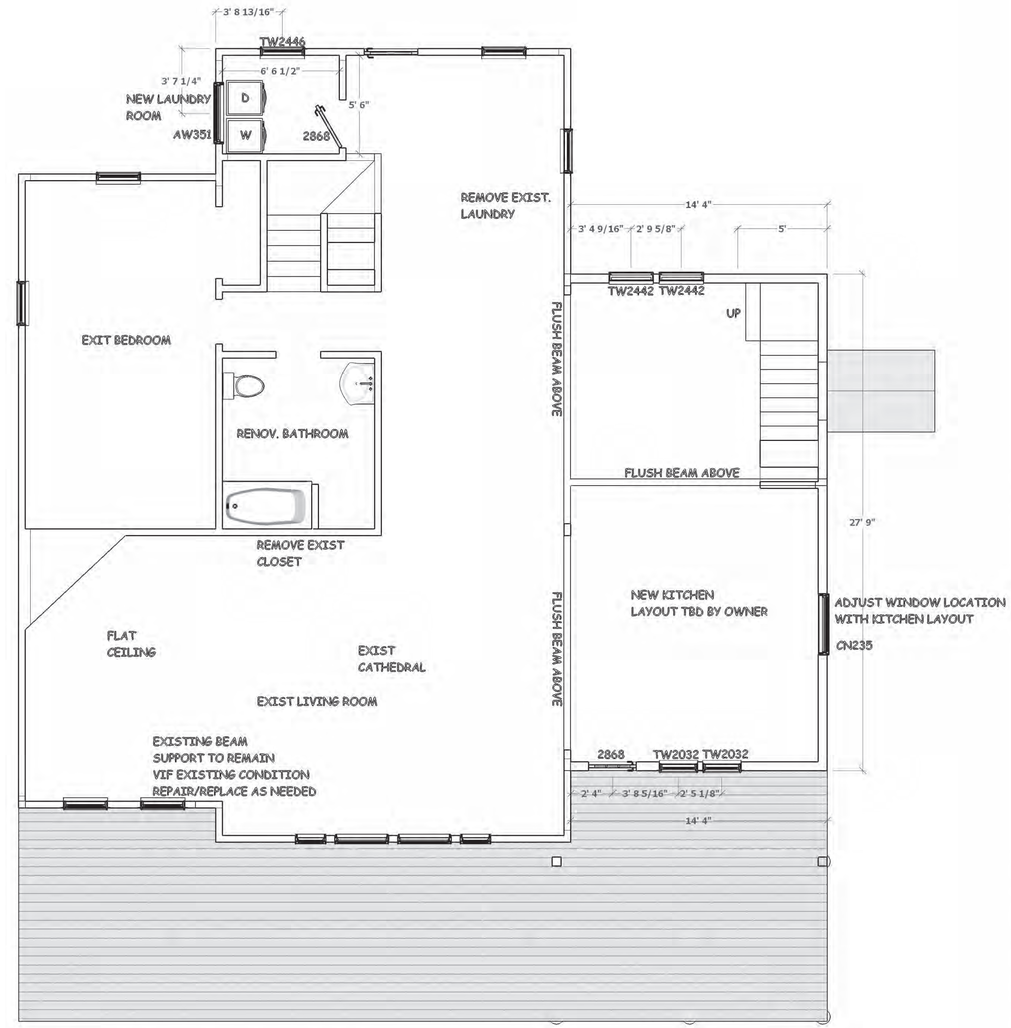
Scale: 1/4 = 1'0"

Date: 10 - 14 - 19

Revisions:
12 - 20 - 19



FOUNDATION PLAN



1ST FLOOR PLAN

Stefan Richman
Design
phone: 508-280-5738
e-mail: stefanrichman@hotmail.com

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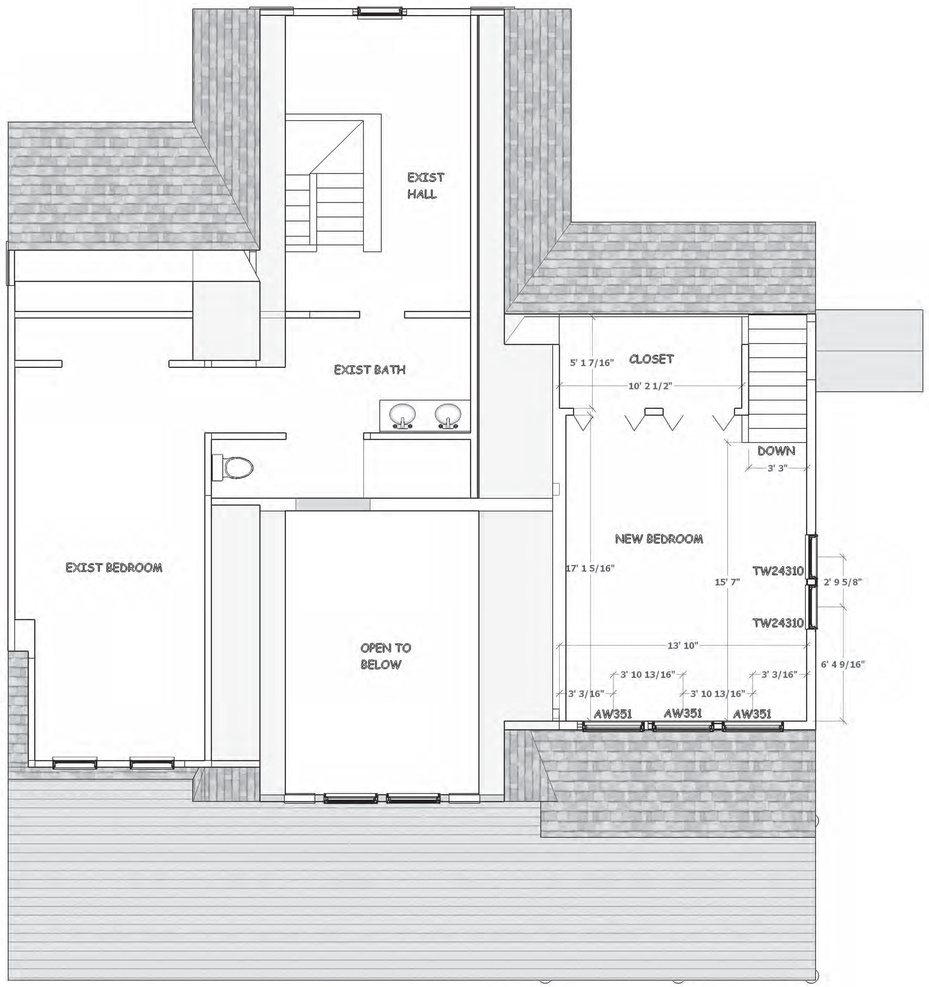
Job: PROPOSED ADDITION @
183 OSTERVILLE-W. BARNSTABLE RD
BARNSTABLE, MA

Title: FOUNDATION/1ST FLOOR PLAN

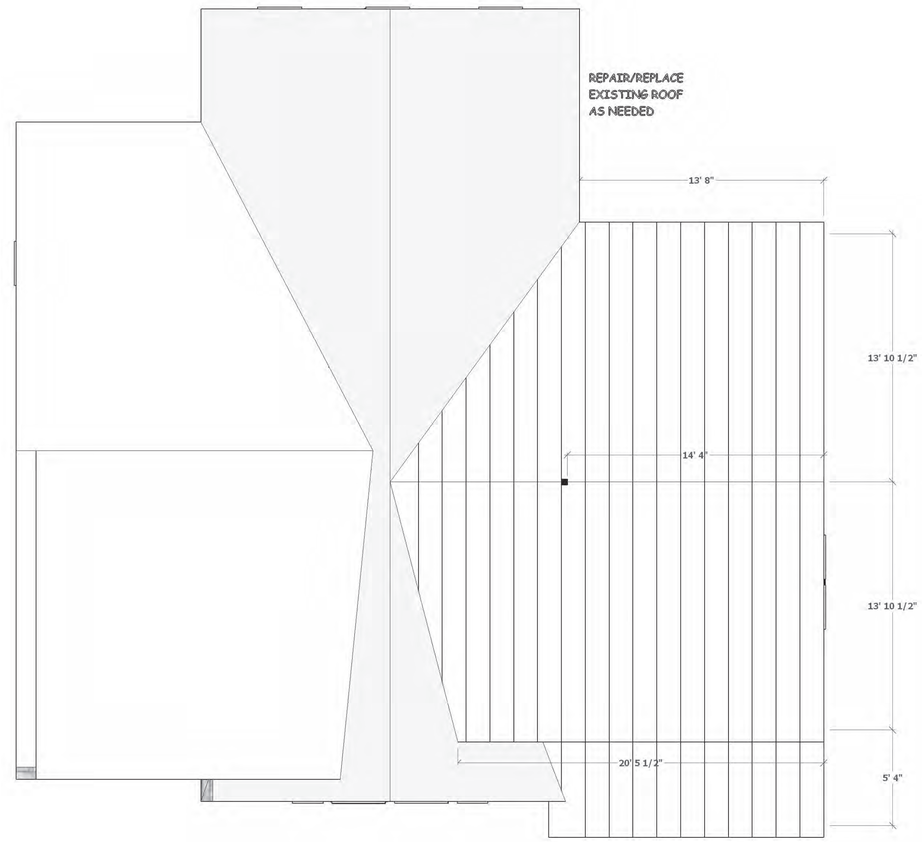
Scale: 1/4 = 1'0"

Date: 10 - 14 - 19

Revisions:
12 - 20 - 19



2ND FLOOR PLAN



-ALL RAFTERS TO BE 2x10's 16"OC
-REFER TO SUPPLIER FOR LVL RIDGE BEAM SIZING
-2x4 COLLAR TIES 16"OC AT UNDERSIDE OF RIDGE
-PERPENDICULAR 2x BLOCKING 4'OC 2 RAFTER BAYS IN FROM GABLES
-1/2" SHEATHING
-ALL HEADERS TO BE 3/2x8 w/1" RIGID INSULATION TYP.

ROOF PLAN

Stefan Richman Design
phone: 508-280-5738
e-mail: stefanrichman@hotmail.com

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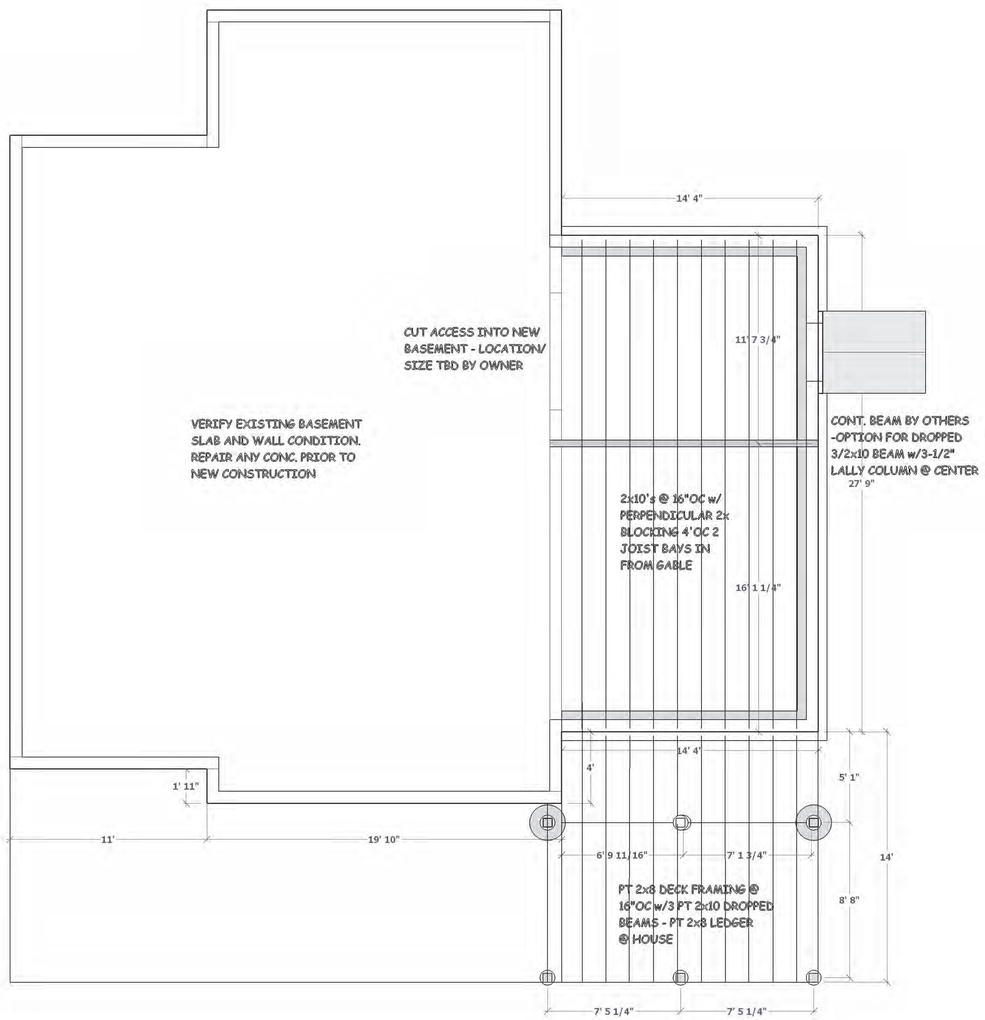
Job: PROPOSED ADDITION @ 183 OSTERVILLE-W. BARNSTABLE RD BARNSTABLE, MA

Title: 2ND FLOOR PLAN/ROOF PLAN

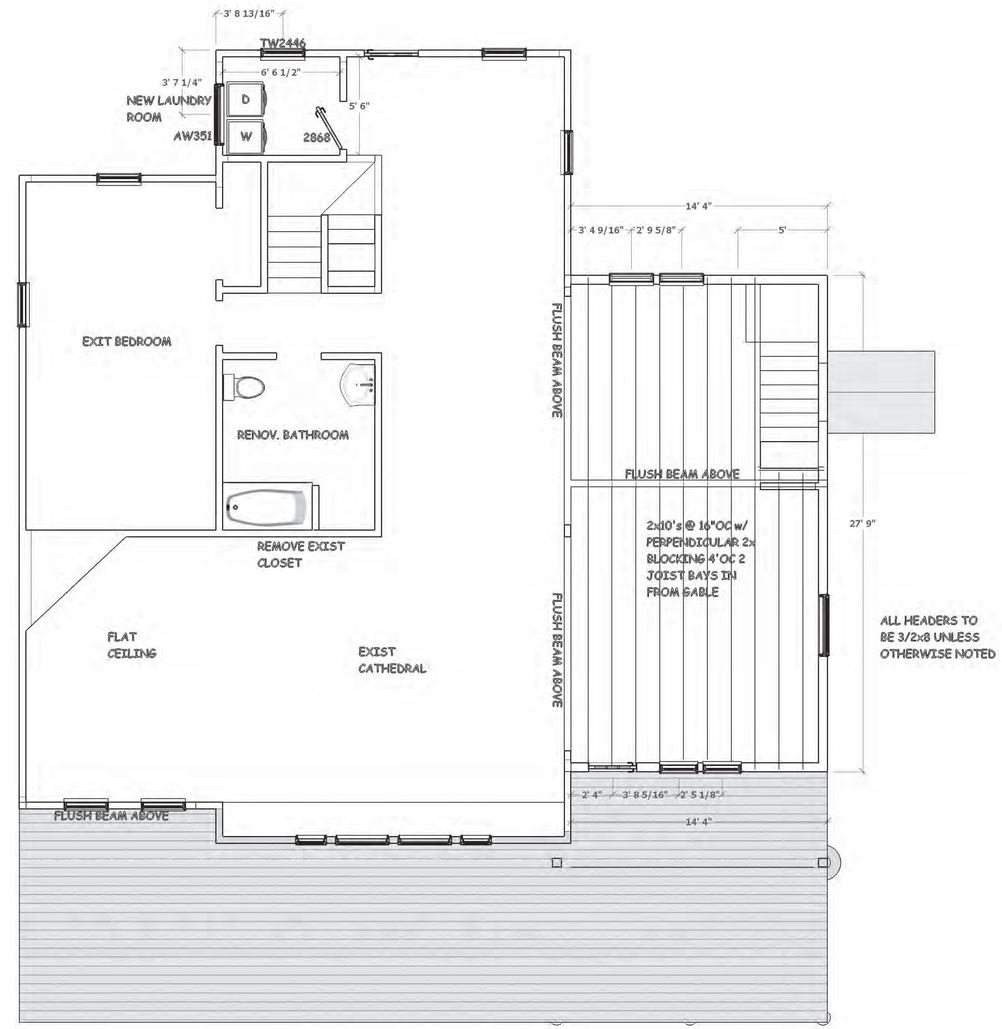
Scale: 1/4 = 1'0"

Date: 10 - 14 - 19

Revisions:
12 - 20 - 19



1ST FLOOR FRAMING



2ND FLOOR FRAMING

Stefan Richman Design

phone: 508-280-5738
e-mail: stefanrichman@hotmail.com

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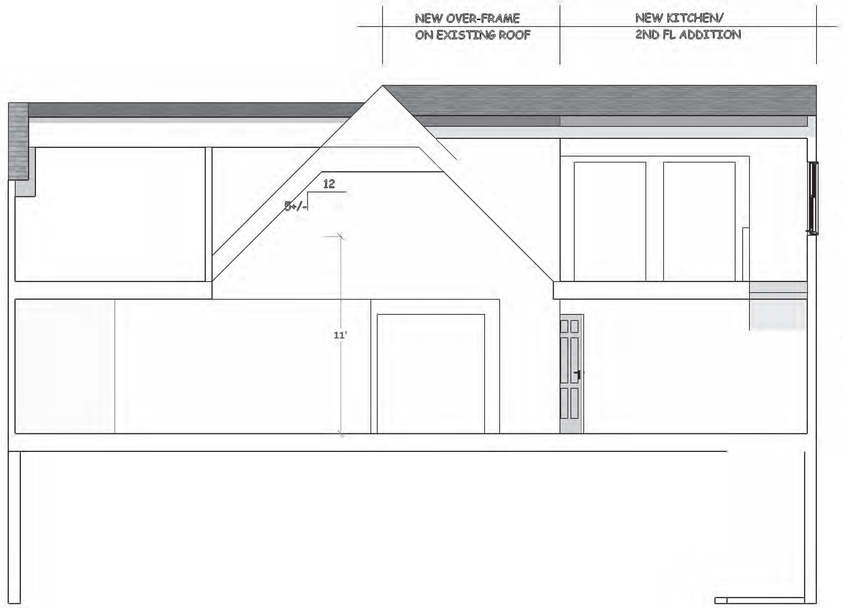
Job: PROPOSED ADDITION @ 183 OSTERVILLE-W. BARNSTABLE RD BARNSTABLE, MA

Title: 1ST & 2ND FLOOR FRAMING

Scale: 1/4 = 1'0"

Date: 10 - 14 - 19

Revisions:
12 - 20 - 19



FAMILY ROOM CROSS SECTION

EXTERIOR FINISHES
- WC SHINGLES 5" TTW OVER RAINSCREEN
- ALL NEW TRIM TO BE 1x AZEK TO MATCH EXIST DETAILS
- ALL NEW ROOFING TO MATCH EXIST. COLOR/TYPE OVER MIN 15# FELT W/ICE& WATER @ EAVES & VALLEYS W/ALUM. DRIP EDGE & VENT @ RIDGE

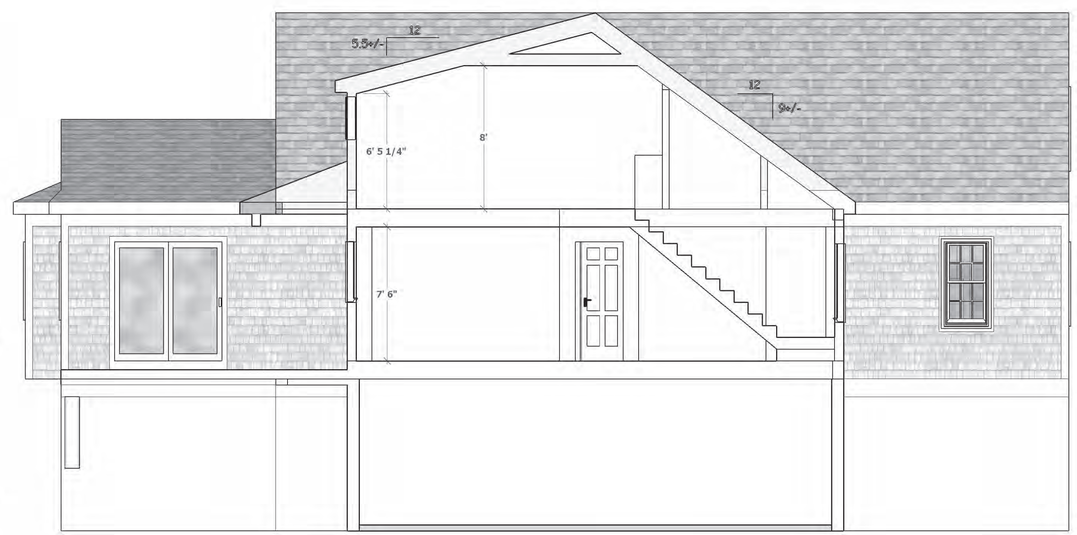
MISC. PORCH/DECK DETAILS
- NEW 5/4x6 COMP. DECKING W/HIDDEN FASTENING SYSTEM
- 1x AZEK POST WRAP OVER PT 6x6 POSTS W/1x6 T&G CEILING @ PORCHES
- 1x AZEK TRIM @ ALL DECK PERIMETERS

MISC. DETAILS
- 1x3 STRAPPING @ CEILINGS W/1/2" GYPSUM
- MIN. R-38 INSUL @ CEILING/ROOF
- MIN. R-30 INSUL @ 1ST FLOOR SYSTEM W/ 1/2" GYPSUM INSTALLED @ UNDERSIDE OF JOIST FOR FIRE PROTECTION
- INSTALL 1" RIGID INSUL IN ALL NEW WINDOW/DOOR HEADERS

FLOOR/ROOF SYSTEMS
- REFER TO SUPLLIER FOR EWP JOIST/ BEAM LAYOUTS
- REFER TO SUPLLIER FOR FLUSH/ DROPPED CEILING/ROOF BEAMS

WALL ASSEMBLY
- 2x6 STUDS 16"OC W/SINGLE BOTTOM & DBL TOP PLATES. MIN 4' BETWEEN SPLICES IN PLATES
- 1/2" VERT SHEATHING INSTALLED FROM BOTTOM OF PT SILL UP TO 1-1/2" INTO 2ND FLOOR SYSTEM. THEN UP TO TOP OF TOP PLATE OF 2ND FL WALLS
- MIN R-19 INSUL. W/VAPOR BARRIER
- 1/2" GYPSUM W/SKIMCOAT

FOUNDATION
- 8" CONC. WALLS ON 16"x8" CONC. FOOTINGS w/KEYWAY
- REFER TO FOUNDATION INSTALLER FOR RECOMMENDED FASTENING NEW TO OLD FOUNDATION WALLS
- 4" CONC. SLAB OVER COMPACTED FILL w/6x6 WWM AND VAPOR BARRIER
- SEAL EXTERIOR OF WALL UP TO MIN. OF ROUGH GRADE
- CUT ACCESS OPENINGS FROM OLD TO NEW - LOCATION/SIZE TBD BY OWNER
- 5/8"x10" ANCHOR BOLTS INSTALLED @ 32"OC w/ 3x3x1/4" PLATE WASHERS
- SHIM SILL/SEAL AS NEEDED TO ALIGN NEW TO EXISTING FLOORS



KITCHEN/BEDROOM CROSS SECTION

Stefan Richman
Design
phone: 508-280-5738
e-mail: stefanrichman@hotmail.com

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Job: PROPOSED ADDITION @ 183 OSTERVILLE-W. BARNSTABLE RD BARNSTABLE, MA

Title: CROSS SECTIONS

Scale: 1/4 = 1'0"

Date: 10 - 14 - 19

Revisions:
12 - 20 - 19