

BARNSTABLE HISTORICAL COMMISSION – JUNE 16th MEETING MATERIALS
Table of Content

- Page 2** **Hyannis Rotary, LLC, c/o Ford and Ford Attorneys at Law, 10 Hyannis Avenue, Hyannis Port, Map 287, Parcel 131, GB Holbrook House, built c.1905, contributing structure in the Hyannis Port Historic District**
Partial demolition of the Water Tower – remove portions of lower water tower structure and reconstruct; top section of water tower to be removed and placed on a newly reconstructed lower portion; remove and replace all stucco
- Page 47** **Kaschuluk, Jeffrey, 58 Wianno Avenue, Osterville, Map 141, Parcel 003/000, Watson Adams House, built 1869, inventoried**
Partial demolition – demolish portions of the structure and relocate remaining structure
- Page 72** **Litchfield, William, Trustee; Fortuna Nominee Trust; c/o Sullivan, Regina, 468 Wianno Avenue, Osterville, Map 163, Parcel 003, Granny’s Annex, Mrs. Henry W. Wellington House, built 1874, contributing structure in the Wianno Historic District**
Partial Demolition – demolish and reconstruct east elevation steps, construct new deck and pergola leading from the east elevation entrance to connect with existing decking on the north elevation; expand existing north and west elevation decking, including several sets of stairs leading to yard/pool area
- Page 93** **Cappelucci, David & Colleen, 31 Eel River Road, Osterville, Map 116, Parcel 106, built 1925**
Full demolition – full demolition of the main structure
- Page 119** **EBI Consulting – Invitation to Comment – EBI Project #6120004909 regarding a proposed telecommunications facility installation**

128 WARREN STREET (REAR)
LOWELL, MA. 01852
TEL: 978-452-3061
GFAX: 978-452-4713

GAVIN AND SULLIVAN ARCHITECTS, INC.

PROPOSED ALTERATION / RENOVATION FOR:

10 HYANNIS AVENUE

10 HYANNIS AVENUE
HYANNIS PORT, MA



OWNER:
HYANNIS ROTARY, LLC
500 CLARK ROAD
TEWKSBURY, MA 01876

DESIGN BY:
GAVIN AND SULLIVAN ARCHITECTS, INC.
128 WARREN STREET (REAR)
LOWELL, MA. 01852
FEBRUARY 21, 2020

G.B. HOLBROOK HOUSE
WATER TOWER

GENERAL REQUIREMENTS:

A) THE CONTRACTOR SHALL REFER TO ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE TYPE AND EXTENT OF WORK PERFORMED.

SCOPE OF WORK

A) CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT AND APPLIANCES REQUIRED TO PERFORM ALL SELECTIVE DEMOLITION, REMOVAL AND RELATED WORK NECESSARY FOR THE PROPER COMPLETION OF THE OPERATION AS REQUIRED BY THE CONTRACT DOCUMENTS.

B) THE DRAWINGS INDICATE THE EXTENT OF WORK AND THE CONSTRUCTION ELEMENTS TO BE REMOVED. HOWEVER, THE CONTRACTOR SHALL MAKE AN INDEPENDENT EXAMINATION OF THE EXTENT OF THE WORK TO BE PERFORMED SO AS TO PROPERLY PREPARE THE AREA FOR THE WORK OF OTHER TRADES TO FOLLOW.

QUALITY ASSURANCE

A) THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE ESTABLISH THE MINIMUM ACCEPTABLE QUALITY OF WORKMANSHIP AND MATERIALS, AND ALL WORK SHALL CONFORM THERETO UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED ON CONTRACT DOCUMENTS.

EXECUTION

O.S.H.A. REGULATIONS

A) THE CONTRACTOR PER DRAWINGS SHALL BE RESPONSIBLE FOR THE SUPERVISION OF HIS PERSONNEL AND THE INSPECTION OF EQUIPMENT AND APPLIANCES PROVIDED BY HIM TO ENSURE A SAFE WORKING ENVIRONMENT IN COMPLIANCE WITH O.S.H.A. REGULATIONS. IN ADDITION, THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ARCHITECT, IN WRITING, ANY POSSIBLE VIOLATION OF SAID O.S.H.A. REGULATIONS OBSERVED IN AREAS OCCUPIED BY HIS PERSONNEL. FAILURE TO NOTIFY THE ARCHITECT SHALL CONSTITUTE THE CONTRACTOR'S ACCEPTANCE OF THE WORK CONDITIONS AND THE RESPONSIBILITY THEREFOR.

NOTICES

A) BEFORE STARTING DEMOLITION, THE CONTRACTOR SHALL NOTIFY ALL CORPORATION, COMPANIES, INDIVIDUALS OR LOCAL AUTHORITIES OWNING CONDUITS, WIRES OR PIPES TO, THROUGH OR ACROSS THE WORK AREAS WHERE CONSTRUCTION TO BE DEMOLISHED IS LOCATED. IN ADDITION, THE CONTRACTOR SHALL ARRANGE TO HAVE ALL SERVICES, SUCH AS WATER GAS, STEAM, ELECTRICITY, LOW TENSION SERVICE, TELEPHONE, AND TELEGRAPH DISCONNECTED AT THE SERVICE MAINS OR OTHER APPLICABLE LOCATIONS IN ACCORDANCE WITH THE RULES AND REGULATIONS GOVERNING THE UTILITY INVOLVED. ALL INACTIVE WIRES, ELECTRIC SERVICES, DROPS AND CONNECTIONS SHALL BE REMOVED.

GENERAL PROTECTION

A) THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL FENCING, PLANKING, BRIDGES, BRACING, SHORING SHEETING, LIGHTS, BARRICADES, WARNING SIGNS AND GUARDS AND OTHER DEVICES AS NECESSARY FOR THE PROTECTION OF THE GENERAL PUBLIC, ABUTTERS AND CONSTRUCTION PERSONNEL.

B) THE CONTRACTOR SHALL COMPLETELY REMOVE ALL PROTECTION WHEN THE WORK IS COMPLETED OR WHEN ORDERED IN WRITING TO DO SO BY THE ARCHITECT.

C) ALL UNUSED EQUIPMENT OR MATERIALS IN OR AROUND THE BUILDING NOT OTHERWISE INDICATED TO REMAIN OR BE SALVAGED SHALL BE REMOVED IN ITS ENTIRETY AND LAWFULLY DISPOSED OF UNDER THE WORK OF THIS CONTRACT DOCUMENTS.

DEMOLITION

A) THE ITEMS TO BE DEMOLISHED SHALL BE REMOVED IN THEIR ENTIRETY EXCEPT AS OTHERWISE NOTED ON THE DRAWINGS.

B) THE CONTRACTOR SHALL COMPLETELY REMOVE FROM THE PROJECT AREA ALL DEMOLISHED MATERIALS, AND SHALL LAWFULLY DISPOSE OF THE SAME OFF THE SITE. NO BURNING WILL BE PERMITTED ON THE PROJECT SITE.

UTILITIES

A) BEFORE STARTING DEMOLITION THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS AND FOR PERFORMING ANY NECESSARY WORK INVOLVED IN CONNECTION WITH THE DISCONTINUANCE OR INTERRUPTION OF ALL PUBLIC AND PRIVATE UTILITIES OR SERVICES INCLUDING ANY SYSTEM WHICH WILL BE AFFECTED BY THE WORK TO BE PERFORMED UNDER THIS CONTRACT.

EXTENT OF REMOVALS

A) EXCEPT AS OTHERWISE NOTED OR INDICATED ON THE DRAWINGS, ALL DEMOLITION AND REMOVALS SHALL BE COMPLETE TO THE EXTENT THAT REASRQ-P-E READY FOR NEW CONSTRUCTION UNDER OTHER SECTIONS OF THE DRAWINGS.

CLEANING

A) ALL WORK ADJACENT TO OPERATIONS UNDER THIS CONTRACT DOCUMENT SHALL BE INSPECTED FOR DAMAGE AND STAINS, AND REPAIR OR CLEANED PRIOR TO THE COMPLETION OF THE WORK.

CLEANUP

A) DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISE CLEAN OF DEBRIS RESULTING FROM HIS OPERATIONS AND SHALL REMOVE SURPLUS AND WASTE MATERIALS FROM THE SITE AS SOON AS POSSIBLE.

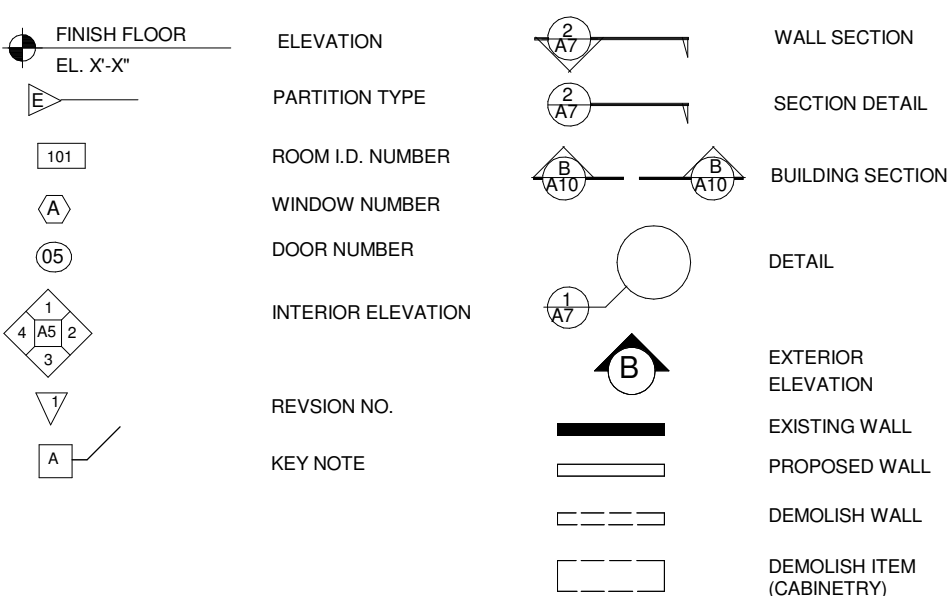
B) UPON COMPLETION OF THE WORK, THE SUBCONTRACTOR SHALL REMOVE FROM THE SITE ALL SCAFFOLDING, EQUIPMENT AND MATERIALS USED ON THE WORK AS WELL AS ANY DEBRIS RESULTING FROM THE OPERATIONS.

1 OSHA NOTES
3/16" = 1'-0"

LIST OF ABBREVIATIONS

BM	BEAM	MECH	MECHANICAL
B.O.	BOTTOM OF	MEZZ	MEZZANINE
C.L.	CENTER LINE	MFG	MANUFACTURED
CLR	CEILING	M.O.	MASONRY OPENING
CLR	CLEAR	MISC	MISCELLANEOUS
COL	COLUMN	MOD	MODIFICATION
CONC	CONCRETE	MTL	METAL
DA	DIAMETER	N.I.C.	NOT IN CONTRACT
DBL	DOUBLE	NTS	NOT TO SCALE
DS	DOWNSPOUT	O.C.	ON CENTER
DWG	DRAWING	OD	OUTSIDE DIAMETER
EA	EACH	OPNG	OPENING
ELEC	ELECTRIC	OPP	OPPOSITE
EL	ELEVATION	RD	ROUND
EQ	EQUAL	REQD	REQUIRED
EXP	EXPANSION	RENF	REINFORCED
FAB	FABRICATE	RM	ROOM
FIN	FINISH	R.O.	ROUGH OPENING
F.O.S.	FACE OF STUD	SHT.	SHEET
FLR	FLOOR	SCH	SCHEDULE
FTS	FOOTING	SECT	SECTION
GALV	GALVANIZED	SO	SQUARE
GWBD	GYPSUM WALL BOARD	SPEC	SPECIFICATION
HDW	HARDWARE	STD	STANDARD
HOR	HORIZONTAL	STL	STEEL
HGT	HEIGHT	STRUC.	STRUCTURAL
IN	INCH	SYS	SYSTEM
INSUL	INSULATION	TEL	TELEPHONE
INT	INTERIOR	TOPO	TOPOGRAPHY
ID	INSIDE DIAMETER	T.O.C.	TOP OF CONCRETE
KIT	KITCHEN	T.O.S.	TOP OF STEEL
LAM	LAMINATE	T.O.W.	TOP OF WALL
LAV	LAVATORY	THK	THICK
LGD	LANDING	T & G	TONGUE & GROOVE
LOC	LOCATION	TYP	TYPICAL
LGT	LIGHTING	UL	UNDERWRITERS LABORATORIES, INC.
MAS	MASONRY	VOL	VOLUME
MAX	MAXIMUM	WD	WOOD
MIN	MINIMUM	YD	YARD

DRAFTING SYMBOLS



LIST OF SYMBOLS (ARCHITECTURAL DRAWINGS)	
PLAN & SECTION	
[Symbol]	ROOF SHINGLES
[Symbol]	BRICK
[Symbol]	SIDING
[Symbol]	SHINGLE SIDING
[Symbol]	CONCRETE
[Symbol]	EARTH
[Symbol]	STONE FILL
[Symbol]	STEEL
[Symbol]	CONCRETE BLOCK (C.M.U.)
[Symbol]	WOOD GRAIN
[Symbol]	ROUGH WOOD
[Symbol]	PLYWOOD
[Symbol]	INSULATION
[Symbol]	RIGID INSULATION

GENERAL CONSTRUCTION NOTES

1. ALL MATERIALS, HARDWARE, APPLIANCES AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND THE LOCAL BUILDING CODE. PROVIDE ALL NECESSARY BLOCKING, NAILERS, MOULDINGS, ETC. IN ORDER TO MEET THE REQUIREMENTS OF THE INSTALLATION.
2. CONTRACTOR TO SEAL WITH APPROPRIATE CAULKING ALL LOCATIONS NECESSARY TO PREVENT PENETRATION OF MOISTURE AND AT TRANSITIONS OF SIMILAR MATERIALS.
3. CONTRACTOR'S RESPONSIBILITY TO PAINT ALL SURFACES WHICH REQUIRE PROTECTION FROM THE ELEMENTS WITH THE APPROPRIATE PAINT INCLUDING ALL NECESSARY PRIMER COATS AND BACK PRIMING.
4. INSTALL ALL NECESSARY FLASHINGS WHERE NECESSARY TO MAKE THE BUILDING WATER TIGHT.
5. CONTRACTOR TO VERIFY ALL DETAILS, CONDITIONS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. IF A CONFLICT IS DISCOVERED, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY CONSTRUCTION PROBLEM OR DEFECT CAUSED BY PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFYING THE ARCHITECT OF CONFLICTS. THESE DRAWINGS ARE SCHEMATIC REPRESENTATIONS OF THE INTENDED CONSTRUCTION. DO NOT SCALE DRAWINGS, DIMENSIONS ARE TO GOVERN OVER SCALE.

SPECIALTY CONSTRUCTION AND MILLWORK NOTES

- 1) ALL INTERIOR ELEVATIONS SHOWN IN DRAWING SET ARE FOR GRAPHIC REPRESENTATION TO SHOW DESIGN INTENT. SHOP DRAWINGS AND SUBMITTALS WILL BE REQUIRED FOR ALL MILLWORK. SUPPLY AND INSTALL ALL MILLWORK AND SPECIALTY CONSTRUCTION AS SHOWN ON PLANS, ELEVATIONS, AND DETAILS.
- 2) ALL MATERIAL AND WORKMANSHIP SHALL MEET AWI (ARCHITECTURAL WOODWORK INSTITUTE) CUSTOM GRADE QUALITY STANDARD.
- 3) ALL DIMENSIONS SHALL BE VERIFIED BY THE FABRICATOR.
- 4) ALL KITCHEN BASE CABINETS TO BE 2" DEEP UNLESS NOTED OTHERWISE.
- 5) ALL WOOD FINISHING FORMULAS TO MEET AND COMPLY WITH STATE AND FEDERAL VOC INDOOR REQUIREMENTS.
- 6) PROVIDE TOE KICKS IN KITCHEN CABINETS MILLWORK.
- 7) CONSULT WITH OWNER TO MILLWORK AND FINISHES.
- 8) SUPPLY AND INSTALL SHELF AND ROD IN CLOSETS.

APPLICABLE CODES:

(IRC) 2015 INTERNATIONAL RESIDENTIAL CODE (ONE AND TWO FAMILY)
MASSACHUSETTS AMENDMENTS 9TH EDITION
STRETCH CODE
(IECC) 2015 INTERNATIONAL ENERGY CONSERVATION CODE

R101.2 SCOPE:

SHALL APPLY TO THE CONSTRUCTION, ALTERATION, MOVEMENT, ENLARGEMENT, REPLACEMENT, REPAIR, EQUIPMENT, USE AND OCCUPANCY, LOCATION, REMOVAL AND DEMOLITION OF DETACHED ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSES.

MAXIMUM HEIGHT: THREE STORIES ABOVE GRADE PLANE

TYPE OF CONSTRUCTION: 5B WOOD CONSTRUCTION UNPROTECTED

THIS RESIDENTIAL STRUCTURE SHALL MEET ALL LOCAL ZONING CODES FOR OVERALL HEIGHT OF BUILDING ABOVE AVERAGE GRADE PLANE.

**TABLE R402.1.2
INSULATION AND FENESTRATION
REQUIREMENTS BY COMPONENT**

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	CRAWL SPACE WALL R-VALUE
5A	0.32	0.55	NR	49	20 DR 13 + 5h	13/17	30g	15/19	10, 2 FT	15/19

NOTES:

1. TABLE FROM 2015 INTERNATIONAL ENERGY CONSERVATION CODE COMMENTARY PERFORMANCE LEVEL FOR EACH OF THE INDIVIDUAL COMPONENTS.
- For SI: 1 foot = 304.8 mm.
- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.
- "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- i. The second R-value applies when more than half the insulation is on the interior of the mass wall

2 TABLE R402.1.2 ENVELOPE REQUIREMENTS
1/8" = 1'-0"

REVISIONS:

Sheet List			
Sheet Number	Sheet Name	Sheet Issue Date	Drawn By
A0.0	COVER SHEET	02-21-20	MW
A0.1	OSHA NOTES	02-21-20	MW
A8.0	TOWER - NORTH/SOUTH	02-21-20	MW
A8.1	TOWER - EAST/WEST	02-21-20	MW
A9.0	PLANS - OVERALL VIEW	02-21-20	MW
A10.0	SCHEDULES	02-21-20	MW
A11.0	BLDG. ENVELOPE DETAILS	02-21-20	MW
A11.1	BLDG. ENVELOPE DETAILS	02-21-20	MW

**G.B. HOLBROOK HOUSE
- TOWER**

THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HER'S RATER.

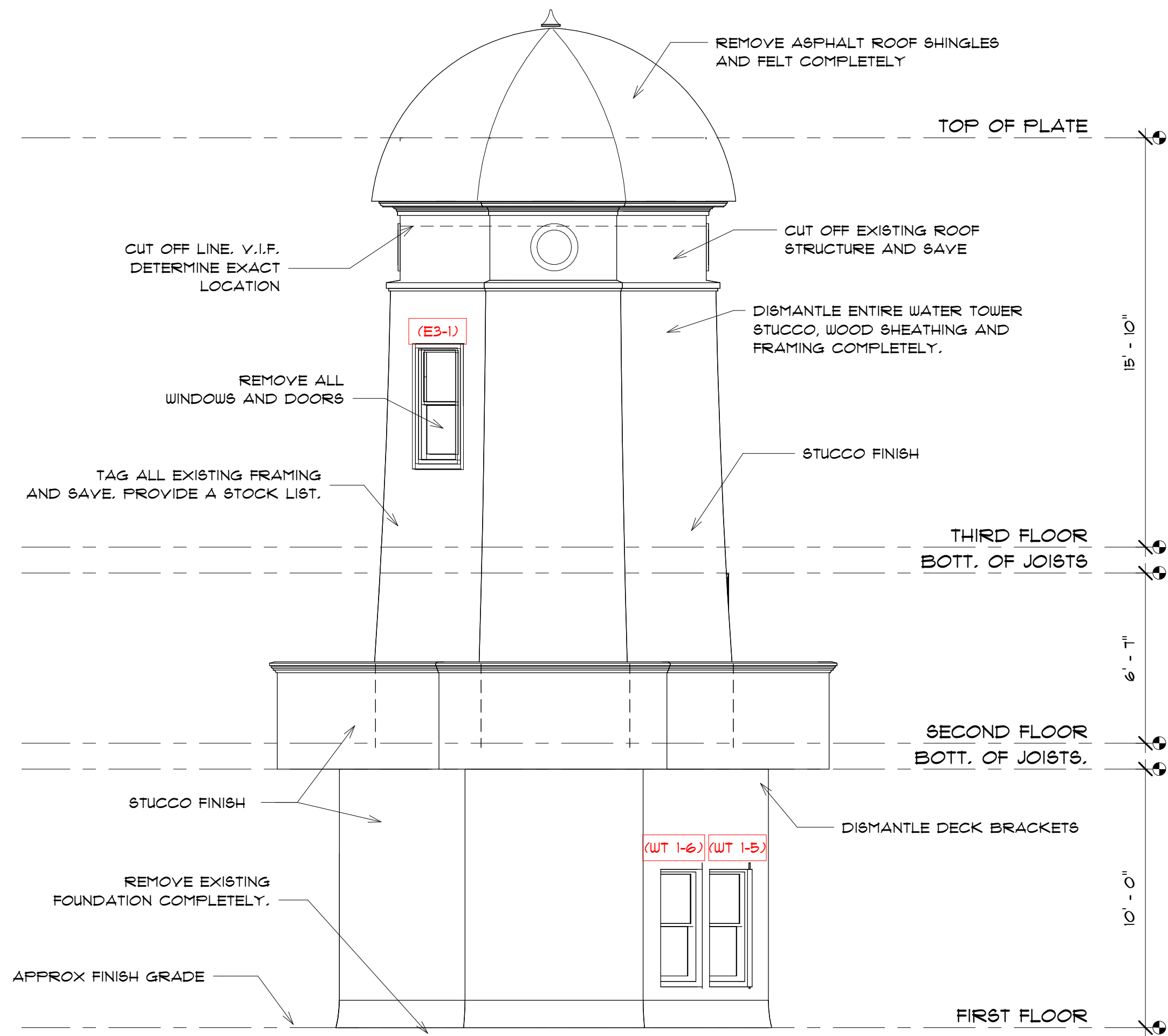
CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN HIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

DESIGNED BY:
GAYN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

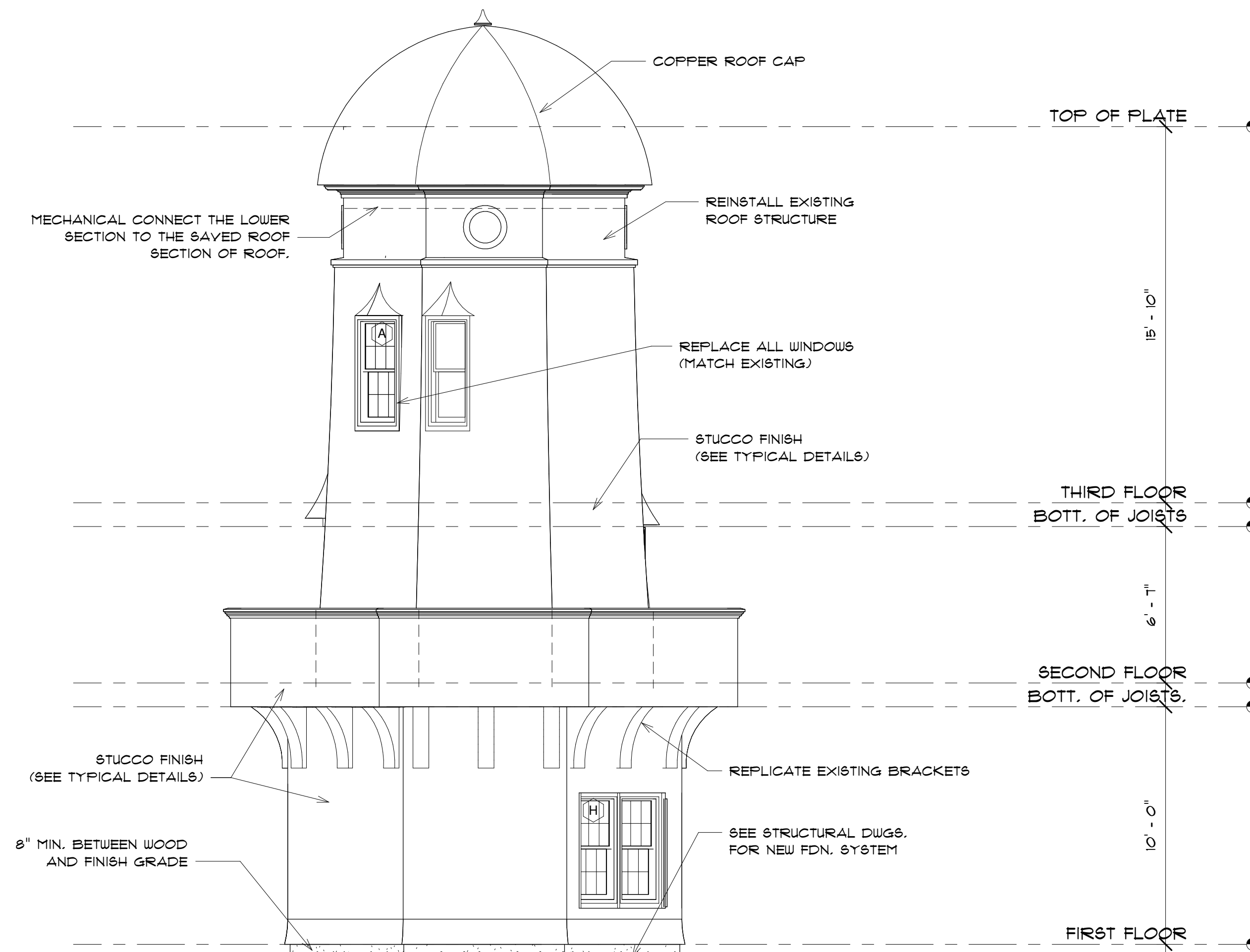
PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

OSHA NOTES
PROJECT: 18-137
DATE: 02-21-20
SCALE AS NOTED
DRAWN BY: MW

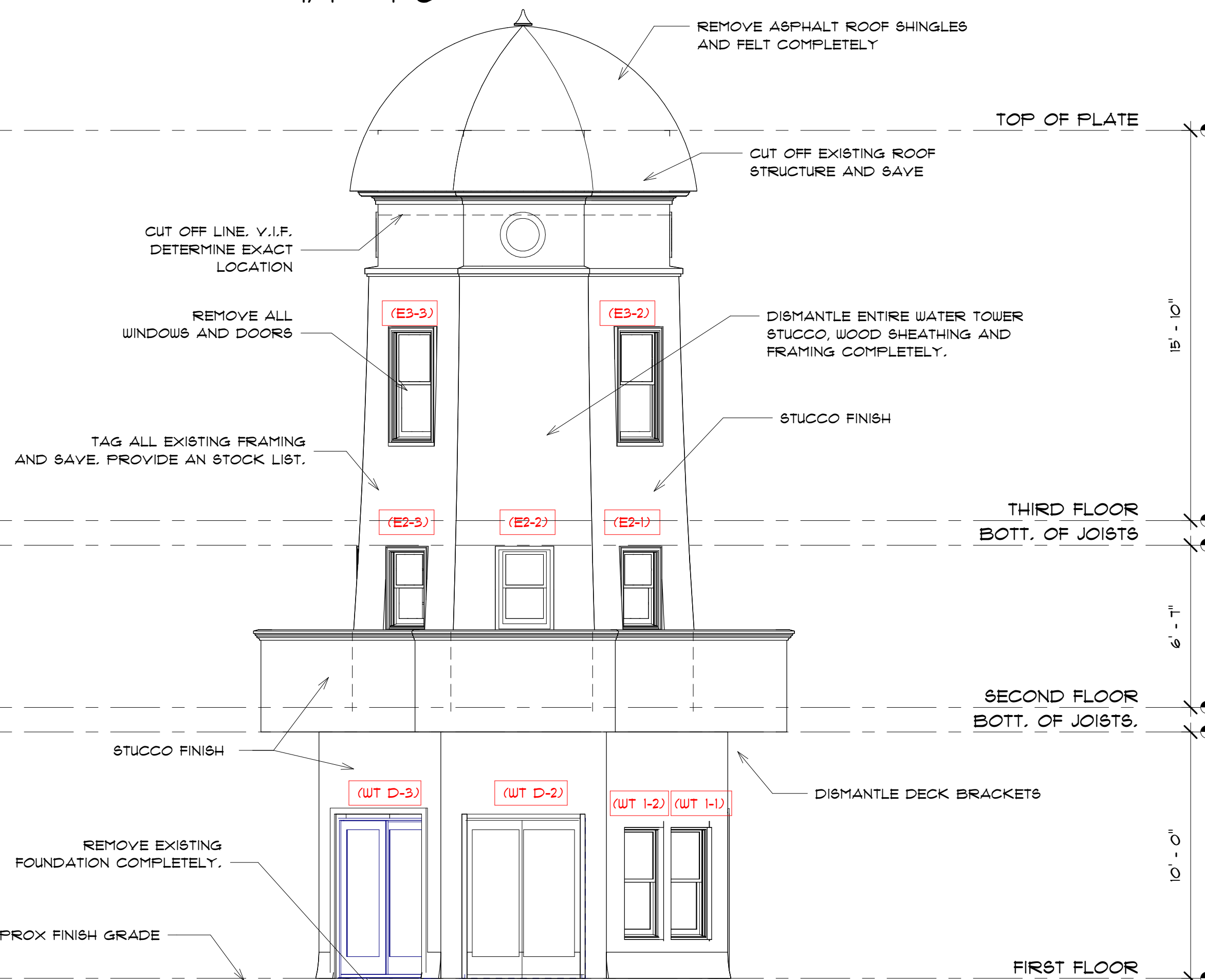
A0.1



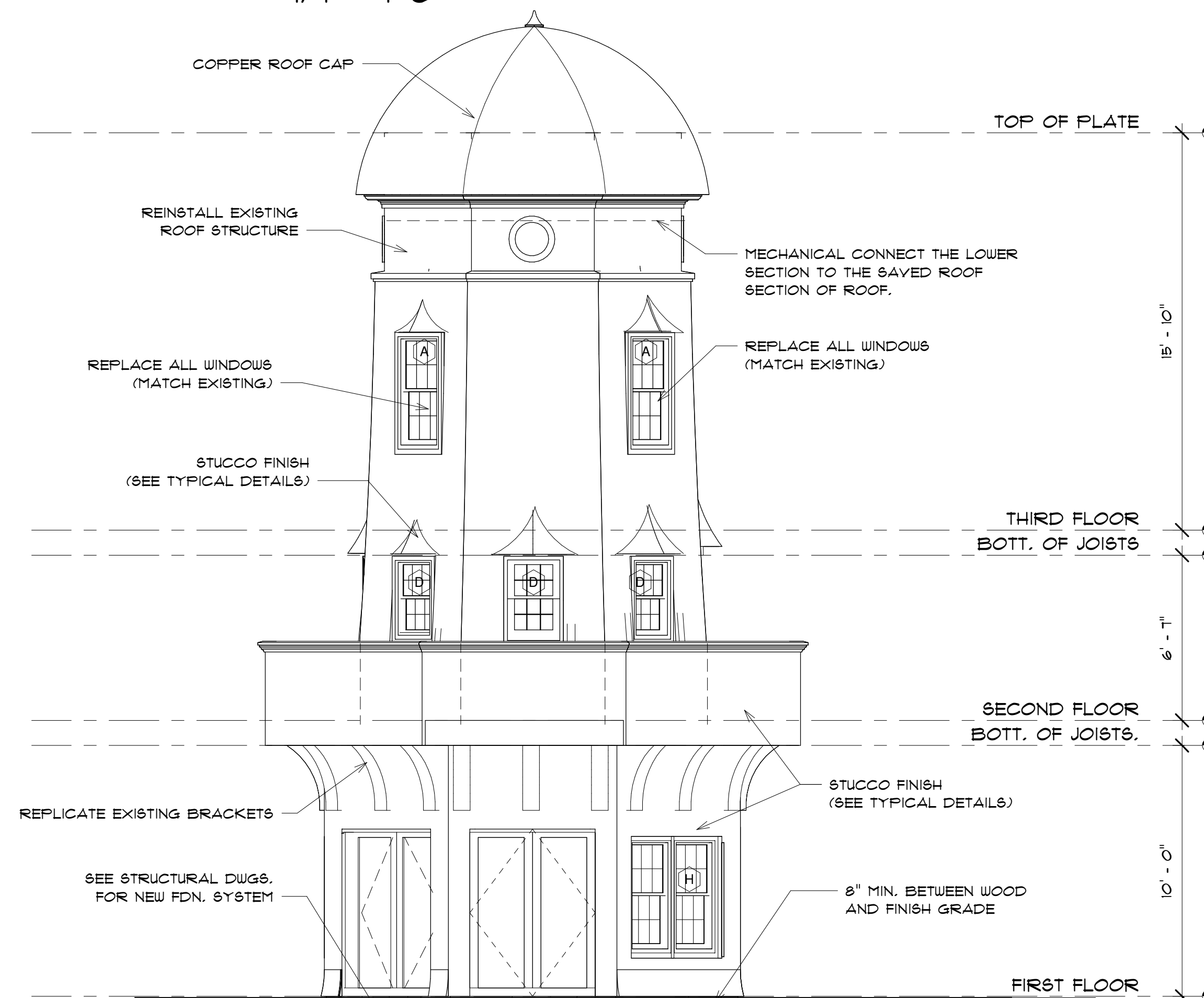
1 NORTH ELEVATION - EXISTING
1/4" = 1'-0"



2 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



3 SOUTH ELEVATION - EXISTING
1/4" = 1'-0"

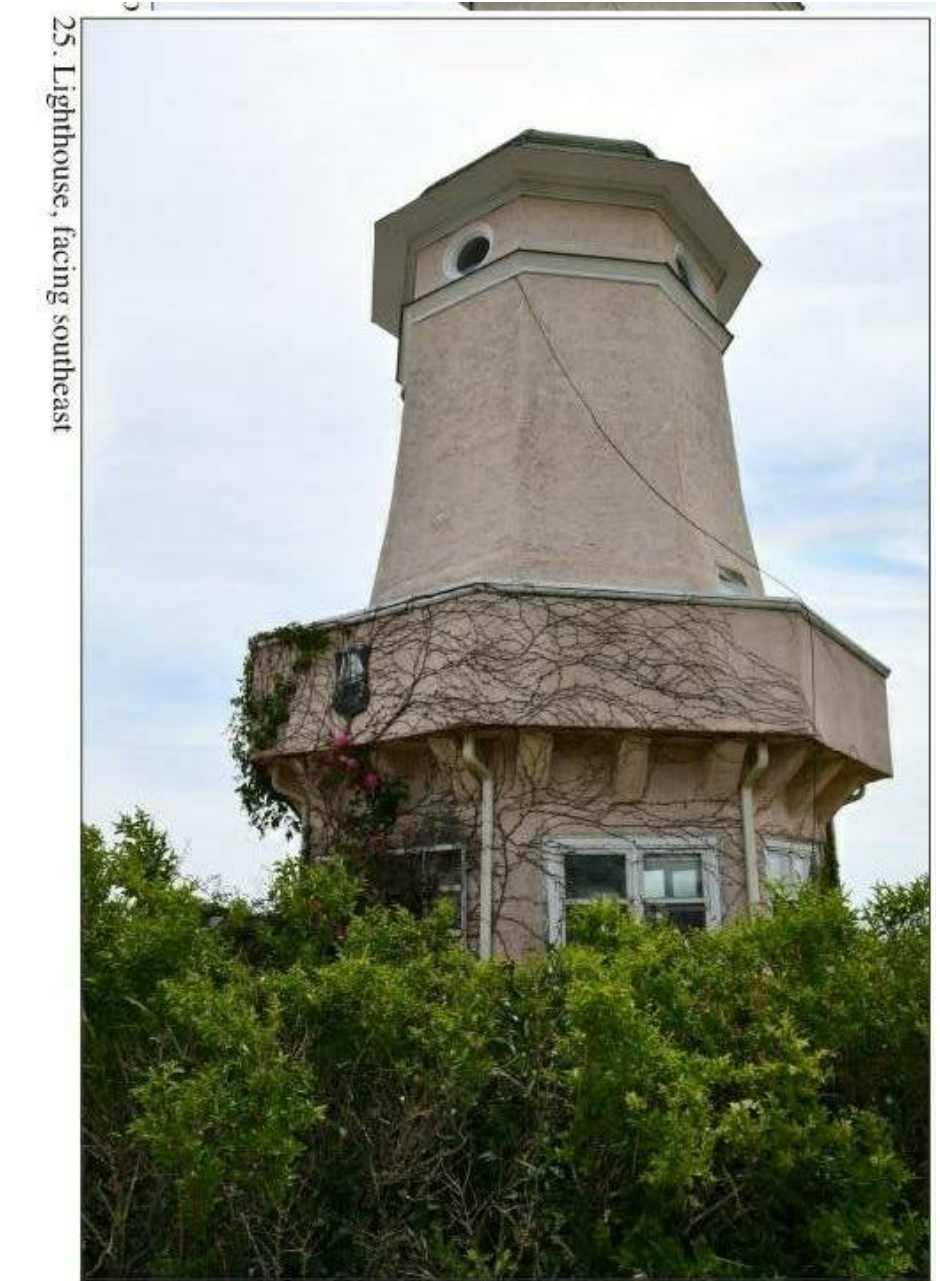


4 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"

REVISIONS:



23. Lighthouse, facing northeast



25. Lighthouse, facing southeast

**G.B. HOLBROOK HOUSE
- TOWER**

THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HER'S RATER.

CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

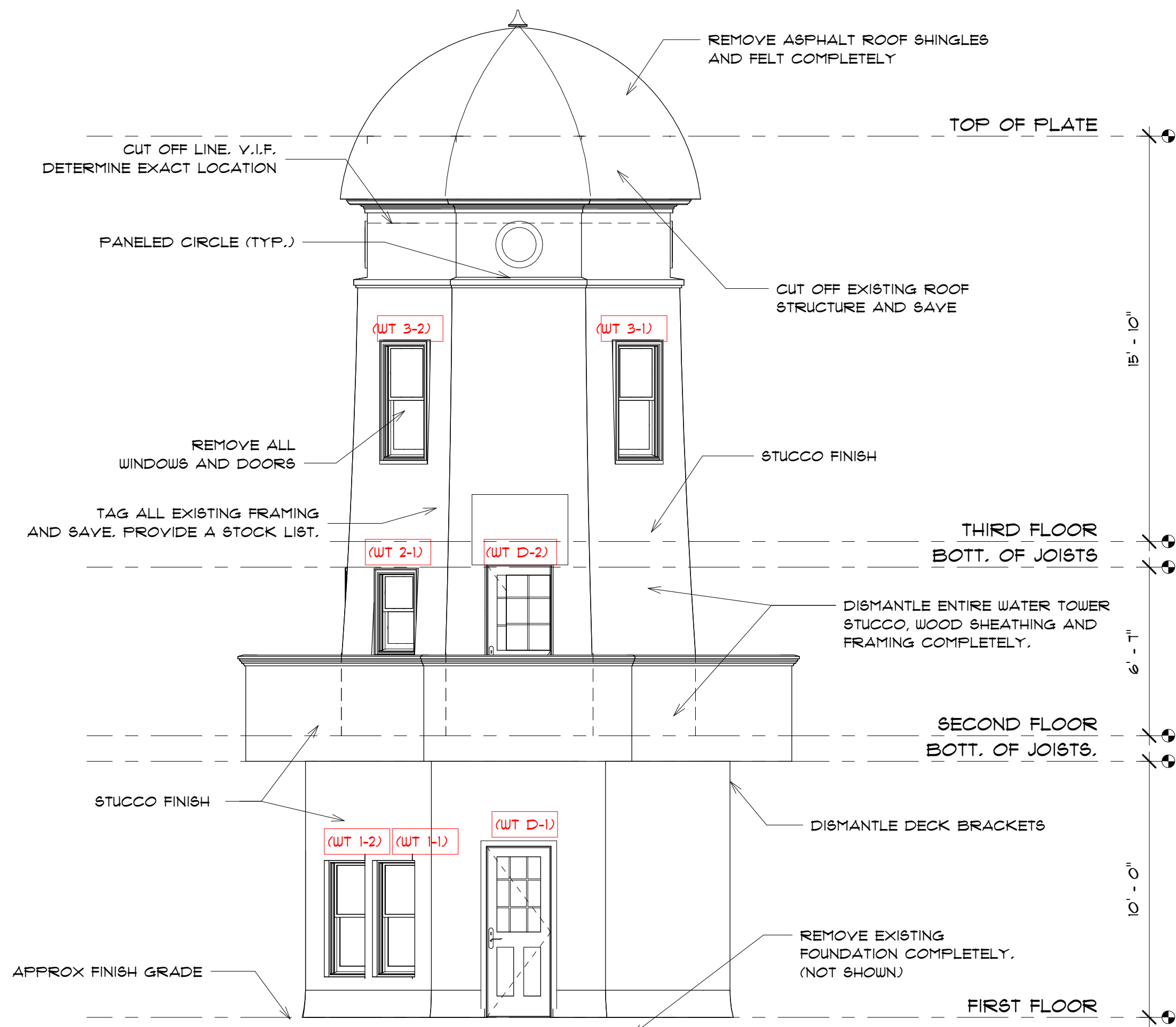
DESIGNED BY:
GAYN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

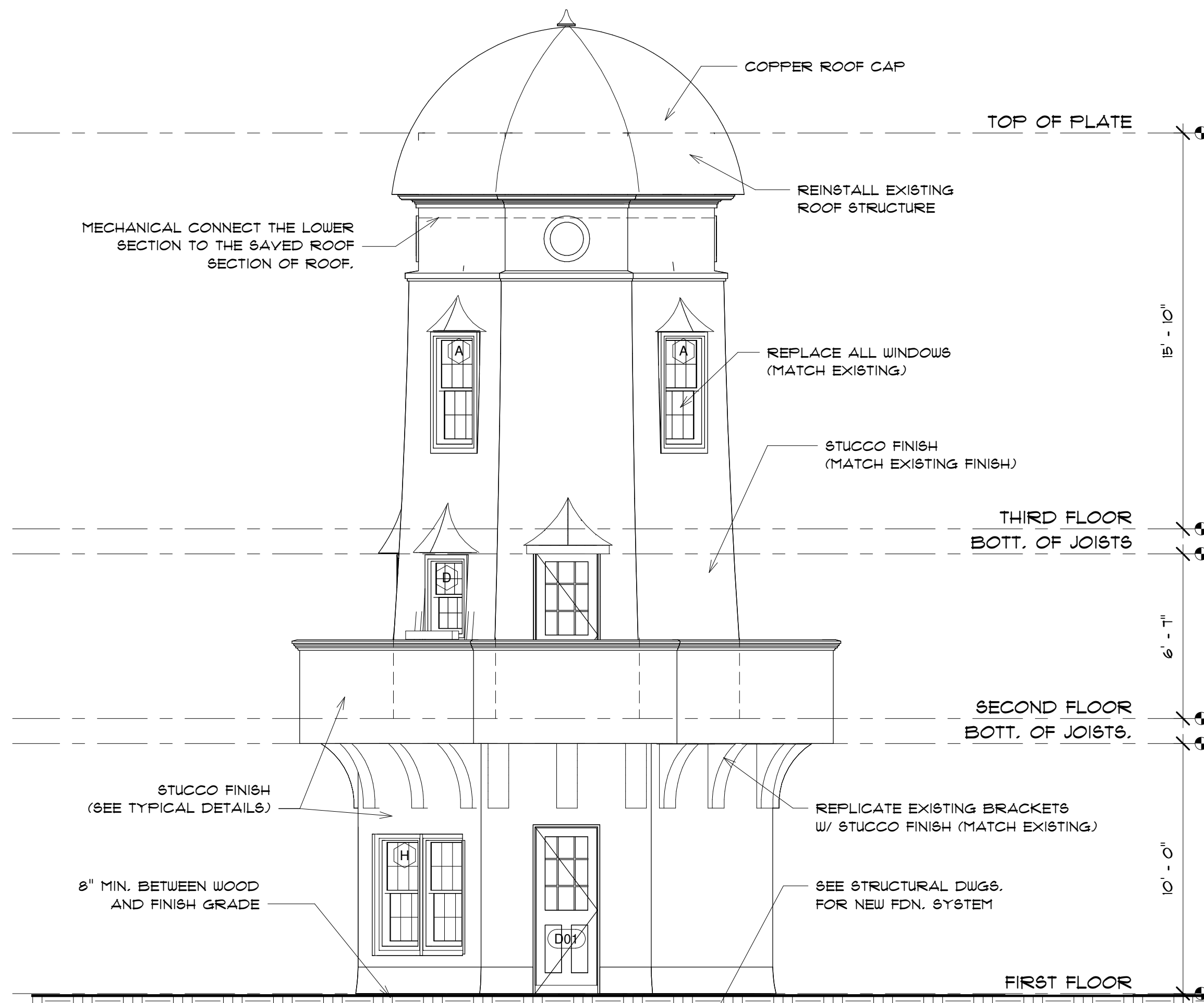
TOWER - NORTH/SOUTH

SCALE AS NOTED
DRAWN BY: MW

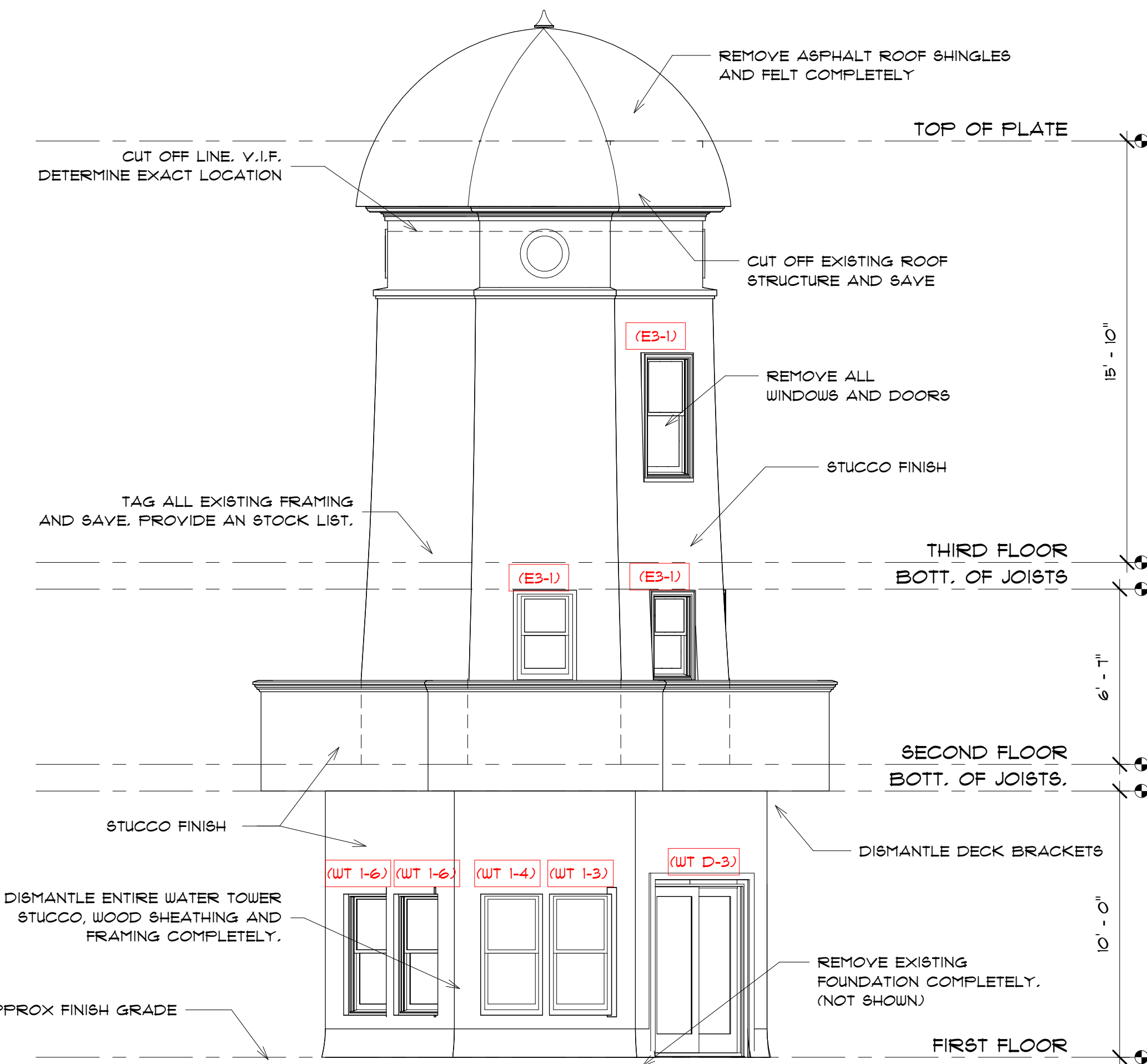
A8.0



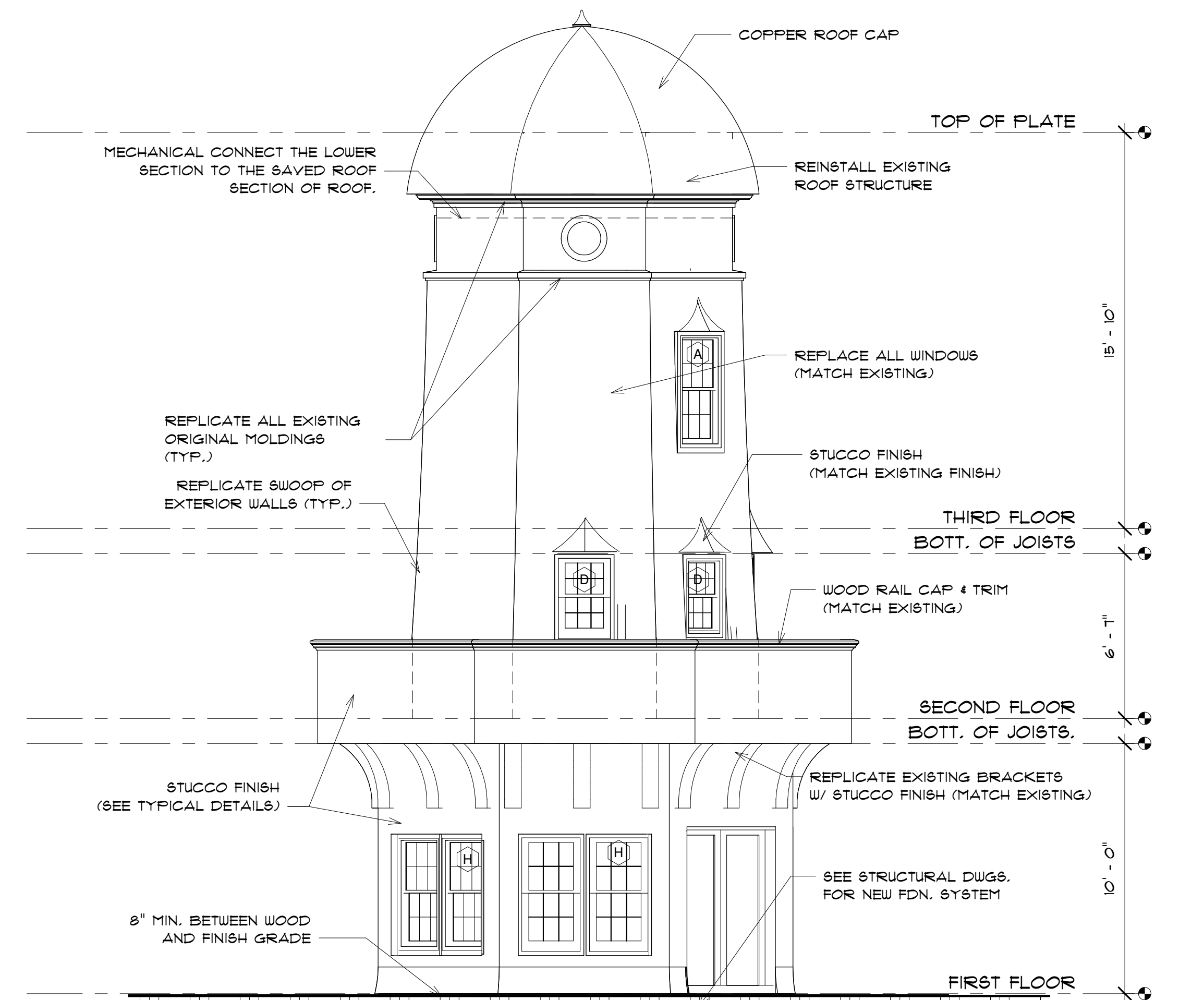
1 EAST ELEVATION - EXISTING
1/4" = 1'-0"



2 EAST ELEVATION - PROPOSED
1/4" = 1'-0"



3 WEST ELEVATION - EXISTING.
1/4" = 1'-0"



4 WEST ELEVATION - PROPOSED
1/4" = 1'-0"

REVISIONS:



26. Lighthouse, facing southwest



22. Lighthouse, facing west

**G.B. HOLBROOK HOUSE
- TOWER**

THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HER'S RATER.

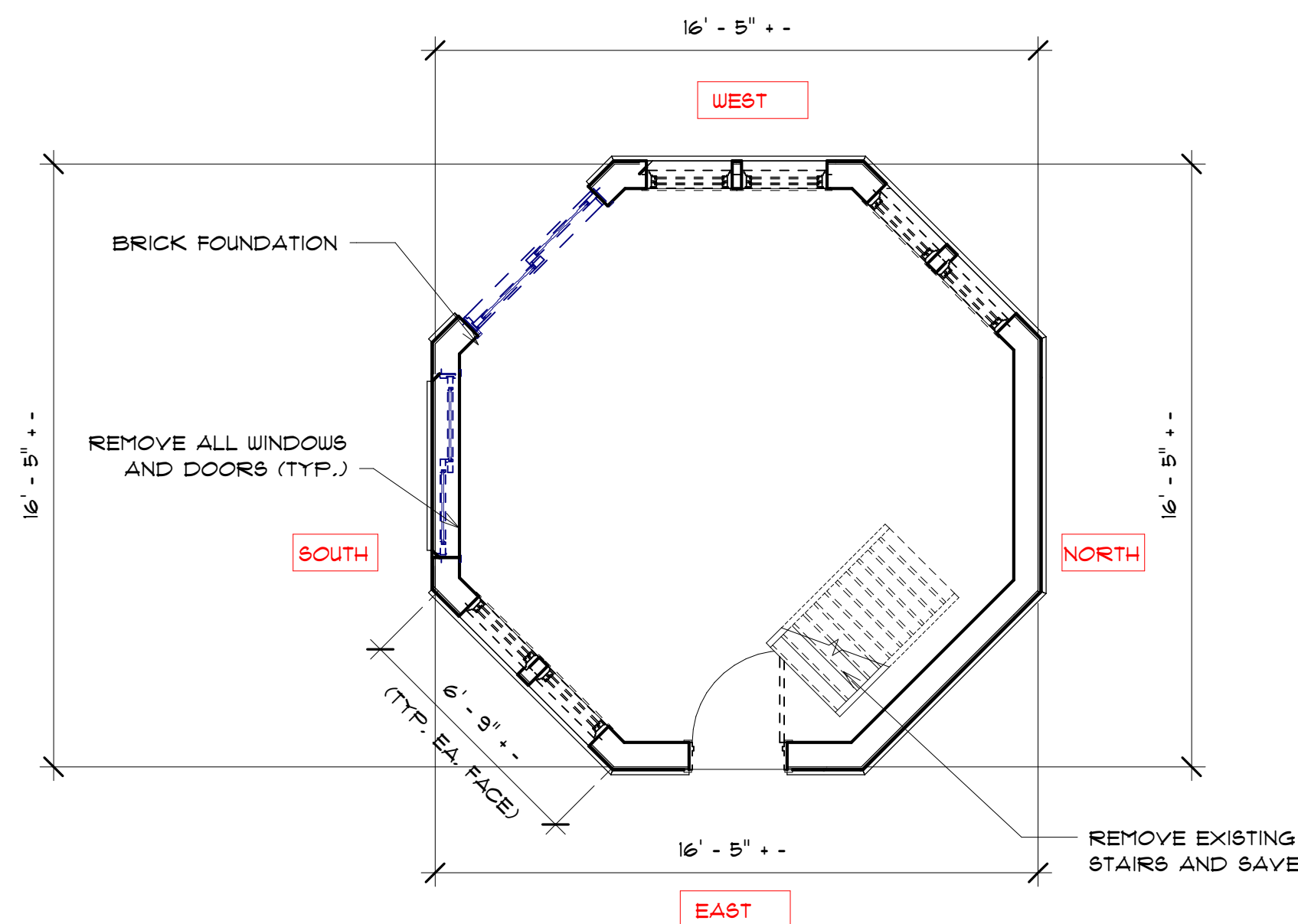
CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

DESIGNED BY:
GAYN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

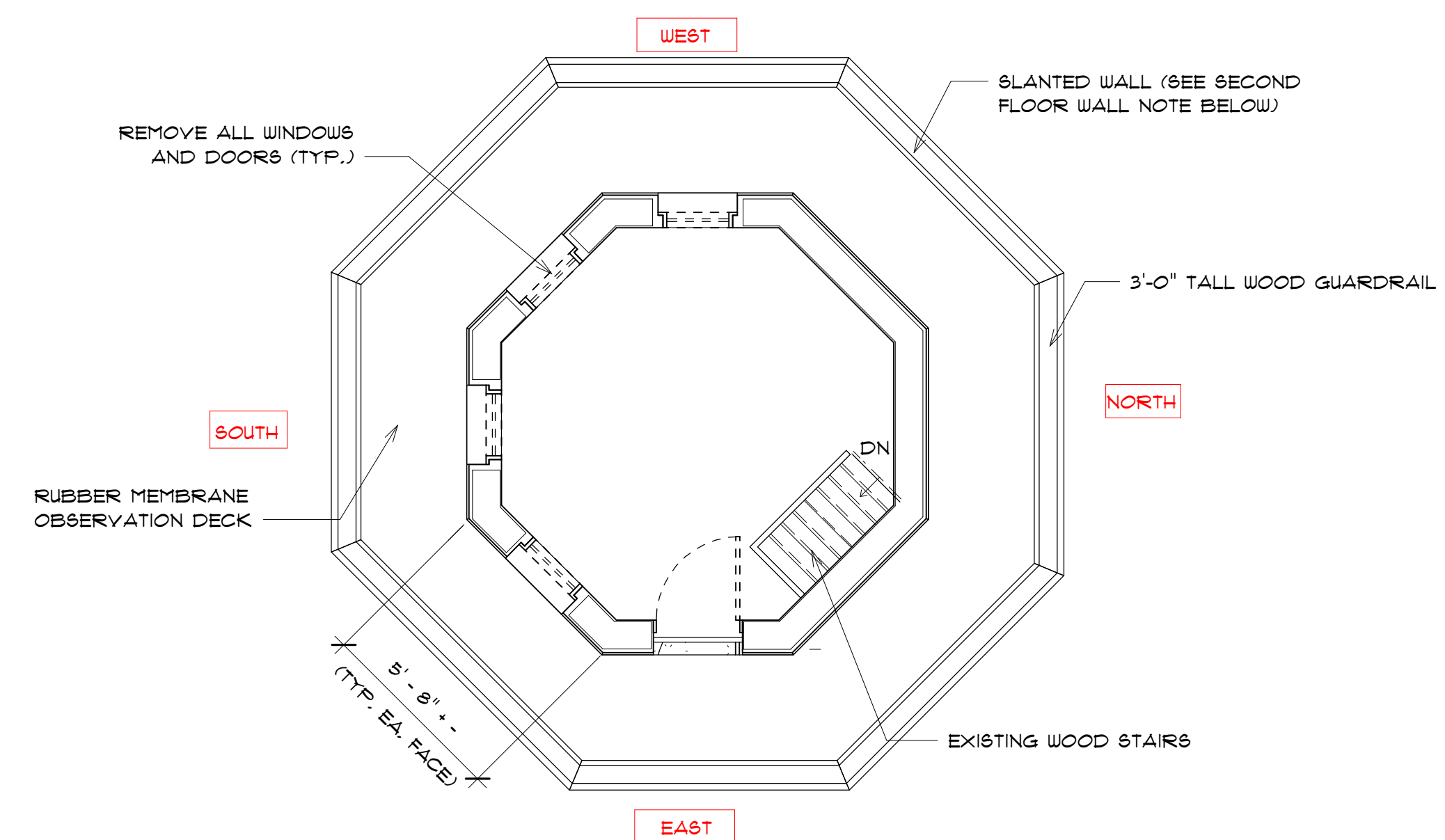
PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

TOWER - EAST/WEST
SCALE AS NOTED
PROJECT: 18-137
DATE: 02-21-20
DRAWN BY: MW

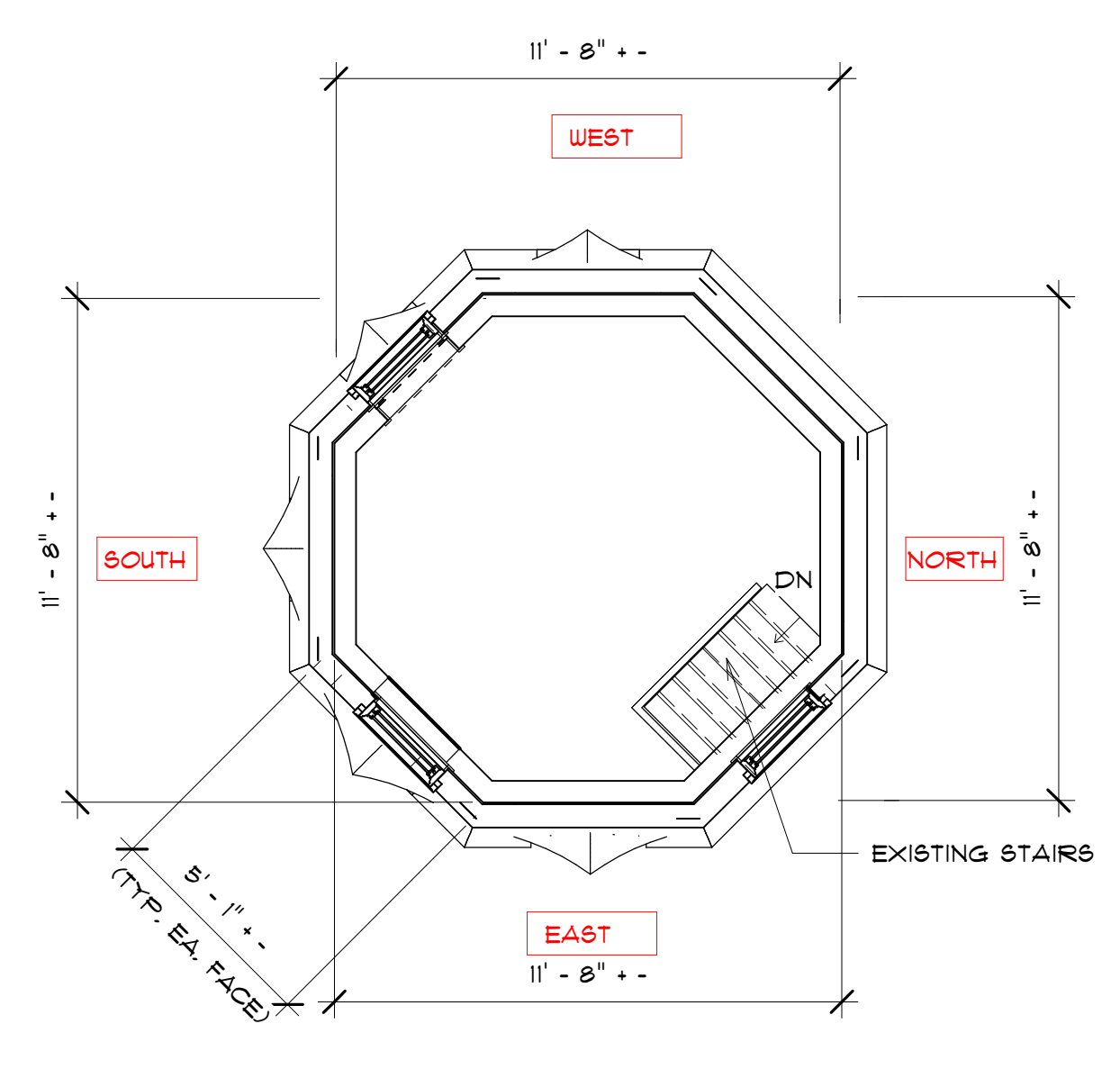
A8.1



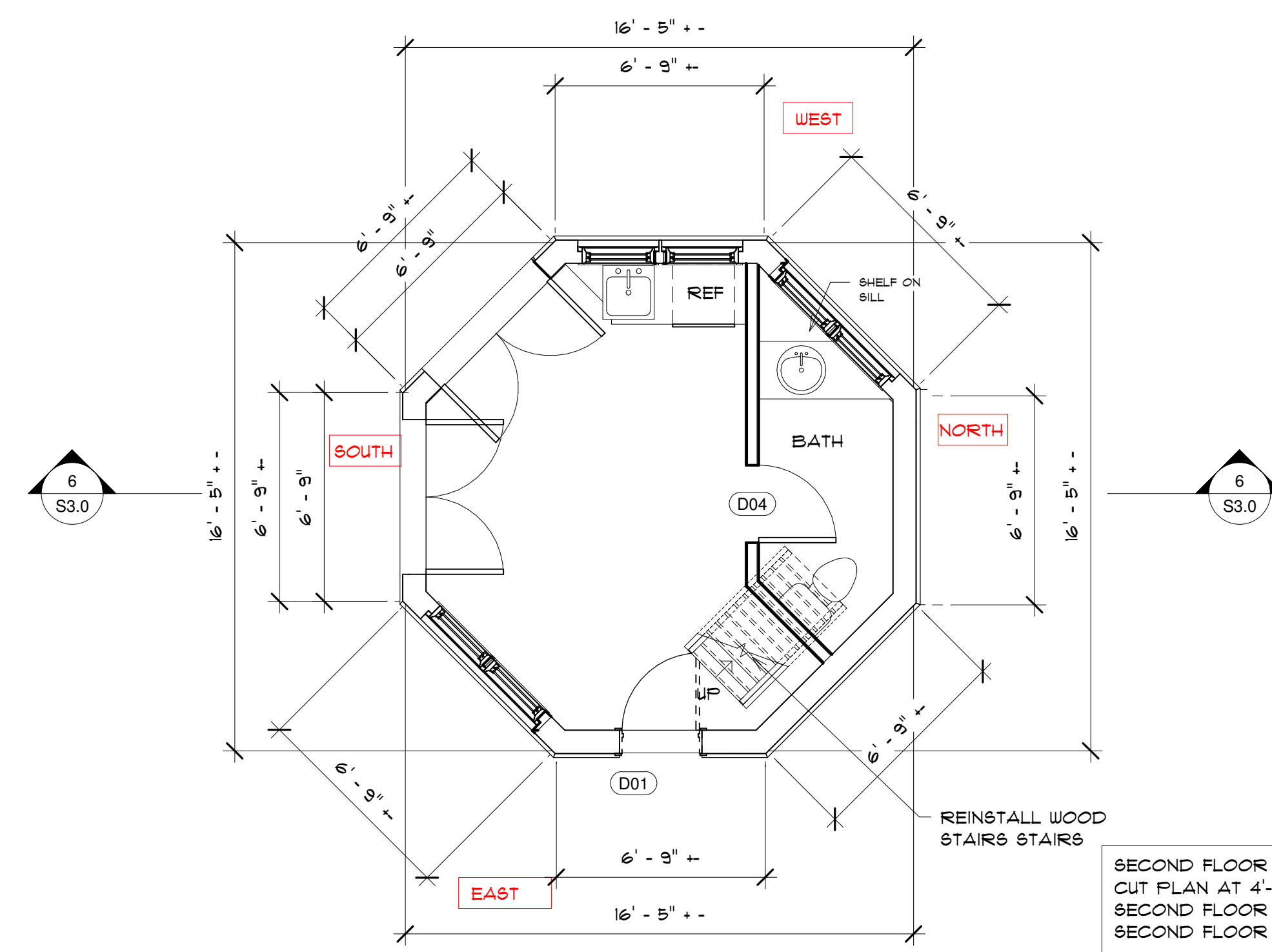
1 FIRST FLOOR PLAN - EXISTING
1/4" = 1'-0"



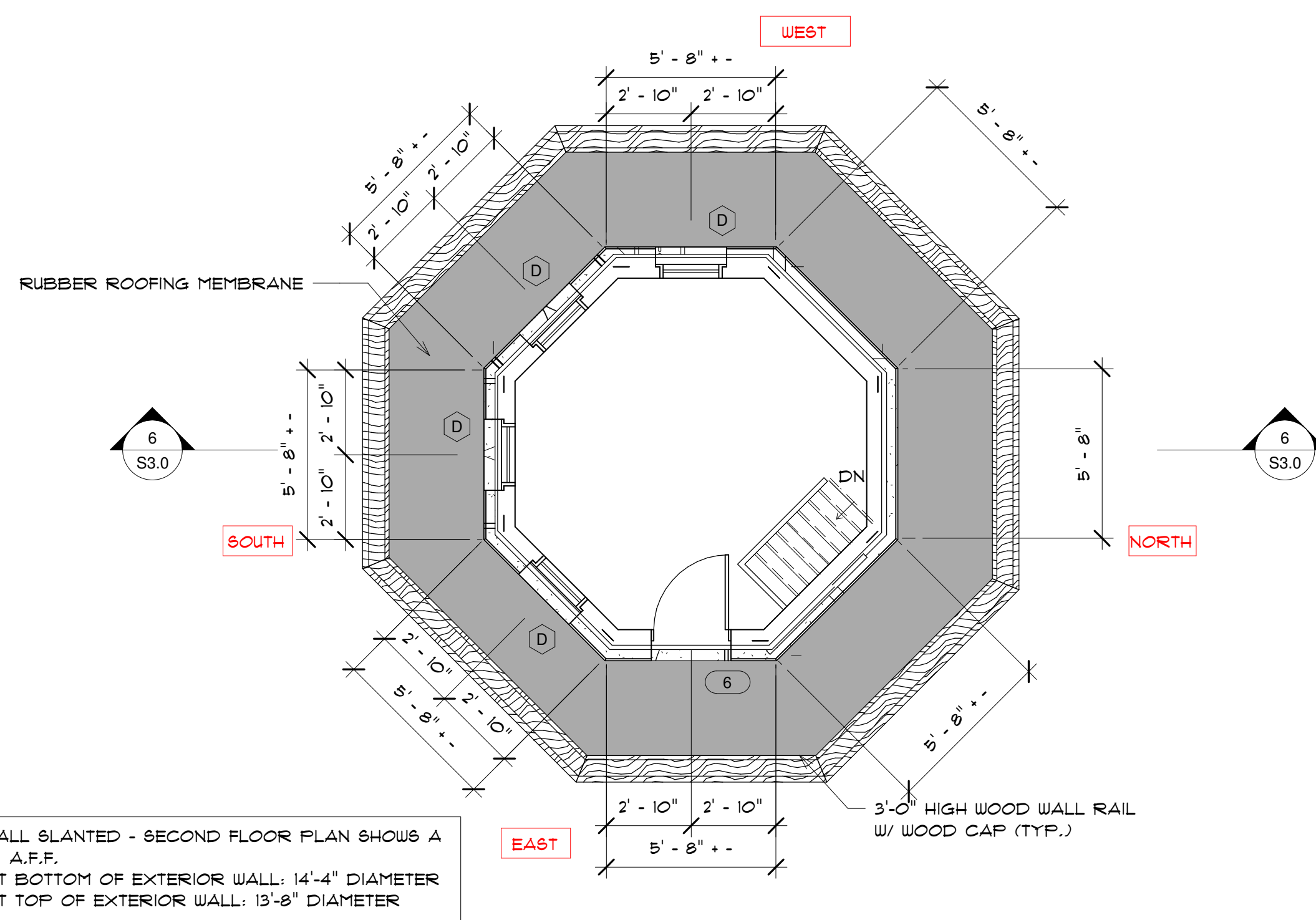
2 SECOND FLOOR - EXISTING
1/4" = 1'-0"



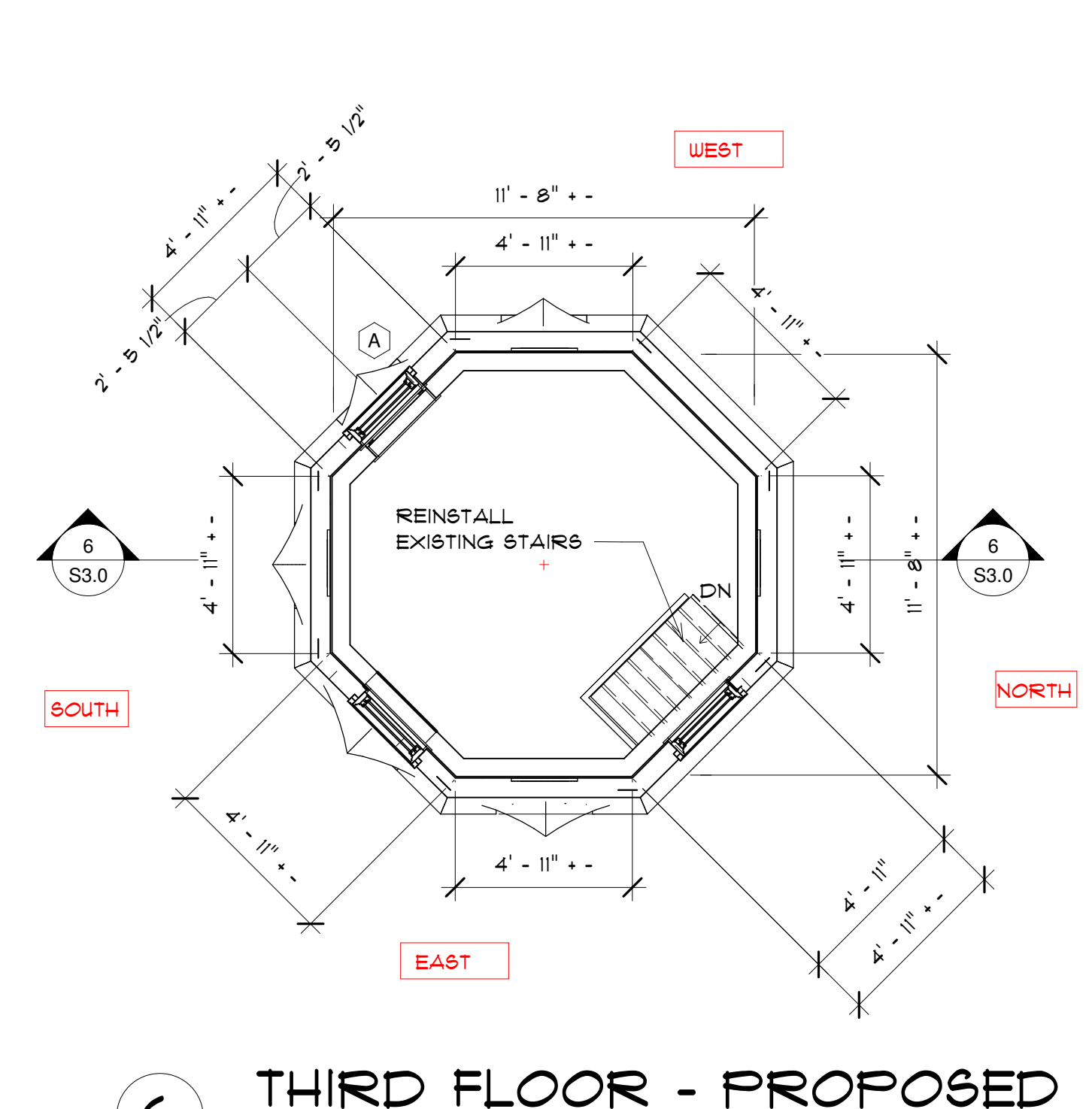
3 THIRD FLOOR - EXISTING
1/4" = 1'-0"



4 FIRST FLOOR PLAN - PROPOSED
1/4" = 1'-0"



5 SECOND FLOOR - PROPOSED
1/4" = 1'-0"



6 THIRD FLOOR - PROPOSED
1/4" = 1'-0"

SECOND FLOOR WALL SLANTED - SECOND FLOOR PLAN SHOWS A CUT PLAN AT 4'-0" A.F.F.
SECOND FLOOR AT BOTTOM OF EXTERIOR WALL: 14'-4" DIAMETER
SECOND FLOOR AT TOP OF EXTERIOR WALL: 13'-8" DIAMETER

TOWER PLAN GENERAL NOTES

- 1 CUT OFF EXISTING ROOF FRAMING AND SAVE. DISMANTLE ENTIRE WATER TOWER STUCCO, WOOD SHEATHING AND FRAMING COMPLETELY. SAVE ALL LUMBER AND STORE IN DRY LOCATION. REUSE IT FOR REBUILDING OF TOWER.
- 2 REMOVE EXISTING FOUNDATION COMPLETELY.
- 3 REMOVE EXISTING WOOD FLOOR BOARDS AND STORE.
- 4 REMOVE ALL EXISTING STUCCO. REPLICATE STUCCO FINISH.
- 5 REMOVE ALL WINDOWS COMPLETELY. REPLICATE WINDOWS.
- 6 SAVE ALL STAIRS AND REINSTALL IN REBUILT TOWER.
- 7 ALL LIGHT FIXTURES, OUTLETS, SWITCHES, ETC. ARE TO BE NEW.
- 8 ALL CEILING HEIGHTS TO REMAIN THE SAME.
- 9 ALL DOORS ARE NEW WOOD DOORS U.N.O.

REVISIONS:

**G.B. HOLBROOK HOUSE
- TOWER**

THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HER'S RATER.

CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

Window Schedule					
Type Mark	Mark	Rough Width	Rough Height	Comments	Type
A		2' - 4 1/2"	4' - 6 1/2"		Window-Double_Hung-28X54
D		2' - 1 1/2"	3' - 2 1/2"		Window-Double_Hung-25X38 09-24-19

WINDOW NOTES:

- CONTRACTOR TO FIELD VERIFY ALL MFG, ROUGH OPENINGS, DETAILS, DIMENSIONS, AND VERIFY QUANTITY OF UNITS.
- CONTRACTOR TO FIELD VERIFY ALL WALL WIDTHS BEFORE ORDERING AND INSTALLING THE WINDOWS.
- PROVIDE SOLID BLOCKING AS REQUIRED BY MANUFACTURER.
- PROVIDE EXTENSION JAMBS FOR ALL OPENINGS.
- APPLY SEALANT AS REQUIRED AROUND ALL INTERIOR TRIM OF WINDOWS. TEMPERED GLAZING IN WINDOWS IN ALL STAIRS. GLAZING TO MEET STATE, LOCAL, AND FEDERAL CODES.
- BATHROOMS WINDOWS GLAZING TO BE FROSTED.

Door Schedule				
Mark	Type	Width	Height	Comments
DO1	30" x 80" 2	2' - 6"	6' - 8"	
DO4	30" x 80"	2' - 6"	6' - 8"	

DOOR NOTES:

- CONTRACTOR TO FIELD VERIFY ALL MFG, ROUGH OPENINGS, DETAILS, DIMENSIONS, AND VERIFY QUANTITY OF UNITS BEFORE PROCEEDING WITH THE WORK.
- APPLY SEALANT AS REQUIRED AROUND ALL OPENINGS.
- ALL EXTERIOR DOORS TO BE INSULATED AND WEATHER STRIPPED.
- ALL GLAZING TO MEET STATE, LOCAL, AND FEDERAL CODES.

HARDWARE FUNCTIONS:

ANSI NO.

GRADE DESCRIPTION

- (F75) PASSAGE/ BOTH LEVERS ALWAYS UNLOCKED.
 (F76) PRIVACY LOCK - OUTSIDE LEVER LOCK BY PUSH BUTTON INSIDE LEVER. ROTATING INSIDE LEVER OR CLOSING DOOR RELEASES BUTTON EMERGENCY RELEASE IN OUTSIDE LEVER UNLOCKS DOOR.
 (F82) ENTRY LOCK - PUSH BUTTON LOCKING. BUTTON ON INSIDE LOCKS OUTSIDE LEVER UNTIL UNLOCKED BY KEY OR BY ROTATING INSIDE LEVER. INSIDE LEVER ALWAYS FREE.

Water Tower Existing Window Schedule

Location Mark	Unit Mark	Unit Type	Unit Size (WxH)	Unit Divides	Other Notes
WT D-1	D1	Door	2-6 x 6-8	9 Lite 2 Panel	Non Original Wood Door
WT 1-1	DH1	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT 1-2	DH1	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT D-2	SD1	Slider	5-0x 6-8	None	Non Original Wood Door
WT D-3	SD1	Slider	5-0 x 6-8	None	Non Original Wood Door
WT 1-2	DH2	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT 1-3	DH2	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT 1-4	DH2	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
Wt 1-5	DH2	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT D-2	D2	Door	2-2 x 5-10	6 Lite 2 Panel	Non Original Wood Door
WT 2-1	DH3	Double Hung	28x34	1 over 1	Replacement Window, Insulated Glass
WT 2-2	DH3	Double Hung	28x34	1 over 1	Replacement Window, Insulated Glass
WT 2-3	DH3	Double Hung	28x34	1 over 1	Replacement Window, Insulated Glass
WT 2-4	DH3	Double Hung	28x34	1 over 1	Replacement Window, Insulated Glass
WT 3-1	DH4	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT 3-2	DH4	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass
WT 3-3	DH4	Double Hung	28x54	1 over 1	Replacement Window, Insulated Glass

REVISIONS:

G.B. HOLBROOK HOUSE - TOWER

THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HER'S RATER.

CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

DESIGNED BY:
GAYN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

SCHEDULES

SCALE AS NOTED
DRAWN BY: MW

PROJECT: 18-137
DATE: 02-21-20

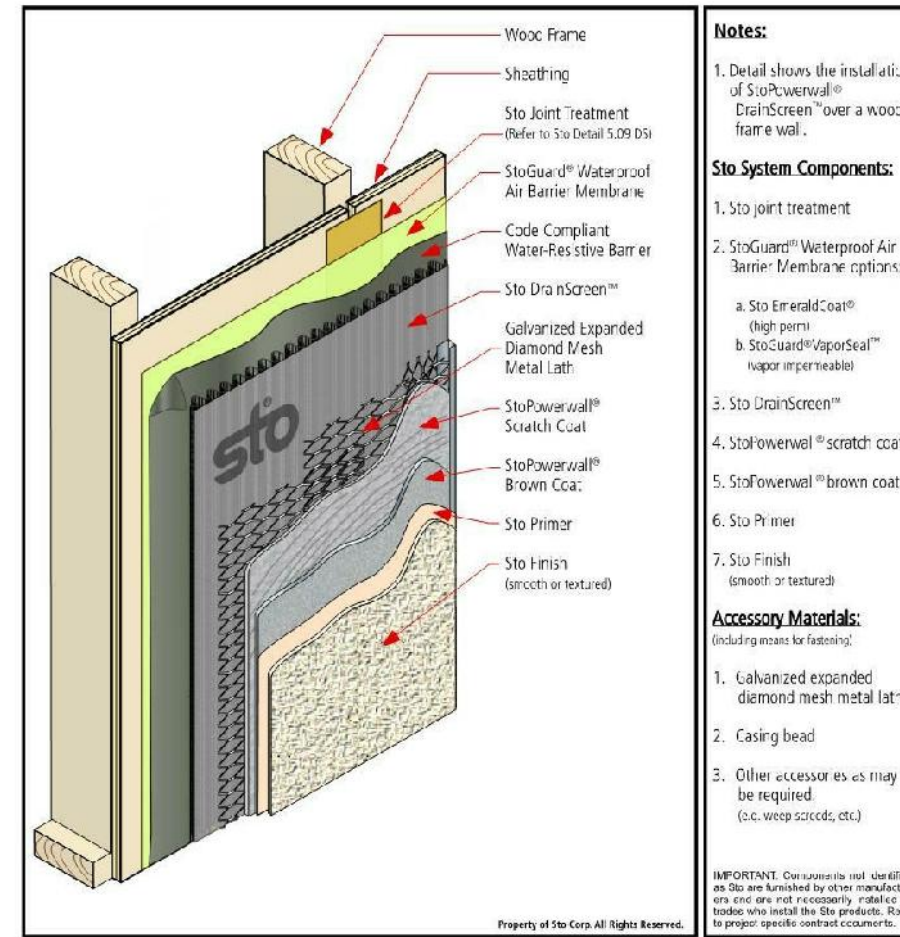
A10.0

StoPowerwall® DrainScreen™
Residential
Wood Frame Construction
Series 5.xx DS
October 2014



StoPowerwall® DrainScreen™
System Components

Detail No.: 5.01 DS
Date: October 2014



Notes:
1. Detail shows the installation of StoPowerwall® on a wood frame wall.
2. StoPowerwall® Water-Resistive Barrier Membrane is applied over the sheathing.
3. StoPowerwall® DrainScreen™ is applied over the membrane.
4. StoPowerwall® Scratch Coat is applied over the DrainScreen™.
5. StoPowerwall® Brown Coat is applied over the Scratch Coat.
6. Sto Primer is applied over the Brown Coat.
7. Sto Finish is applied over the Primer.
8. Sto Joint Treatment is applied at all joints.
9. Sto Detail Component is applied at all details.
10. Sto Flashing is applied at all openings.

Sto System Components:
1. StoPowerwall® Water-Resistive Barrier Membrane
2. StoPowerwall® DrainScreen™
3. StoPowerwall® Scratch Coat
4. StoPowerwall® Brown Coat
5. Sto Primer
6. Sto Finish
7. Sto Joint Treatment
8. Sto Detail Component
9. Sto Flashing

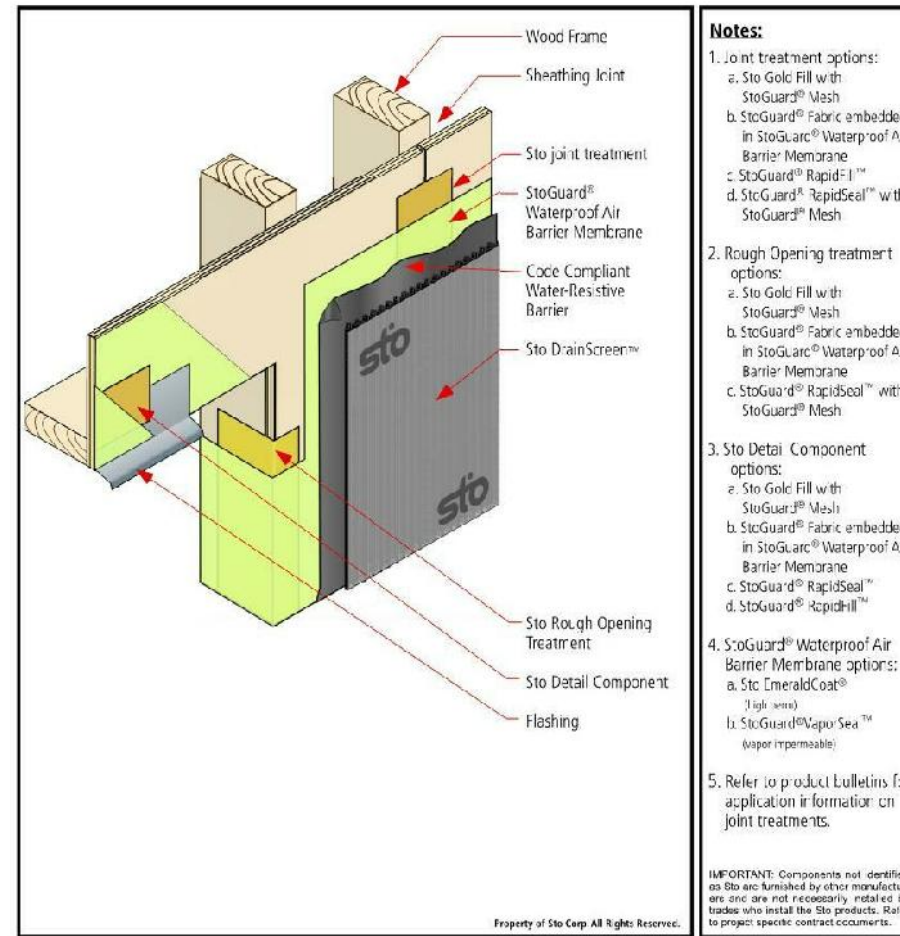
Accessory Materials:
1. Galvanized expanded diamond mesh metal lath
2. Casing head
3. Other accessories as may be required (i.e. wood studs, etc.)

IMPORTANT: StoPowerwall® is applied over a wood frame wall. It is not intended for use over masonry or concrete. For more information, please visit the Sto website: www.sto.com



StoPowerwall® DrainScreen™
Joint, Rough Opening, and Transition Detail Treatments

Detail No.: 5.09 DS
Date: October 2014



Notes:
1. Joint treatment options:
a. Sto Joint Treatment (See Sto Detail 5.09 DS)
b. StoPowerwall® Water-Resistive Barrier Membrane
c. StoPowerwall® DrainScreen™
d. StoPowerwall® Scratch Coat
e. StoPowerwall® Brown Coat
f. Sto Primer
g. Sto Finish
2. Rough opening treatment:
a. Sto Detail Component
b. Sto Flashing
c. Sto Powerwall® Water-Resistive Barrier Membrane
d. Sto Powerwall® DrainScreen™
e. Sto Powerwall® Scratch Coat
f. Sto Powerwall® Brown Coat
g. Sto Primer
h. Sto Finish
3. Sto Detail Component:
a. Sto Detail Component
b. Sto Flashing
c. Sto Powerwall® Water-Resistive Barrier Membrane
d. Sto Powerwall® DrainScreen™
e. Sto Powerwall® Scratch Coat
f. Sto Powerwall® Brown Coat
g. Sto Primer
h. Sto Finish
4. Sto Powerwall® Water-Resistive Barrier Membrane:
a. StoPowerwall® Water-Resistive Barrier Membrane
b. StoPowerwall® DrainScreen™
c. StoPowerwall® Scratch Coat
d. StoPowerwall® Brown Coat
e. Sto Primer
f. Sto Finish
5. Sto Flashing:
a. Sto Flashing
b. Sto Powerwall® Water-Resistive Barrier Membrane
c. Sto Powerwall® DrainScreen™
d. Sto Powerwall® Scratch Coat
e. Sto Powerwall® Brown Coat
f. Sto Primer
g. Sto Finish

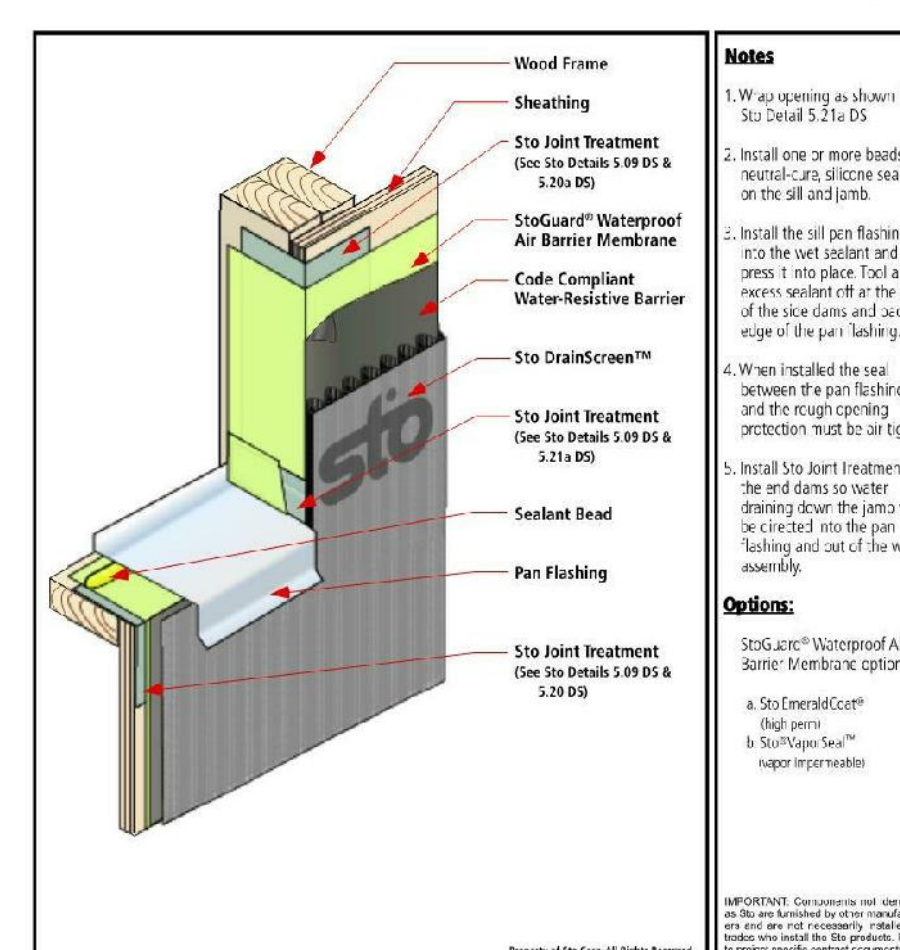
Accessory Materials:
1. Galvanized expanded diamond mesh metal lath
2. Casing head
3. Other accessories as may be required (i.e. wood studs, etc.)

IMPORTANT: StoPowerwall® is applied over a wood frame wall. It is not intended for use over masonry or concrete. For more information, please visit the Sto website: www.sto.com



StoPowerwall® DrainScreen™
Pan Flashing at Opening Sill

Detail No.: 5.21c DS
Date: October 2014



Notes:
1. Prepare the rough opening (See Sto Detail 5.21a DS)
2. Provide head flashing as required by local codes and window manufacturer.
3. Coordinate installation of StoPowerwall® Water-Resistive Barrier Membrane and StoPowerwall® DrainScreen™ with window installer and other related trades.
4. StoPowerwall® Water-Resistive Barrier Membrane is applied over the sheathing.
5. StoPowerwall® DrainScreen™ is applied over the membrane.
6. StoPowerwall® Scratch Coat is applied over the DrainScreen™.
7. StoPowerwall® Brown Coat is applied over the Scratch Coat.
8. Sto Primer is applied over the Brown Coat.
9. Sto Finish is applied over the Primer.
10. Sto Joint Treatment is applied at all joints.
11. Sto Detail Component is applied at all details.
12. Sto Flashing is applied at all openings.

Options:
1. StoPowerwall® Water-Resistive Barrier Membrane
2. StoPowerwall® DrainScreen™
3. StoPowerwall® Scratch Coat
4. StoPowerwall® Brown Coat
5. Sto Primer
6. Sto Finish
7. Sto Joint Treatment
8. Sto Detail Component
9. Sto Flashing

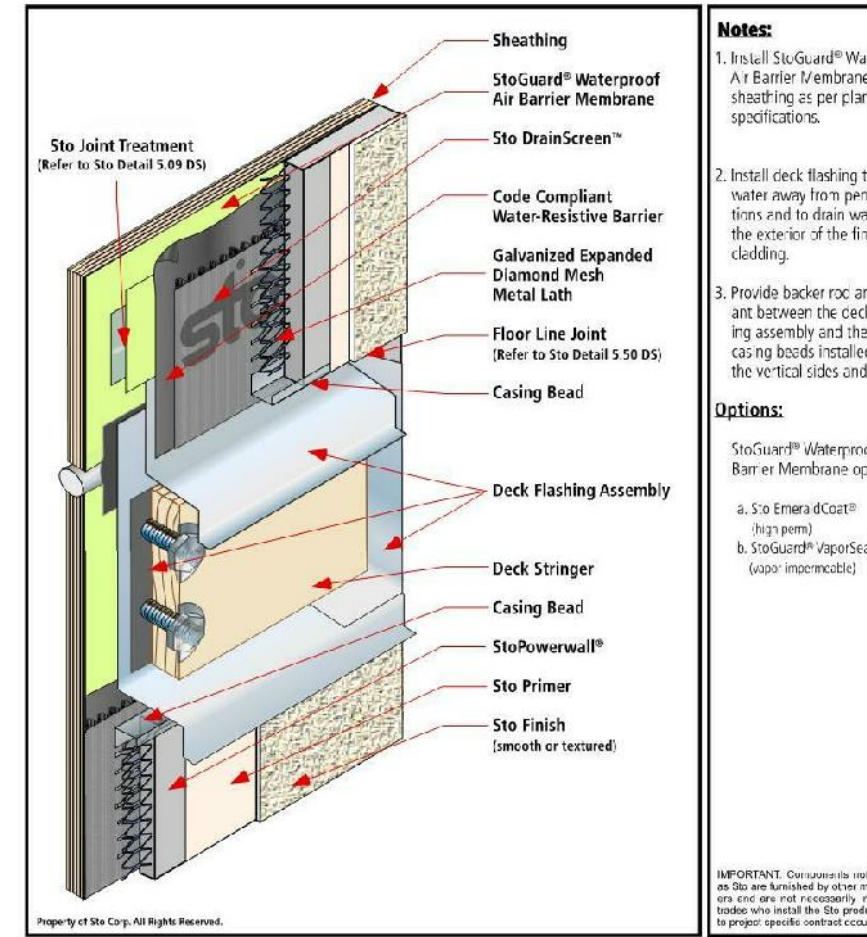
Accessory Materials:
1. Galvanized expanded diamond mesh metal lath
2. Casing head
3. Other accessories as may be required (i.e. wood studs, etc.)

IMPORTANT: StoPowerwall® is applied over a wood frame wall. It is not intended for use over masonry or concrete. For more information, please visit the Sto website: www.sto.com



StoPowerwall® DrainScreen™
Deck Flashing

Detail No.: 5.32 DS
Date: October 2014



Notes:
1. Detail shows the installation of StoPowerwall® Water-Resistive Barrier Membrane on the sheathing of the wall.
2. StoPowerwall® Water-Resistive Barrier Membrane is applied over the sheathing.
3. StoPowerwall® DrainScreen™ is applied over the membrane.
4. StoPowerwall® Scratch Coat is applied over the DrainScreen™.
5. StoPowerwall® Brown Coat is applied over the Scratch Coat.
6. Sto Primer is applied over the Brown Coat.
7. Sto Finish is applied over the Primer.
8. Sto Joint Treatment is applied at all joints.
9. Sto Detail Component is applied at all details.
10. Sto Flashing is applied at all openings.

Options:
1. StoPowerwall® Water-Resistive Barrier Membrane
2. StoPowerwall® DrainScreen™
3. StoPowerwall® Scratch Coat
4. StoPowerwall® Brown Coat
5. Sto Primer
6. Sto Finish
7. Sto Joint Treatment
8. Sto Detail Component
9. Sto Flashing

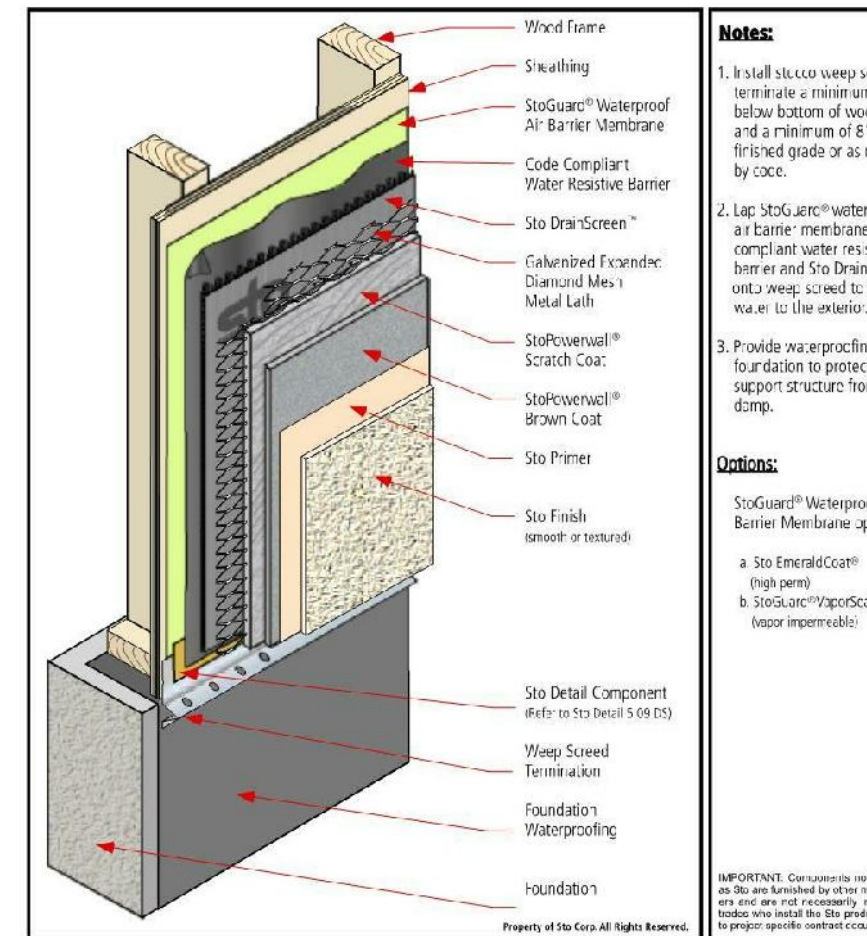
Accessory Materials:
1. Galvanized expanded diamond mesh metal lath
2. Casing head
3. Other accessories as may be required (i.e. wood studs, etc.)

IMPORTANT: StoPowerwall® is applied over a wood frame wall. It is not intended for use over masonry or concrete. For more information, please visit the Sto website: www.sto.com



StoPowerwall® DrainScreen™
Termination at Grade

Detail No.: 5.10 DS
Date: October 2014



Notes:
1. Install StoPowerwall® Water-Resistive Barrier Membrane over the sheathing of the wall and a minimum of 6" above finished grade or as required by code.
2. StoPowerwall® Water-Resistive Barrier Membrane is applied over the sheathing.
3. StoPowerwall® DrainScreen™ is applied over the membrane.
4. StoPowerwall® Scratch Coat is applied over the DrainScreen™.
5. StoPowerwall® Brown Coat is applied over the Scratch Coat.
6. Sto Primer is applied over the Brown Coat.
7. Sto Finish is applied over the Primer.
8. Sto Joint Treatment is applied at all joints.
9. Sto Detail Component is applied at all details.
10. Sto Flashing is applied at all openings.

Options:
1. StoPowerwall® Water-Resistive Barrier Membrane
2. StoPowerwall® DrainScreen™
3. StoPowerwall® Scratch Coat
4. StoPowerwall® Brown Coat
5. Sto Primer
6. Sto Finish
7. Sto Joint Treatment
8. Sto Detail Component
9. Sto Flashing

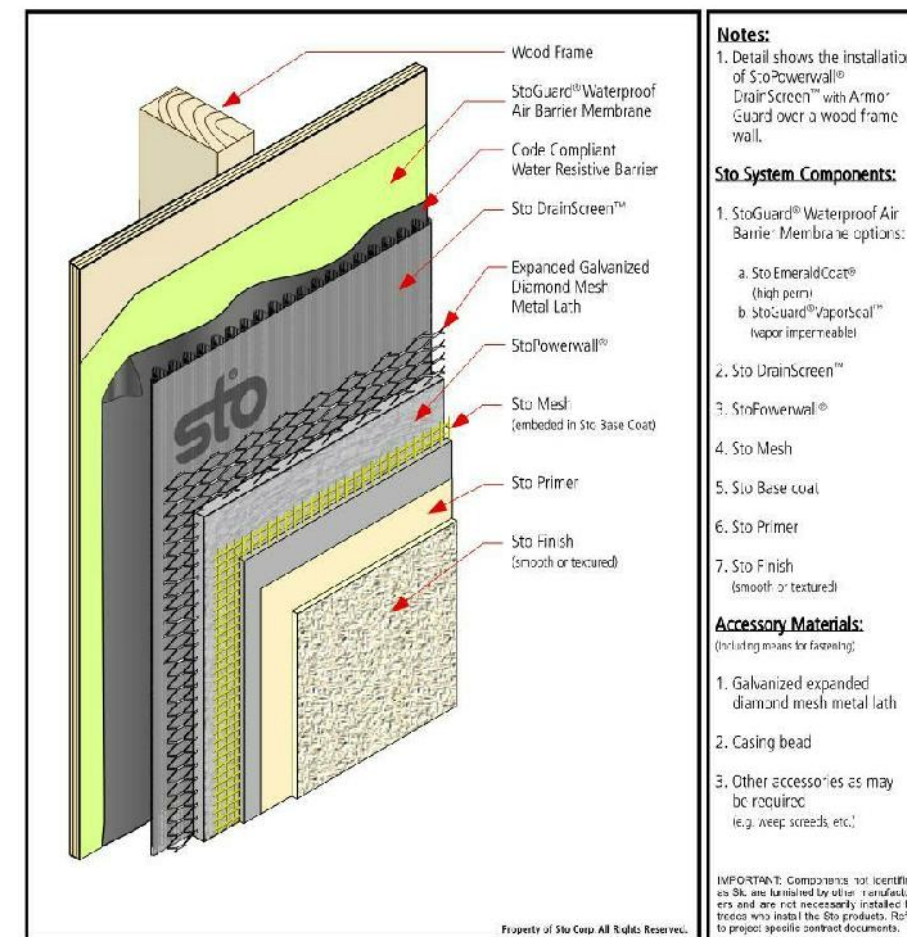
Accessory Materials:
1. Galvanized expanded diamond mesh metal lath
2. Casing head
3. Other accessories as may be required (i.e. wood studs, etc.)

IMPORTANT: StoPowerwall® is applied over a wood frame wall. It is not intended for use over masonry or concrete. For more information, please visit the Sto website: www.sto.com



StoPowerwall® DrainScreen™
with Armor Guard
System Components

Detail No.: 5.05 DS
Date: October 2014



Notes:
1. Detail shows the installation of StoPowerwall® Water-Resistive Barrier Membrane on the sheathing of the wall.
2. StoPowerwall® Water-Resistive Barrier Membrane is applied over the sheathing.
3. StoPowerwall® DrainScreen™ is applied over the membrane.
4. StoPowerwall® Scratch Coat is applied over the DrainScreen™.
5. StoPowerwall® Brown Coat is applied over the Scratch Coat.
6. Sto Primer is applied over the Brown Coat.
7. Sto Finish is applied over the Primer.
8. Sto Joint Treatment is applied at all joints.
9. Sto Detail Component is applied at all details.
10. Sto Flashing is applied at all openings.

Sto System Components:
1. StoPowerwall® Water-Resistive Barrier Membrane
2. StoPowerwall® DrainScreen™
3. StoPowerwall® Scratch Coat
4. StoPowerwall® Brown Coat
5. Sto Primer
6. Sto Finish
7. Sto Joint Treatment
8. Sto Detail Component
9. Sto Flashing

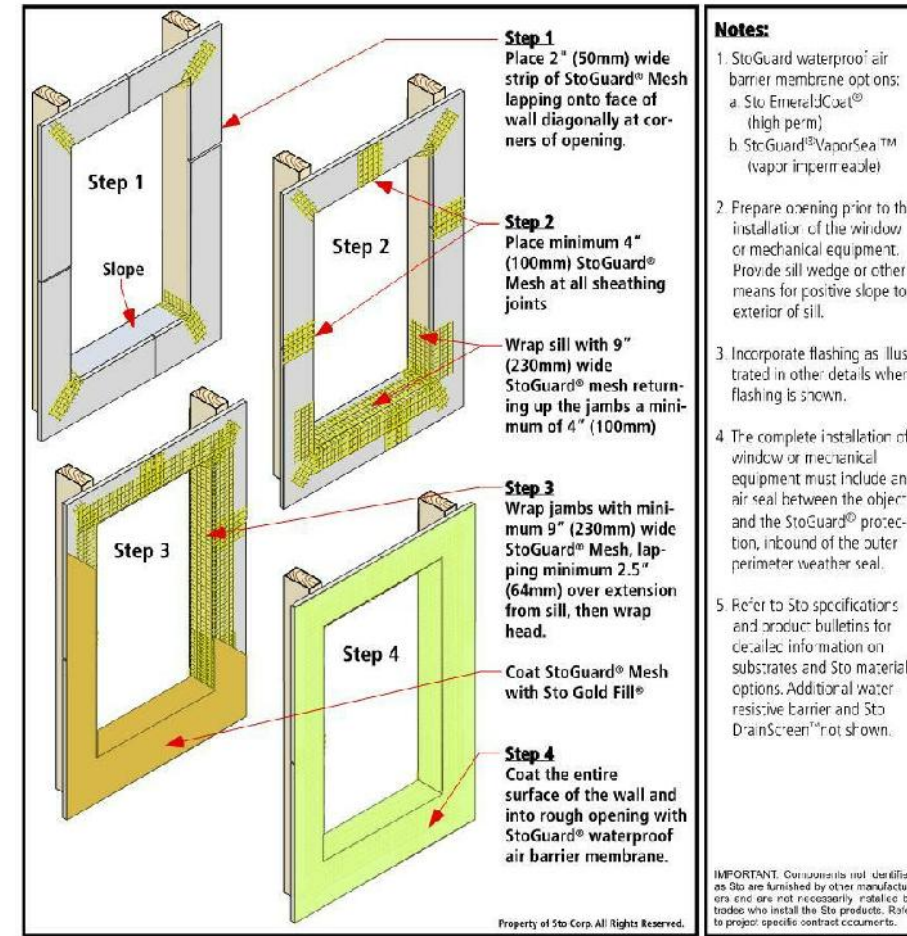
Accessory Materials:
1. Galvanized expanded diamond mesh metal lath
2. Casing head
3. Other accessories as may be required (i.e. wood studs, etc.)

IMPORTANT: StoPowerwall® is applied over a wood frame wall. It is not intended for use over masonry or concrete. For more information, please visit the Sto website: www.sto.com



StoPowerwall® DrainScreen™
Rough Opening Protection with Sto Gold Fill® and StoGuard® Mesh

Detail No.: 5.20 DS
Date: October 2014



Notes:
1. StoGuard® Mesh is applied over the sheathing of the wall and a minimum of 6" above finished grade or as required by code.
2. StoPowerwall® Water-Resistive Barrier Membrane is applied over the mesh.
3. StoPowerwall® DrainScreen™ is applied over the membrane.
4. StoPowerwall® Scratch Coat is applied over the DrainScreen™.
5. StoPowerwall® Brown Coat is applied over the Scratch Coat.
6. Sto Primer is applied over the Brown Coat.
7. Sto Finish is applied over the Primer.
8. Sto Joint Treatment is applied at all joints.
9. Sto Detail Component is applied at all details.
10. Sto Flashing is applied at all openings.

Options:
1. StoGuard® Mesh
2. StoPowerwall® Water-Resistive Barrier Membrane
3. StoPowerwall® DrainScreen™
4. StoPowerwall® Scratch Coat
5. StoPowerwall® Brown Coat
6. Sto Primer
7. Sto Finish
8. Sto Joint Treatment
9. Sto Detail Component
10. Sto Flashing

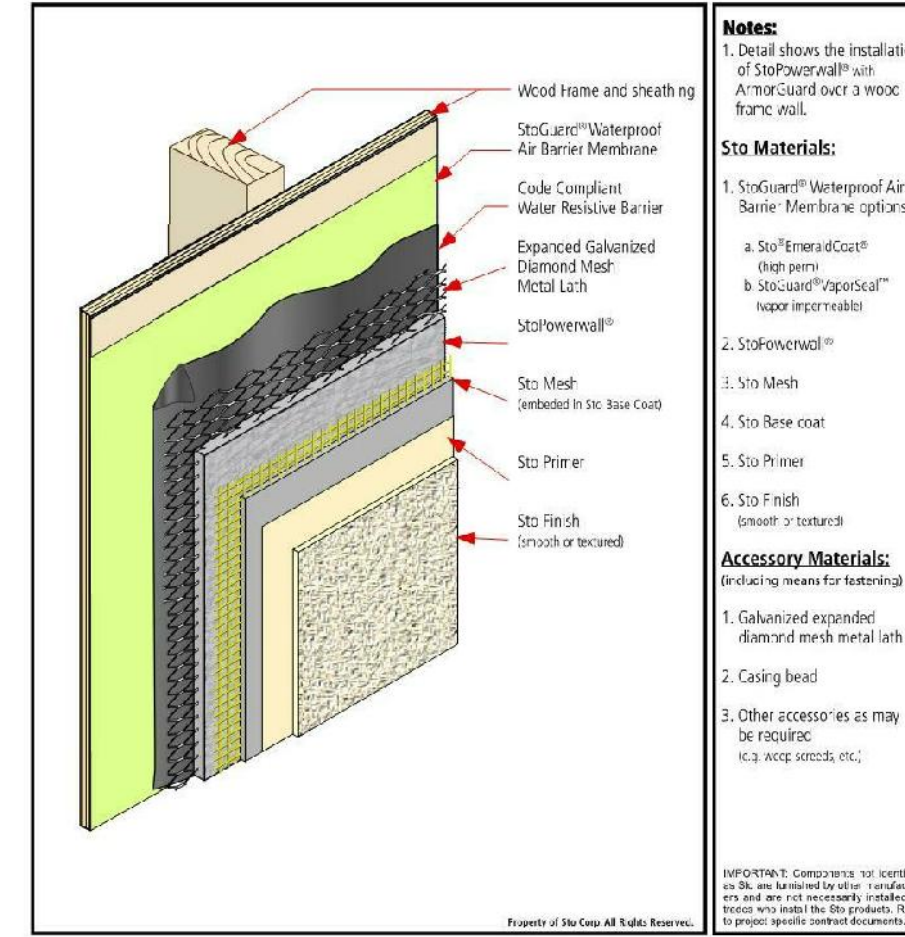
Accessory Materials:
1. Galvanized expanded diamond mesh metal lath
2. Casing head
3. Other accessories as may be required (i.e. wood studs, etc.)

IMPORTANT: StoPowerwall® is applied over a wood frame wall. It is not intended for use over masonry or concrete. For more information, please visit the Sto website: www.sto.com



StoPowerwall®
with Armor Guard
System Components

Detail No.: 5.06 E
Date: October 2014



Notes:
1. Detail shows the installation of StoPowerwall® Water-Resistive Barrier Membrane on the sheathing of the wall.
2. StoPowerwall® Water-Resistive Barrier Membrane is applied over the sheathing.
3. StoPowerwall® DrainScreen™ is applied over the membrane.
4. StoPowerwall® Scratch Coat is applied over the DrainScreen™.
5. StoPowerwall® Brown Coat is applied over the Scratch Coat.
6. Sto Primer is applied over the Brown Coat.
7. Sto Finish is applied over the Primer.
8. Sto Joint Treatment is applied at all joints.
9. Sto Detail Component is applied at all details.
10. Sto Flashing is applied at all openings.

Sto Materials:
1. StoPowerwall® Water-Resistive Barrier Membrane
2. StoPowerwall® DrainScreen™
3. StoPowerwall® Scratch Coat
4. StoPowerwall® Brown Coat
5. Sto Primer
6. Sto Finish
7. Sto Joint Treatment
8. Sto Detail Component
9. Sto Flashing

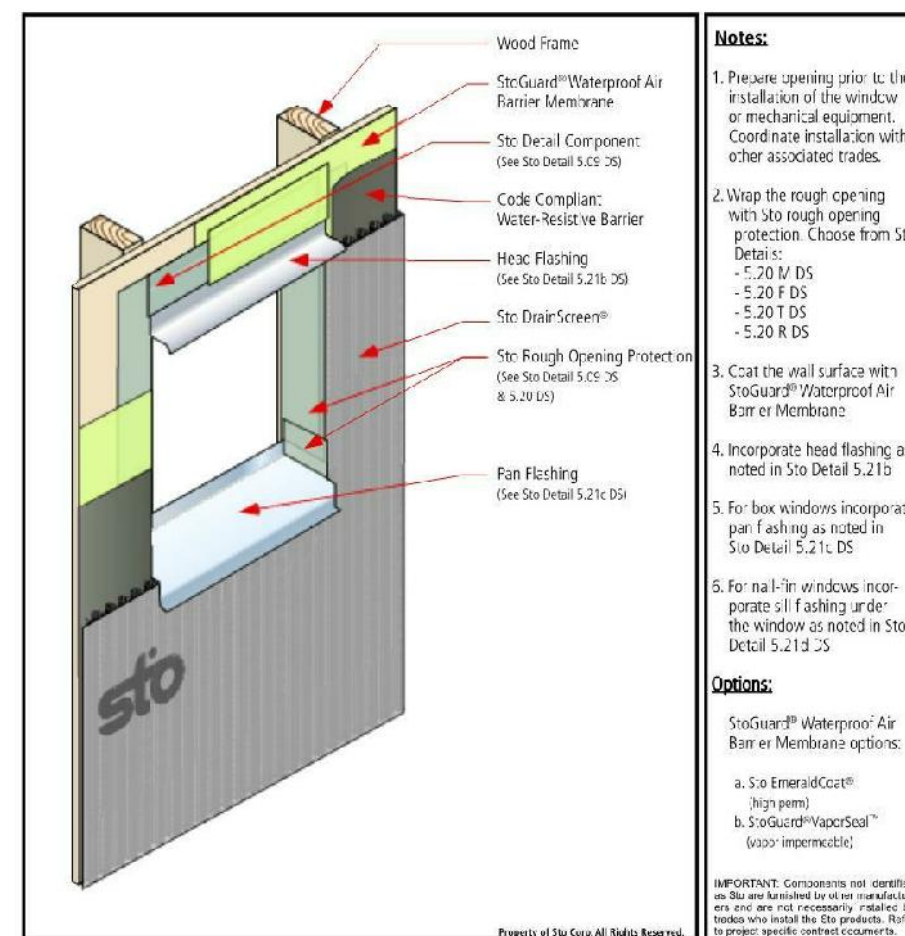
Accessory Materials:
1. Galvanized expanded diamond mesh metal lath
2. Casing head
3. Other accessories as may be required (i.e. wood studs, etc.)

IMPORTANT: StoPowerwall® is applied over a wood frame wall. It is not intended for use over masonry or concrete. For more information, please visit the Sto website: www.sto.com



StoPowerwall® DrainScreen™
Rough Opening Preparation

Detail No.: 5.21a DS
Date: October 2014



Notes:
1. Prepare rough opening in the wall and provide structural support as required by local codes and other associated trades.
2. Wrap the rough opening with StoGuard® Mesh and StoPowerwall® Water-Resistive Barrier Membrane.
3. Coat the wall surface with StoPowerwall® Water-Resistive Barrier Membrane.
4. Incorporate head flashing as noted in Sto Detail 5.21b DS.
5. For low windows incorporate Sto Flashing as noted in Sto Detail 5.21c DS.
6. For all 3rd or 4th floor windows incorporate Sto Flashing as noted in Sto Detail 5.21d DS.
7. For all 3rd or 4th floor windows incorporate Sto Flashing as noted in Sto Detail 5.21e DS.

Options:
1. StoPowerwall® Water-Resistive Barrier Membrane
2. StoPowerwall® DrainScreen™
3. StoPowerwall® Scratch Coat
4. StoPowerwall® Brown Coat
5. Sto Primer
6. Sto Finish
7. Sto Joint Treatment
8. Sto Detail Component
9. Sto Flashing

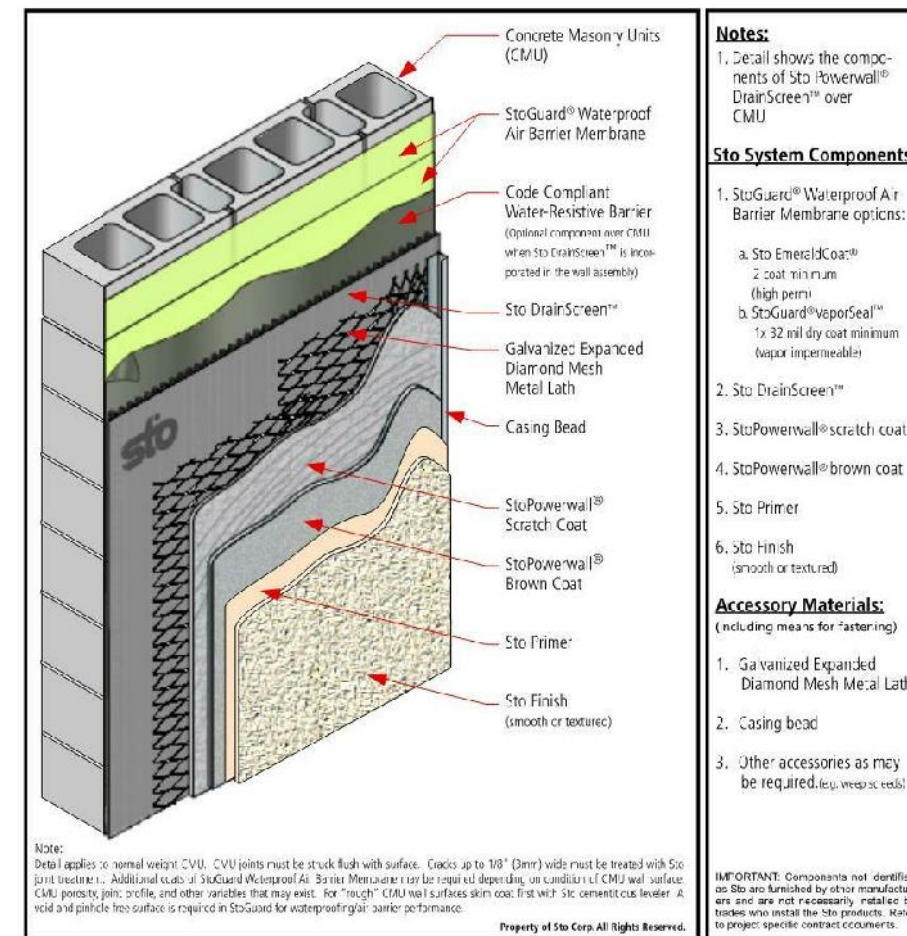
Accessory Materials:
1. Galvanized expanded diamond mesh metal lath
2. Casing head
3. Other accessories as may be required (i.e. wood studs, etc.)

IMPORTANT: StoPowerwall® is applied over a wood frame wall. It is not intended for use over masonry or concrete. For more information, please visit the Sto website: www.sto.com



StoPowerwall® DrainScreen™
System Components over CMU

Detail No.: 5.07 DS
Date: October 2014



Notes:
1. Detail shows the components of StoPowerwall® Water-Resistive Barrier Membrane over CMU.
2. StoPowerwall® Water-Resistive Barrier Membrane is applied over the CMU.
3. StoPowerwall® DrainScreen™ is applied over the membrane.
4. StoPowerwall® Scratch Coat is applied over the DrainScreen™.
5. StoPowerwall® Brown Coat is applied over the Scratch Coat.
6. Sto Primer is applied over the Brown Coat.
7. Sto Finish is applied over the Primer.
8. Sto Joint Treatment is applied at all joints.
9. Sto Detail Component is applied at all details.
10. Sto Flashing is applied at all openings.

Sto System Components:
1. StoPowerwall® Water-Resistive Barrier Membrane
2. StoPowerwall® DrainScreen™
3. StoPowerwall® Scratch Coat
4. StoPowerwall® Brown Coat
5. Sto Primer
6. Sto Finish
7. Sto Joint Treatment
8. Sto Detail Component
9. Sto Flashing

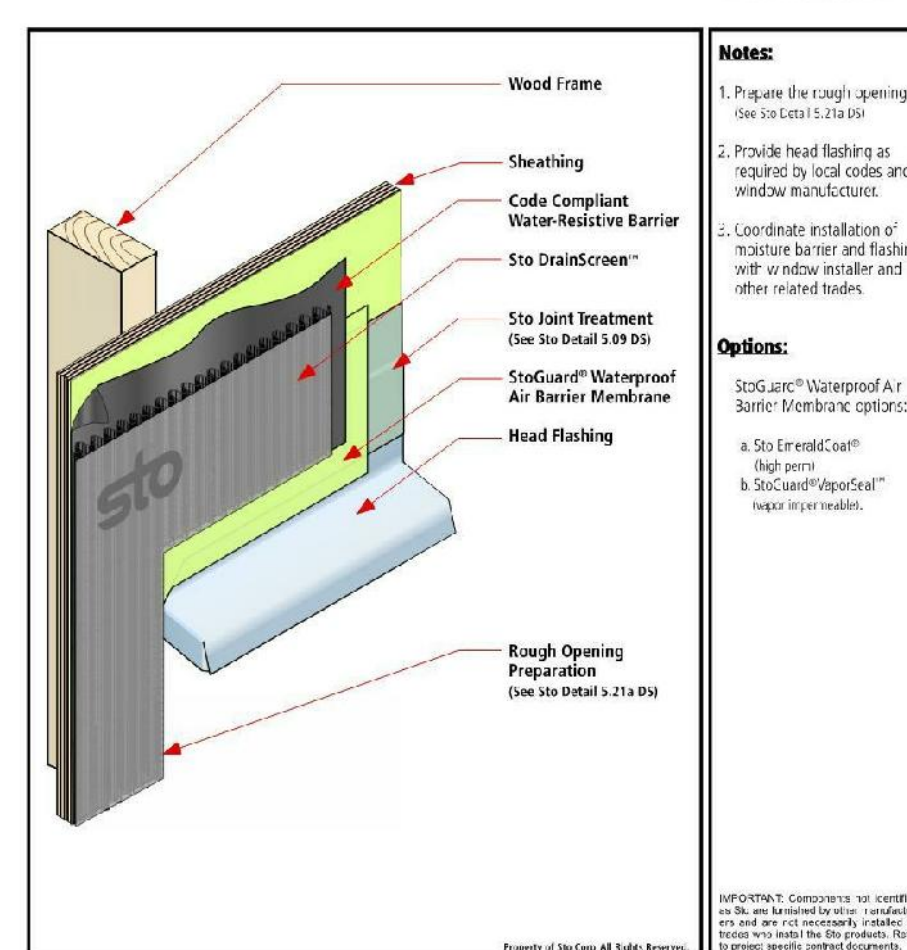
Accessory Materials:
1. Galvanized expanded diamond mesh metal lath
2. Casing head
3. Other accessories as may be required (i.e. wood studs, etc.)

IMPORTANT: StoPowerwall® is applied over a wood frame wall. It is not intended for use over masonry or concrete. For more information, please visit the Sto website: www.sto.com



StoPowerwall® DrainScreen™
Window Head Flashing Preparation

Detail No.: 5.21b DS
Date: October 2014



Notes:
1. Prepare the rough opening (See Sto Detail 5.21a DS)
2. Provide head flashing as required by local codes and window manufacturer.
3. Coordinate installation of StoPowerwall® Water-Resistive Barrier Membrane and StoPowerwall® DrainScreen™ with window installer and other related trades.
4. StoPowerwall® Water-Resistive Barrier Membrane is applied over the sheathing.
5. StoPowerwall® DrainScreen™ is applied over the membrane.
6. StoPowerwall® Scratch Coat is applied over the DrainScreen™.
7. StoPowerwall® Brown Coat is applied over the Scratch Coat.
8. Sto Primer is applied over the Brown Coat.
9. Sto Finish is applied over the Primer.
10. Sto Joint Treatment is applied at all joints.
11. Sto Detail Component is applied at all details.
12. Sto Flashing is applied at all openings.

Options:
1. StoPowerwall® Water-Resistive Barrier Membrane
2. StoPowerwall® DrainScreen™
3. StoPowerwall® Scratch Coat
4. StoPowerwall® Brown Coat
5. Sto Primer
6. Sto Finish
7. Sto Joint Treatment
8. Sto Detail Component
9. Sto Flashing

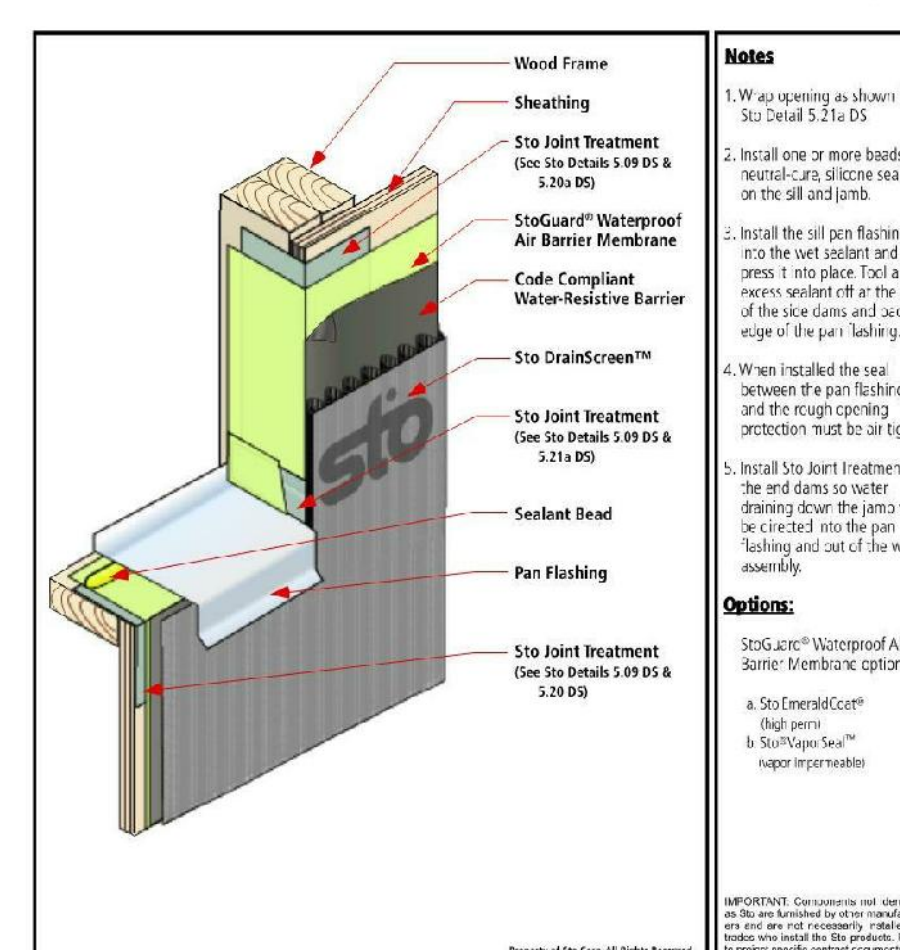
Accessory Materials:
1. Galvanized expanded diamond mesh metal lath
2. Casing head
3. Other accessories as may be required (i.e. wood studs, etc.)

IMPORTANT: StoPowerwall® is applied over a wood frame wall. It is not intended for use over masonry or concrete. For more information, please visit the Sto website: www.sto.com



StoPowerwall® DrainScreen™
Pan Flashing at Opening Sill

Detail No.: 5.21c DS
Date: October 2014



Notes:
1. Prepare the rough opening (See Sto Detail 5.21a DS)
2. Provide head flashing as required by local codes and window manufacturer.
3. Coordinate installation of StoPowerwall® Water-Resistive Barrier Membrane and StoPowerwall® DrainScreen™ with window installer and other related trades.
4. StoPowerwall® Water-Resistive Barrier Membrane is applied over the sheathing.
5. StoPowerwall® DrainScreen™ is applied over the membrane.
6. StoPowerwall® Scratch Coat is applied over the DrainScreen™.
7. StoPowerwall® Brown Coat is applied over the Scratch Coat.
8. Sto Primer is applied over the Brown Coat.
9. Sto Finish is applied over the Primer.
10. Sto Joint Treatment is applied at all joints.
11. Sto Detail Component is applied at all details.
12. Sto Flashing is applied at all openings.

Options:
1. StoPowerwall® Water-Resistive Barrier Membrane
2. StoPowerwall® DrainScreen™
3. StoPowerwall® Scratch Coat
4. StoPowerwall® Brown Coat
5. Sto Primer
6. Sto Finish
7. Sto Joint Treatment
8. Sto Detail Component
9. Sto Flashing

Accessory Materials:
1. Galvanized expanded diamond mesh metal lath
2. Casing head
3. Other accessories as may be required (i.e. wood studs, etc.)

IMPORTANT: StoPowerwall® is applied over a wood frame wall. It is not intended for use over masonry or concrete. For more information, please visit the Sto website: www.sto.com

DESIGNED BY:
GAYN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

BLDG. ENVELOPE DETAILS
SCALE AS NOTED
DRAWN BY: MU

A11.0

G.B. HOLBROOK HOUSE
- TOWER

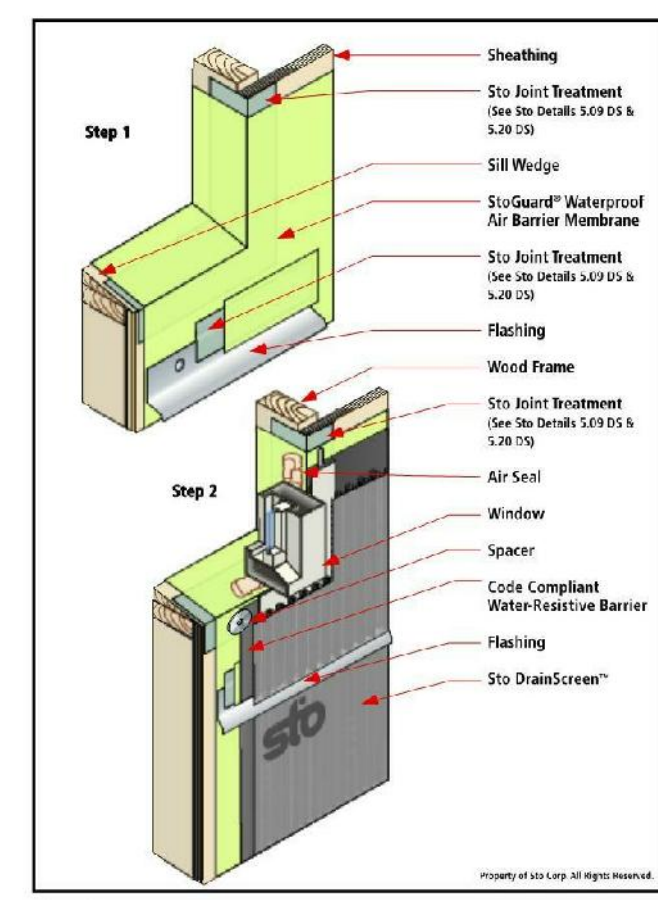
THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HERS RATER.

CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

REVISIONS:

StoPowerwall® DrainScreen™ Sill Flashing: Mull-fin Window

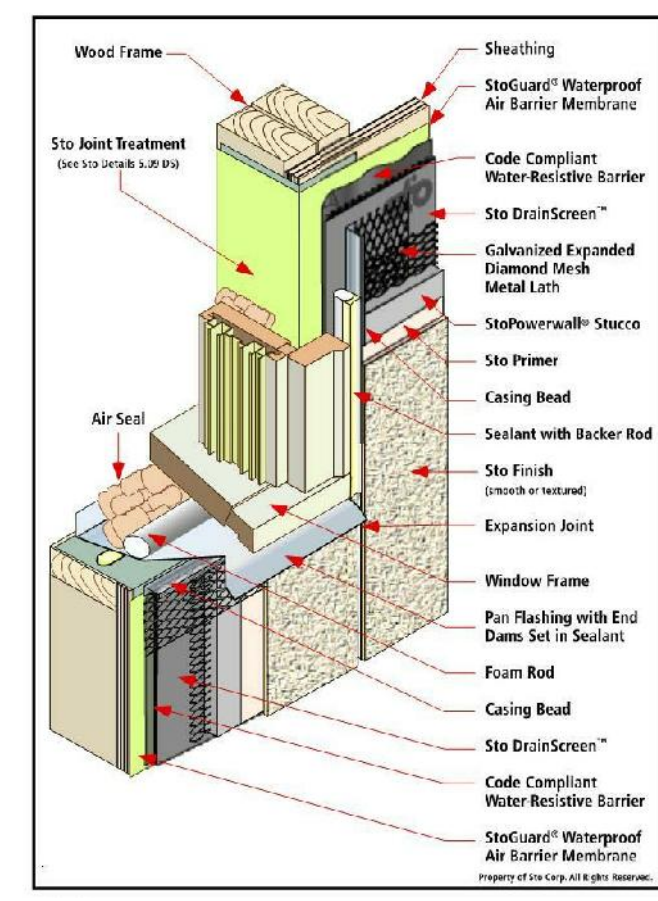
Detail No.: 5.21d DS Date: October 2014



Notes: 1. Prepare rough opening... 2. Install flashing below the rough opening... Options: StoGuard® Waterproof Air Barrier Membrane...

StoPowerwall® DrainScreen™ Brick Mold Window Sill / Jamb

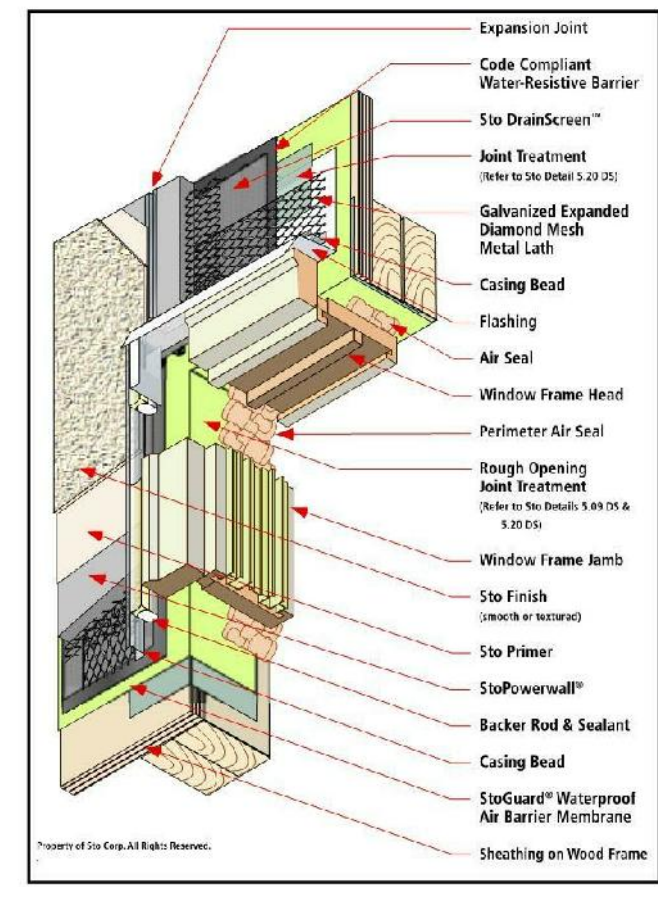
Detail No.: 5.22 DS Date: October 2014



Notes: 1. Prepare the rough opening... 2. Provide a continuous air barrier... Options: StoGuard® Waterproof Air Barrier Membrane...

StoPowerwall® DrainScreen™ Brick Mold Window Head

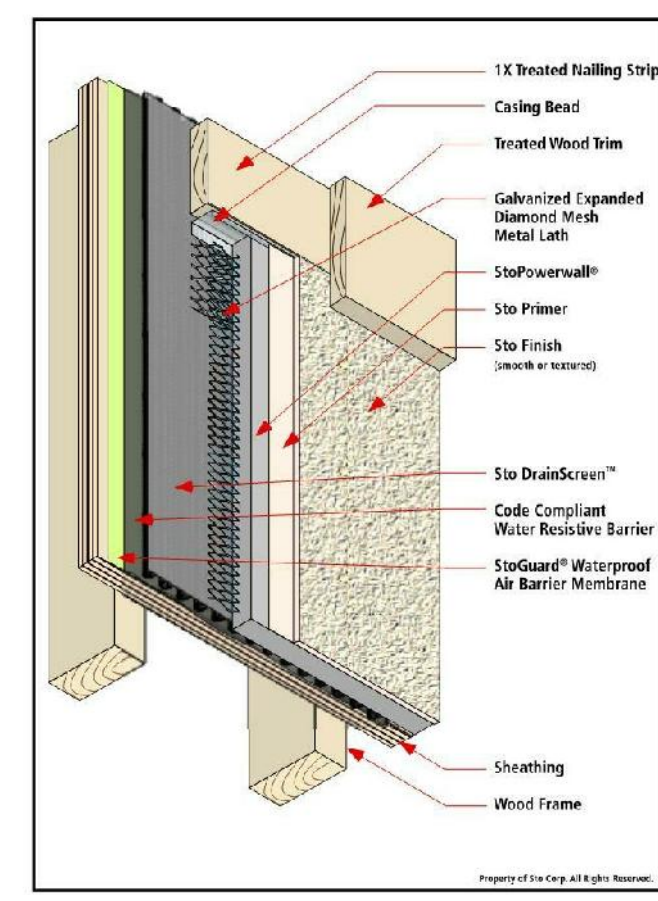
Detail No.: 5.23 DS Date: October 2014



Notes: 1. Prepare the rough opening... 2. Provide a continuous air barrier... Options: StoGuard® Waterproof Air Barrier Membrane...

StoPowerwall® DrainScreen™ Termination at Soffit

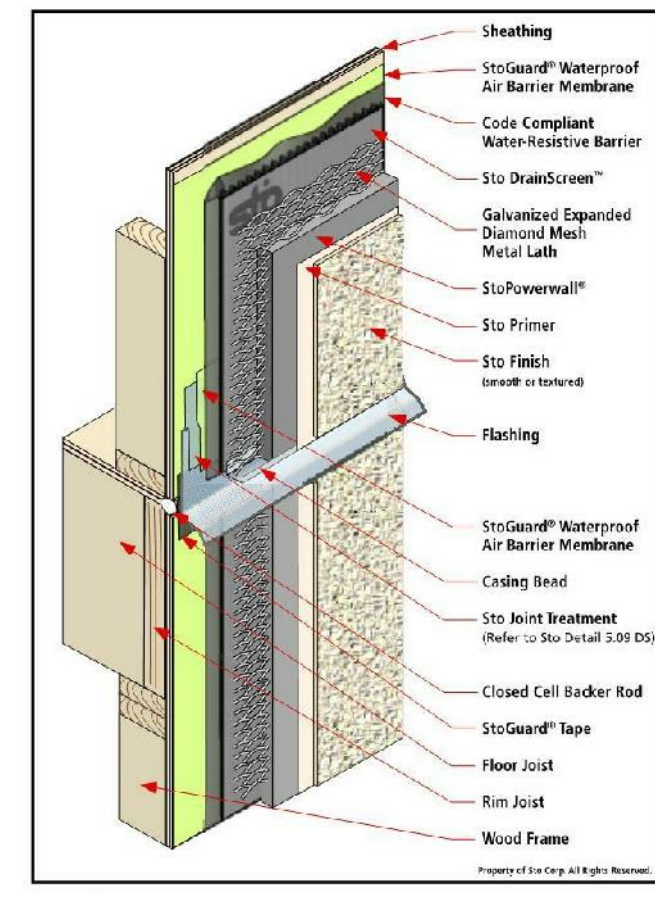
Detail No.: 5.40 DS Date: October 2014



Notes: 1. Install StoGuard® Waterproof Air Barrier Membrane... 2. Provide a continuous air barrier... Options: StoGuard® Waterproof Air Barrier Membrane...

StoPowerwall® DrainScreen™ Floor Expansion Joint

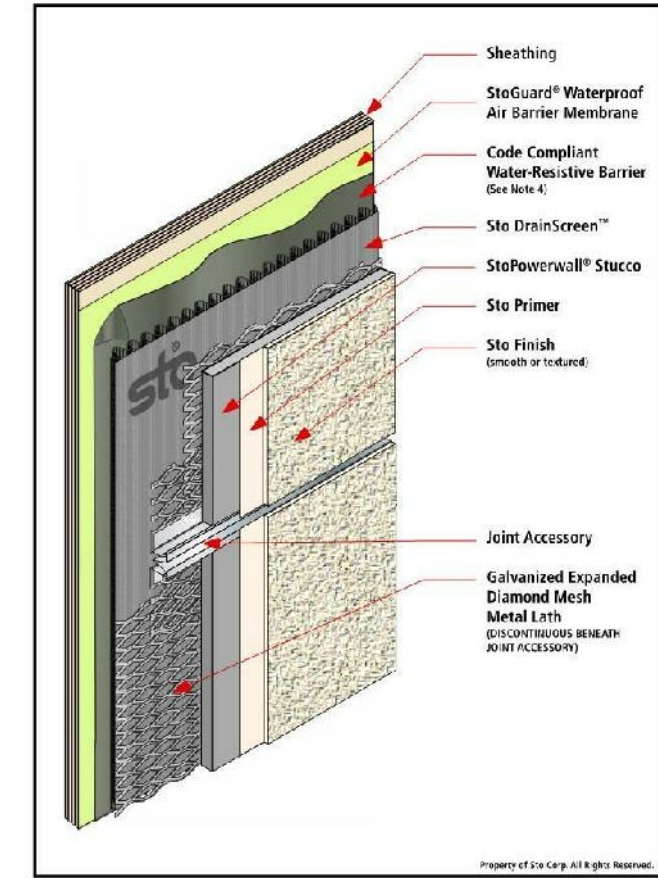
Detail No.: 5.50 DS Date: October 2014



Notes: 1. Install StoGuard® Waterproof Air Barrier Membrane... 2. Provide a continuous air barrier... Options: StoGuard® Waterproof Air Barrier Membrane...

StoPowerwall® DrainScreen™ One-Piece Expansion Joint (ASTM C 1063 Control Joint)

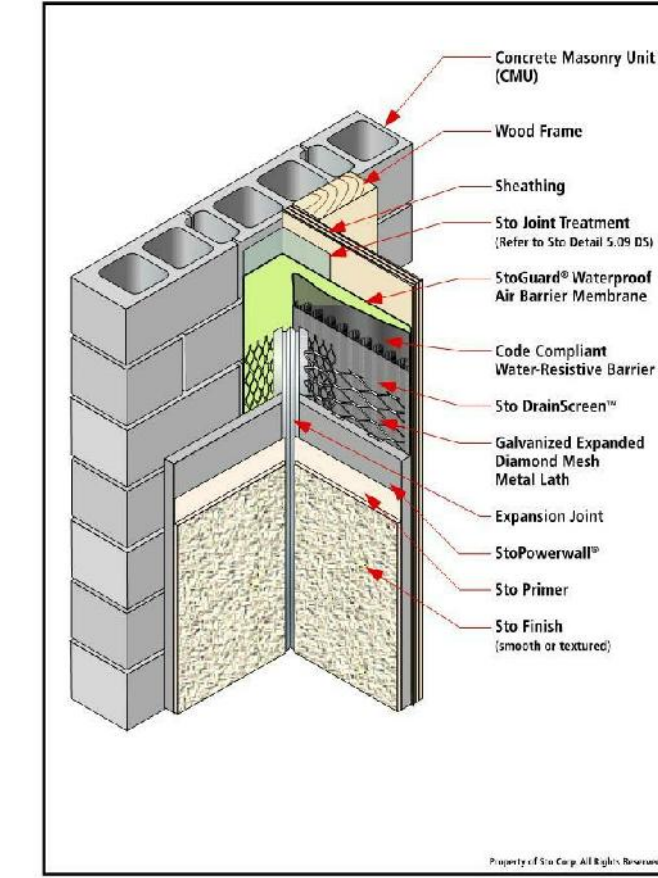
Detail No.: 5.52 DS Date: October 2014



Notes: 1. Provide one-piece expansion joint... 2. Do not exceed length... Options: StoGuard® Waterproof Air Barrier Membrane...

StoPowerwall® DrainScreen™ Joint at Inside Corner: Different Substrates

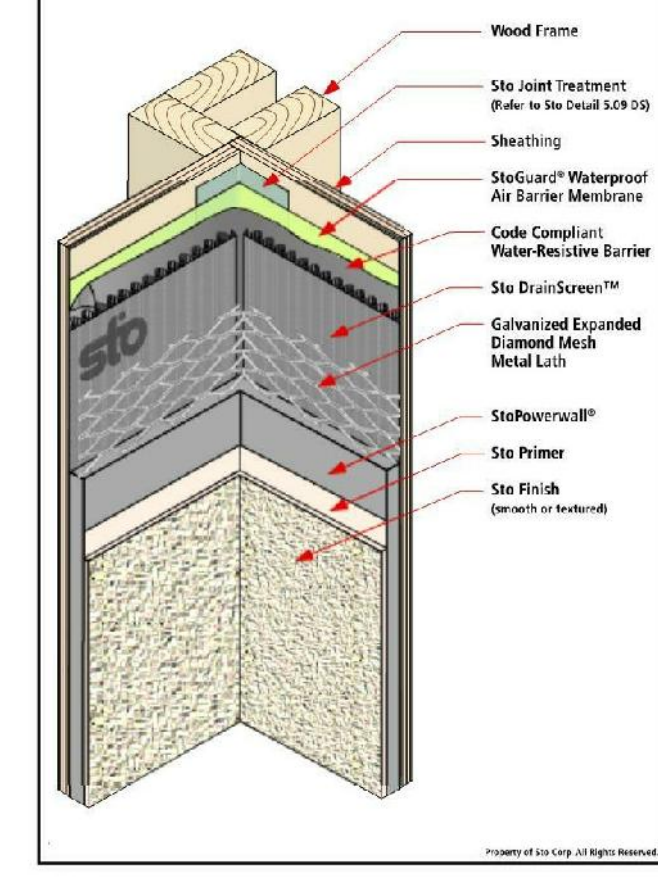
Detail No.: 5.53a DS Date: October 2014



Notes: 1. Wrap joint treatment... 2. Provide a continuous air barrier... Options: StoGuard® Waterproof Air Barrier Membrane...

StoPowerwall® DrainScreen™ Joint at Inside Corner: Common Substrate

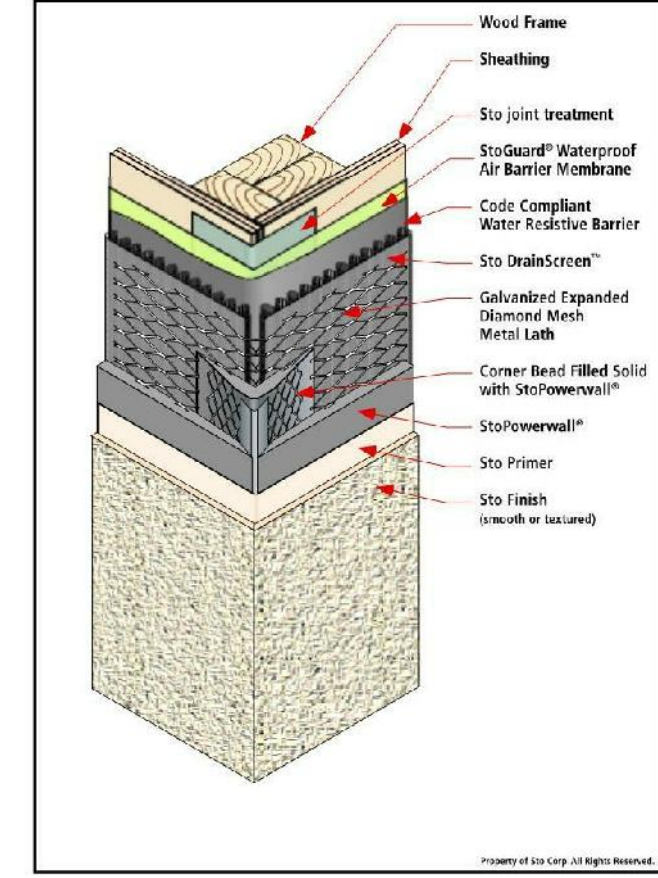
Detail No.: 5.53b DS Date: October 2014



Notes: 1. Wrap joint treatment... 2. Provide a continuous air barrier... Options: StoGuard® Waterproof Air Barrier Membrane...

StoPowerwall® DrainScreen™ Outside Corner

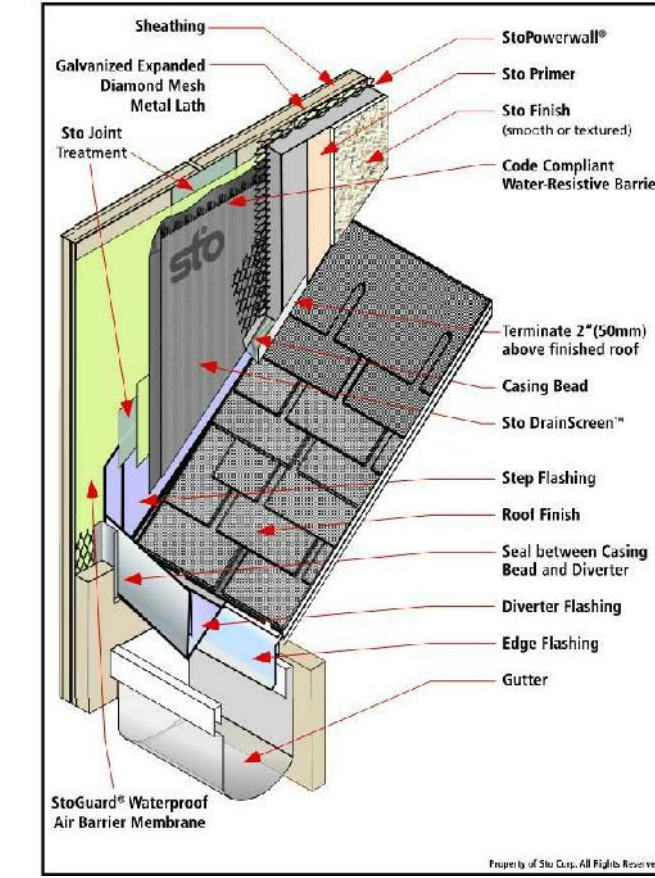
Detail No.: 5.54 DS Date: October 2014



Notes: 1. Install StoGuard® Waterproof Air Barrier Membrane... 2. Provide a continuous air barrier... Options: StoGuard® Waterproof Air Barrier Membrane...

StoPowerwall® DrainScreen™ Roof/Wall Diverter Flashing

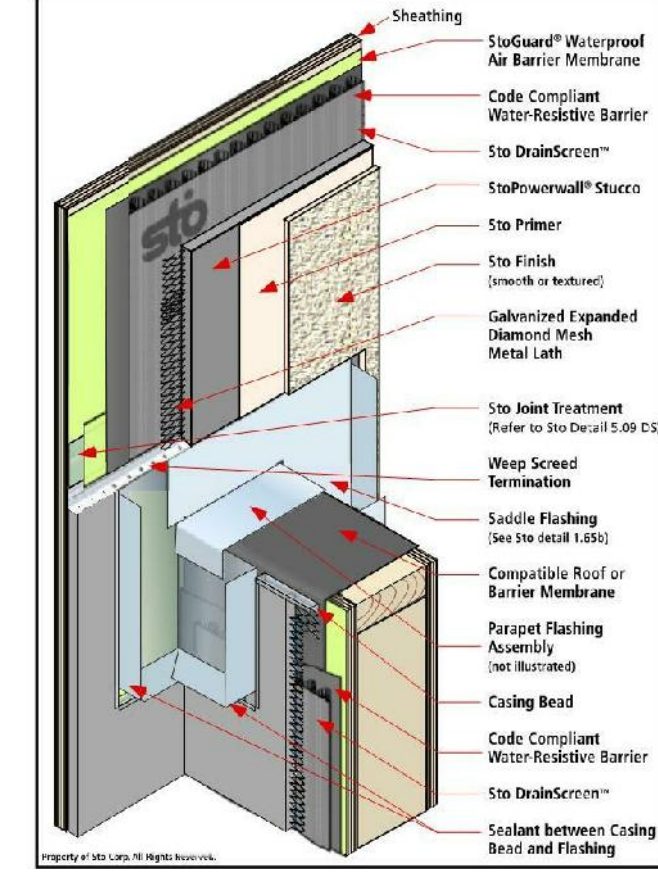
Detail No.: 5.62 DS Date: October 2014



Notes: 1. Install StoGuard® Waterproof Air Barrier Membrane... 2. Provide a continuous air barrier... Options: StoGuard® Waterproof Air Barrier Membrane...

StoPowerwall® DrainScreen™ Saddle Flashing

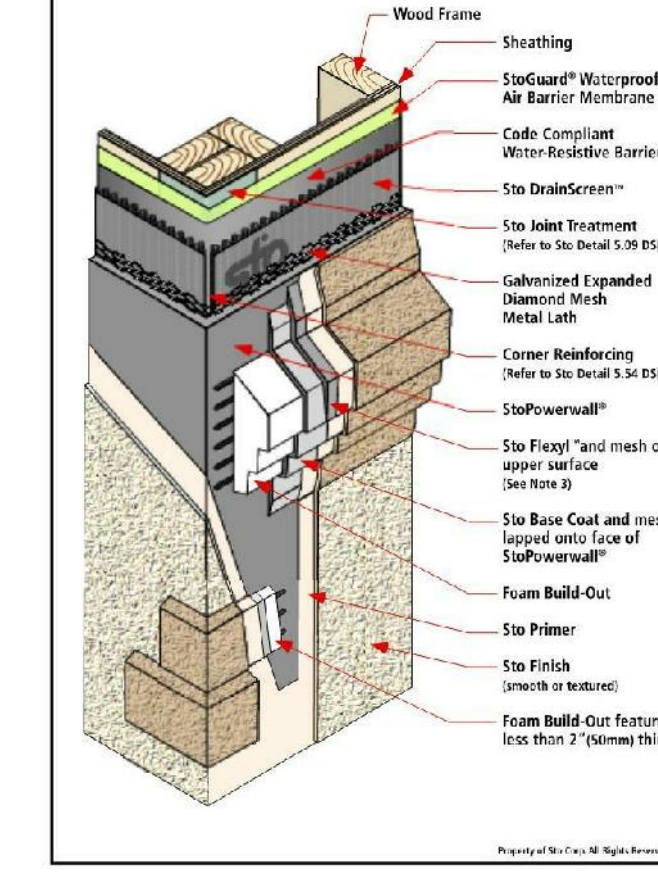
Detail No.: 5.65 DS Date: October 2014



Notes: 1. Install StoGuard® Waterproof Air Barrier Membrane... 2. Provide a continuous air barrier... Options: StoGuard® Waterproof Air Barrier Membrane...

StoPowerwall® DrainScreen™ Foam Build-Outs

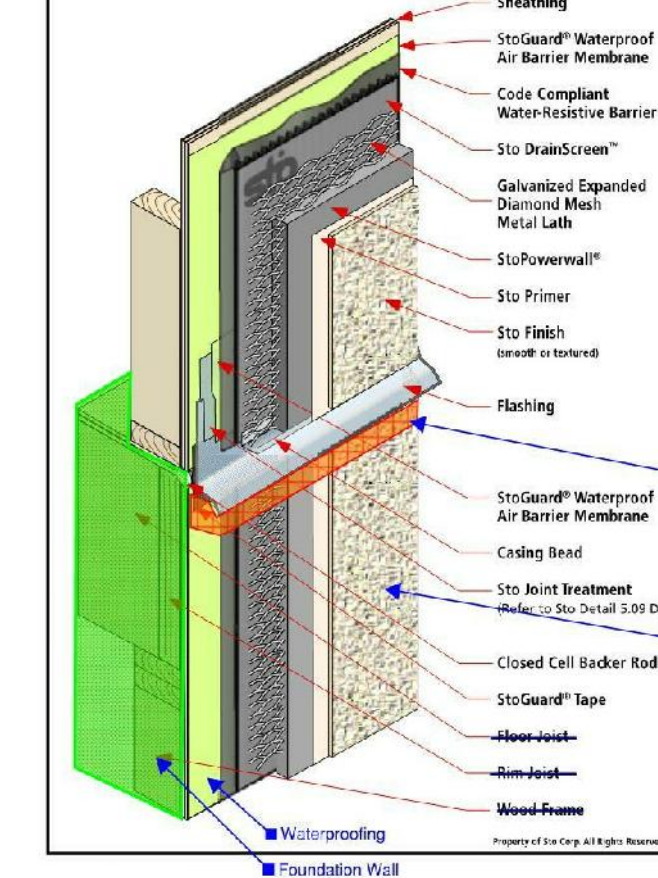
Detail No.: 5.70 DS Date: October 2014



Notes: 1. The maximum thickness of foam insulation... 2. Provide a continuous air barrier... Options: StoGuard® Waterproof Air Barrier Membrane...

StoPowerwall® DrainScreen™ Floor Expansion Joint

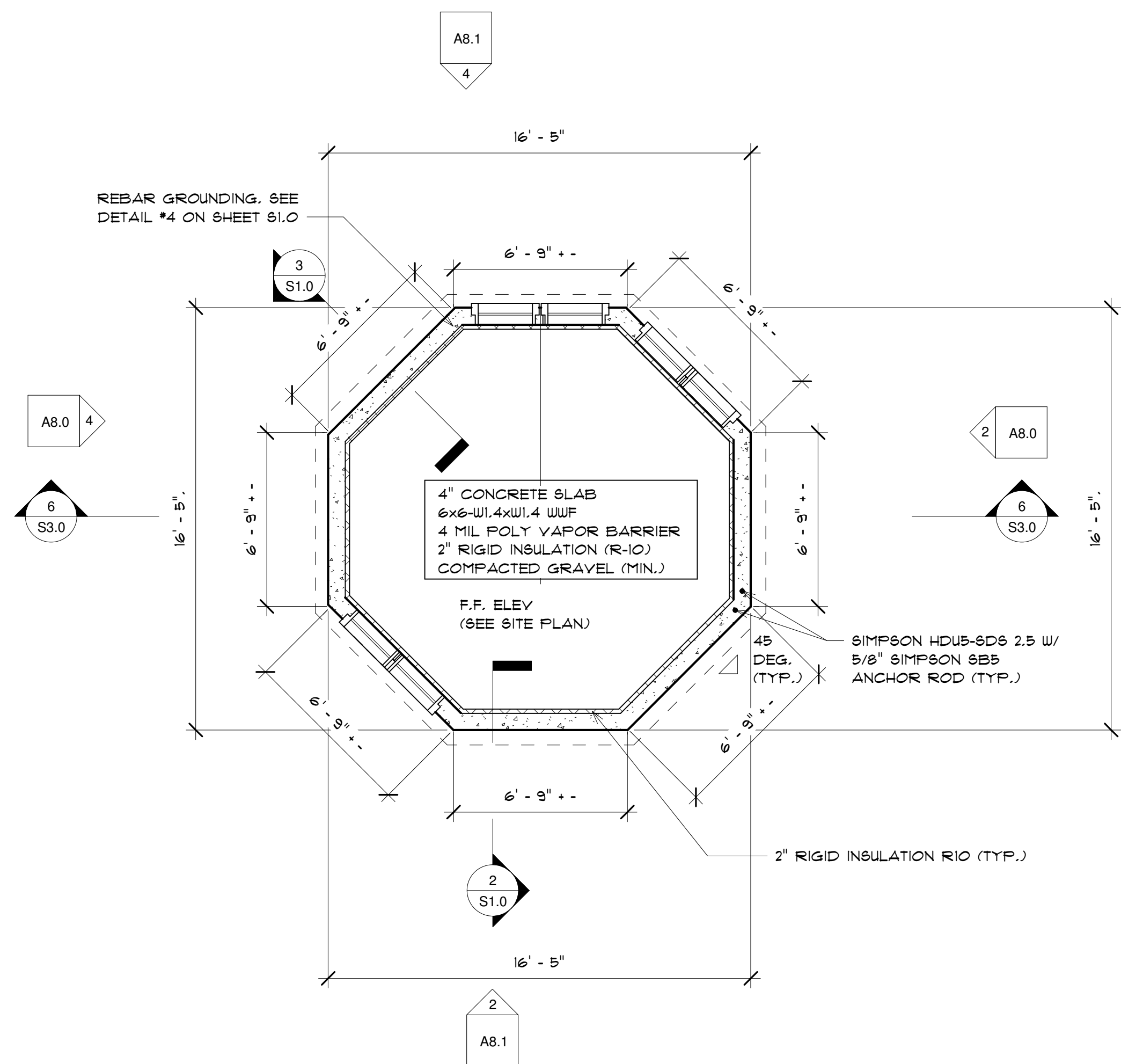
Detail No.: 5.50 DS Date: October 2014



Notes: 1. Install StoGuard® Waterproof Air Barrier Membrane... 2. Provide a continuous air barrier... Options: StoGuard® Waterproof Air Barrier Membrane...

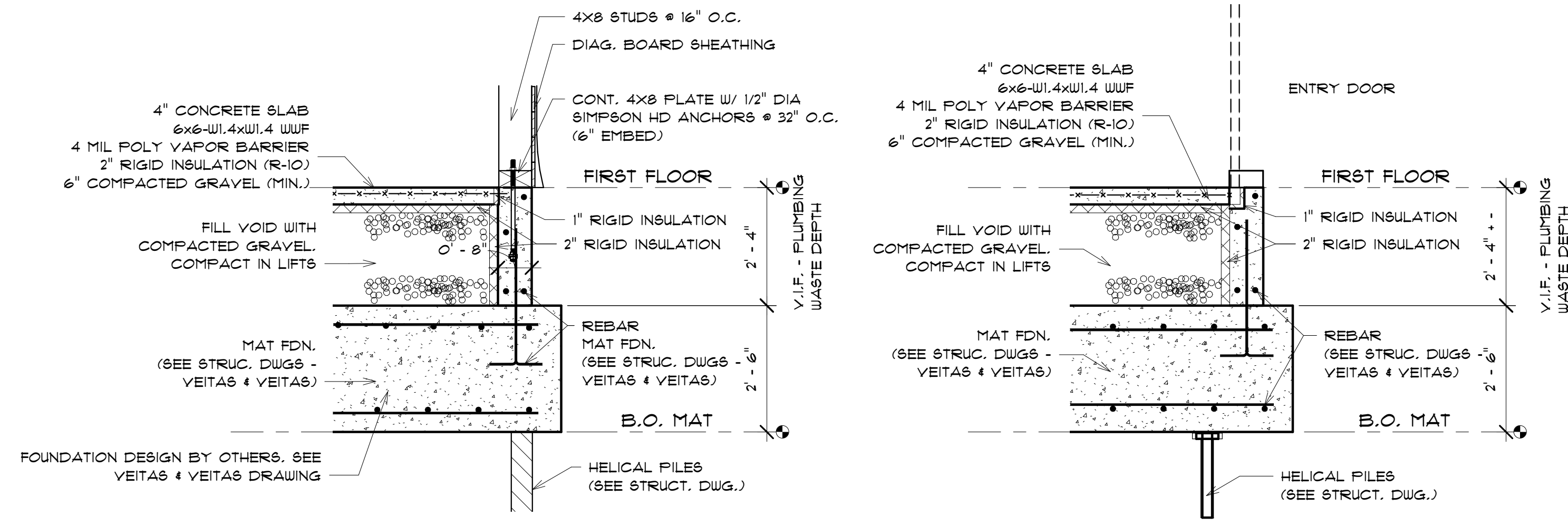
REVISIONS:

G.B. HOLBROOK HOUSE - TOWER THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HERS RATER. CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.



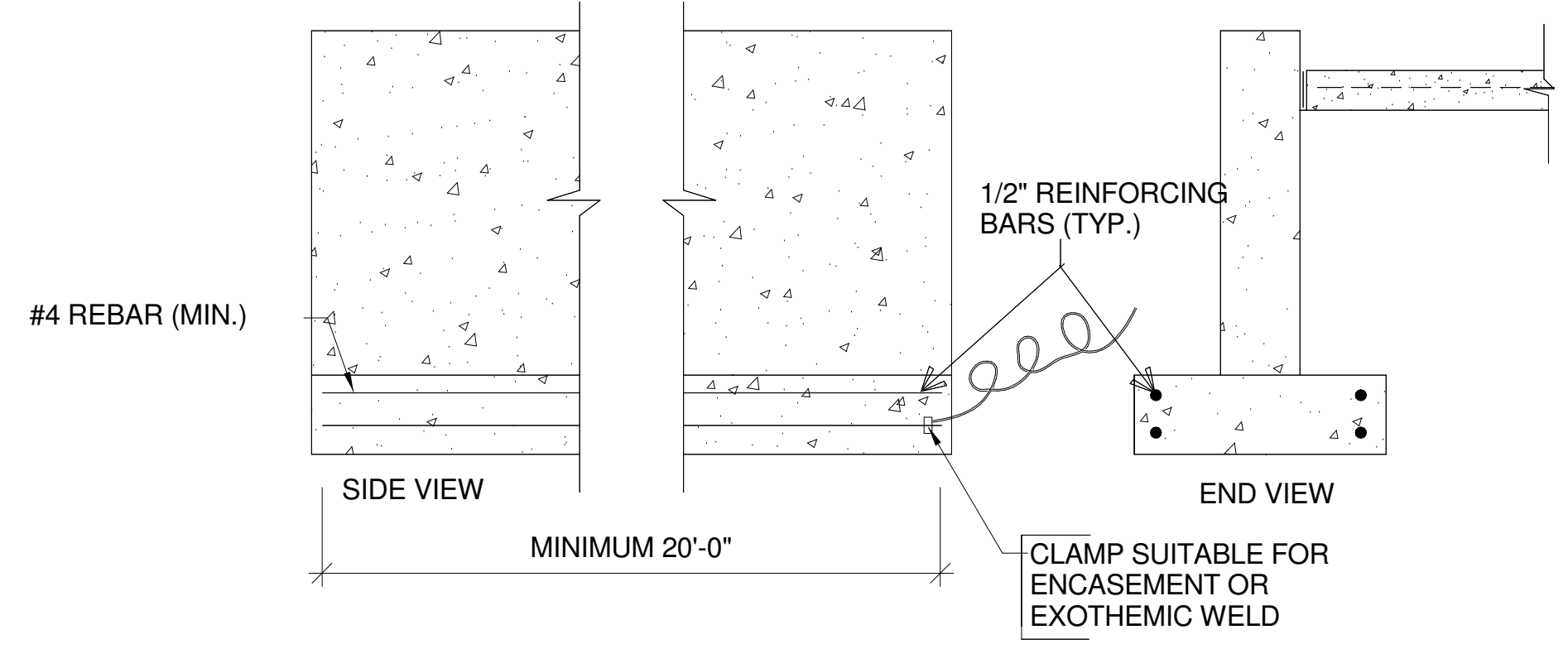
SEE VEITAS AND VEITAS ENGINEERS DRAWING DATED AUGUST 30, 2019 FOR FOUNDATION PLAN AND DETAILS FOR ADDITIONAL INFORMATION ON FOUNDATION

1 FOUNDATION PLAN
1/4" = 1'-0"



2 FDN DETAIL #1
1/2" = 1'-0"

3 FDN DETAIL #2
1/2" = 1'-0"



LOCATION TO BE COORDINATED WITH GENERAL CONTRACTOR

4 FDN ENCASED ELECTRODE DETAIL
1/2" = 1'-0"

REVISIONS:

--	--

G.B. HOLBROOK HOUSE - TOWER

THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HER'S RATER.

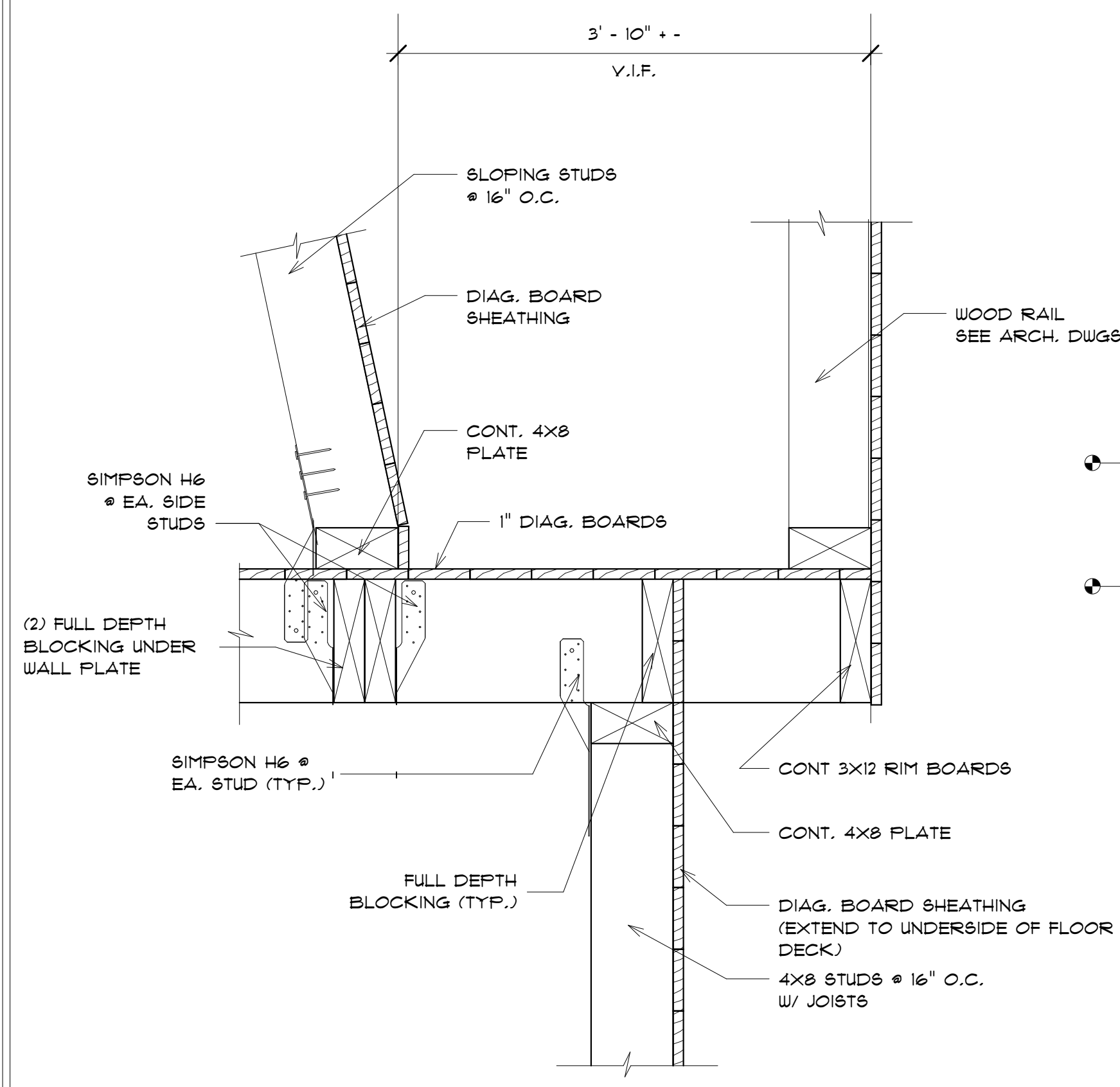
CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

DESIGNED BY:
GAYN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

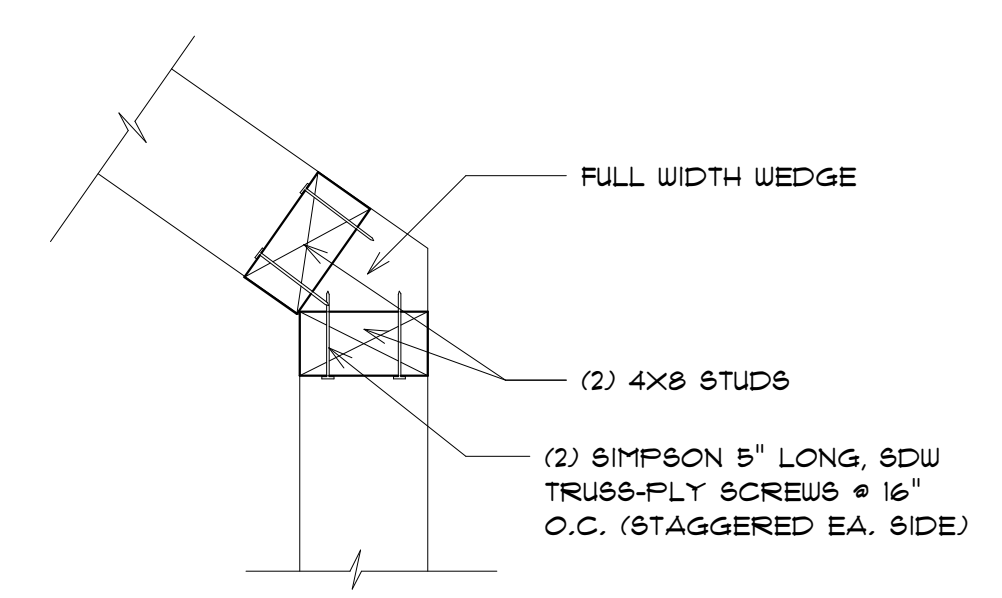
PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

FOUNDATION & DETAILS
SCALE AS NOTED
DRAWN BY: MW
PROJECT: 19-137
DATE: 02-21-20

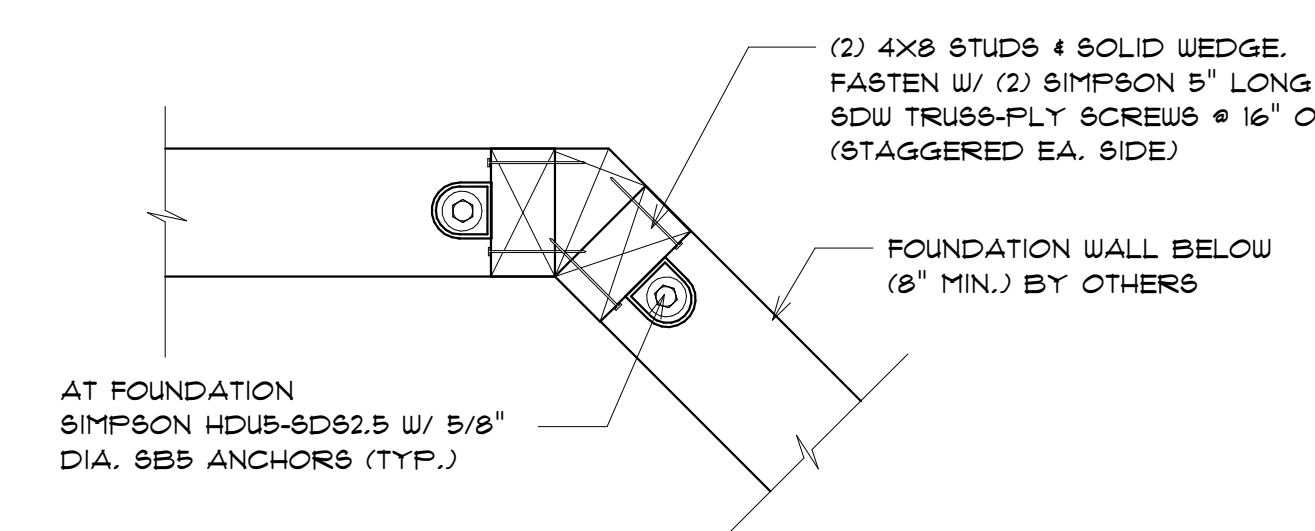
S1.0



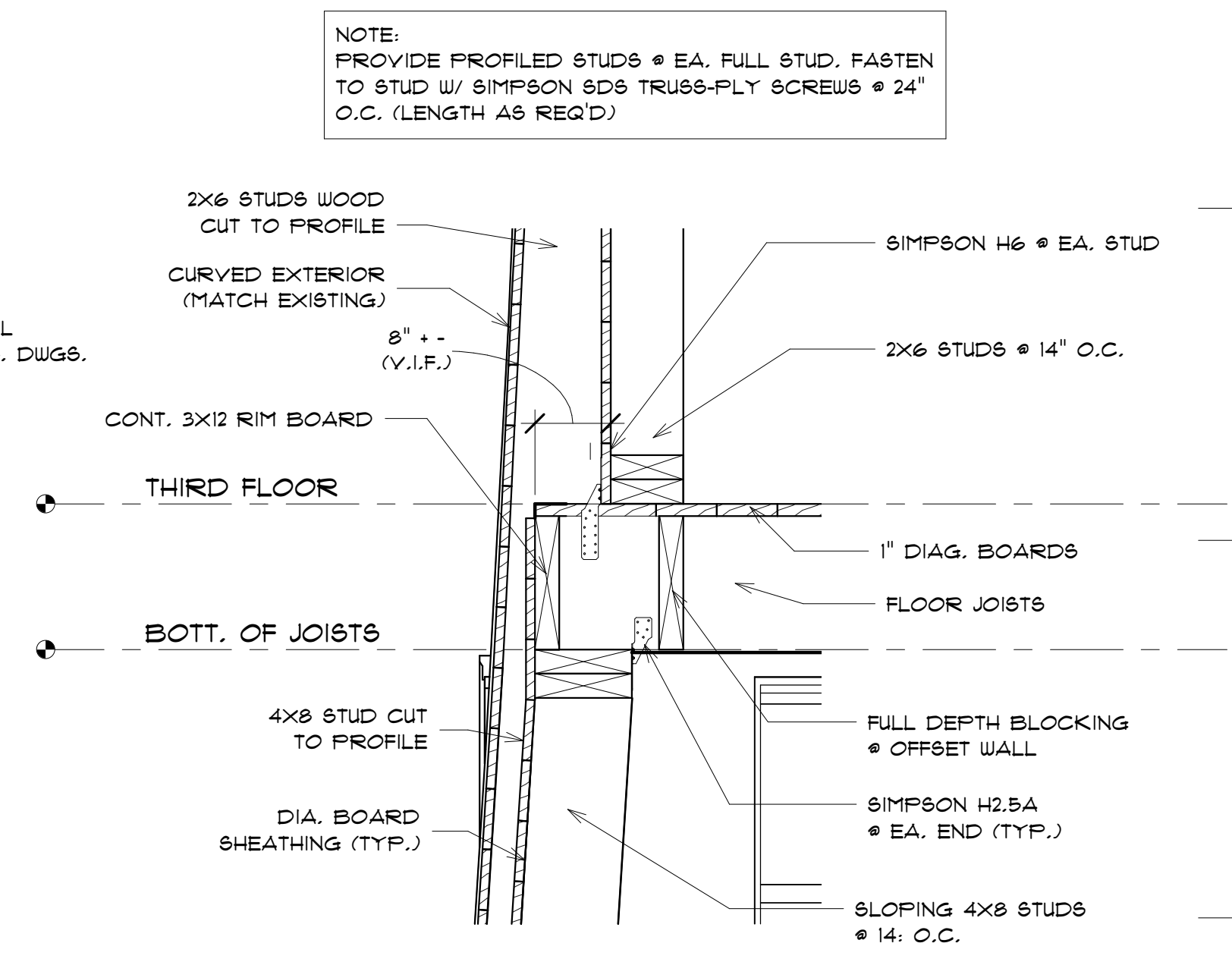
1 FRAMING DETAIL SECOND FLOOR
1" = 1'-0"



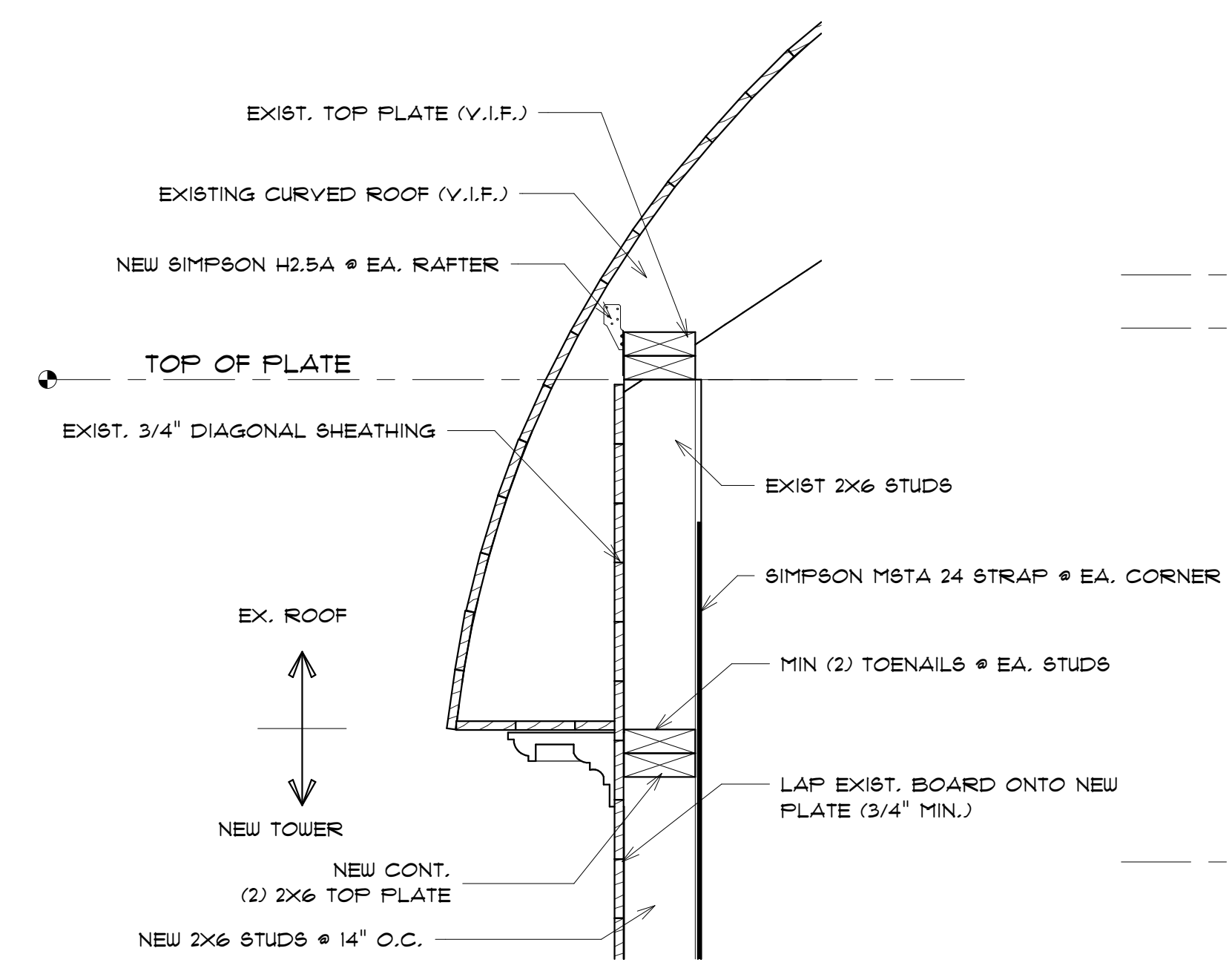
3 CORNER DETAIL
1" = 1'-0"



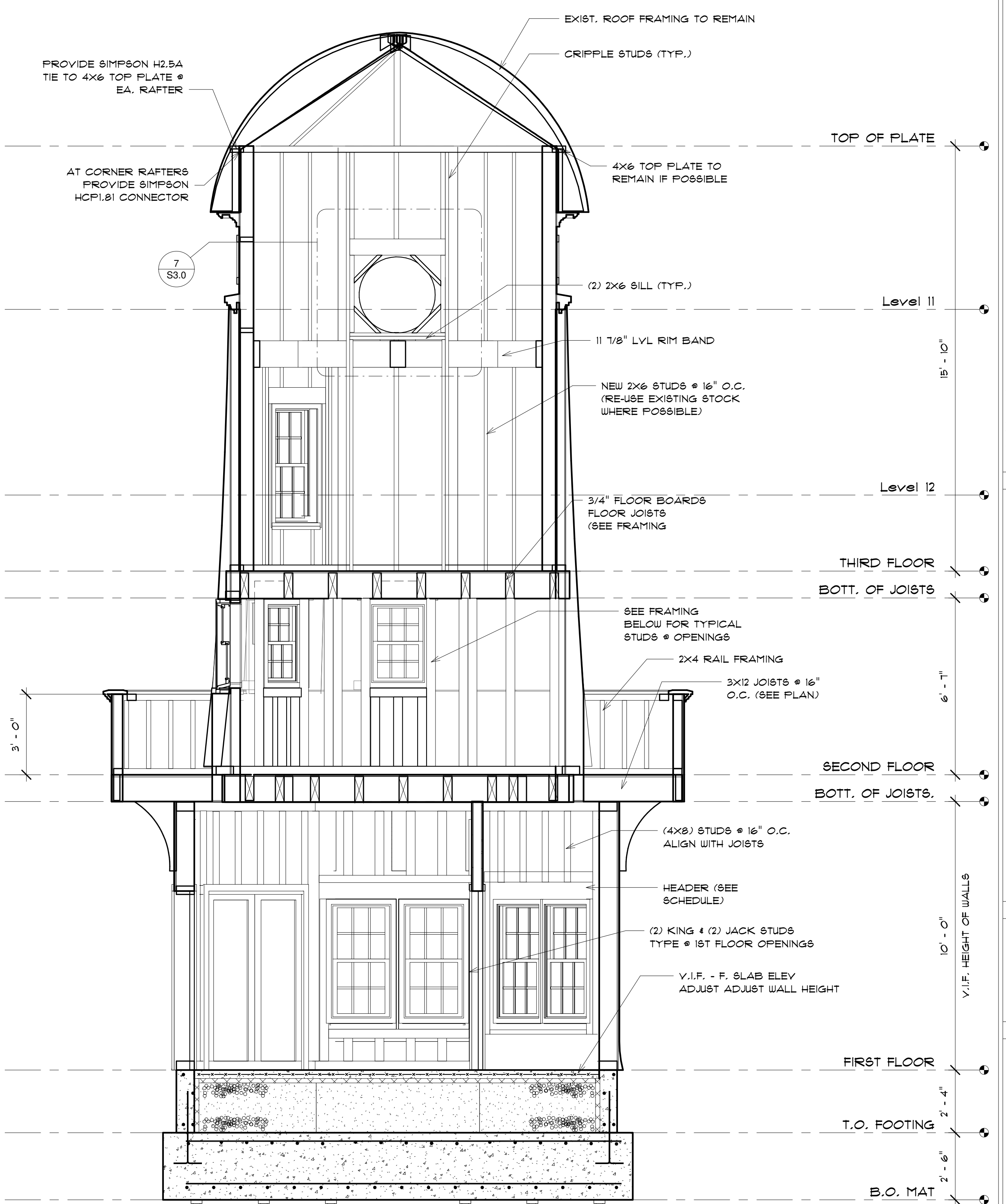
5 TYP. HOLD DOWN DETAIL @ EA. CORNER
1" = 1'-0"



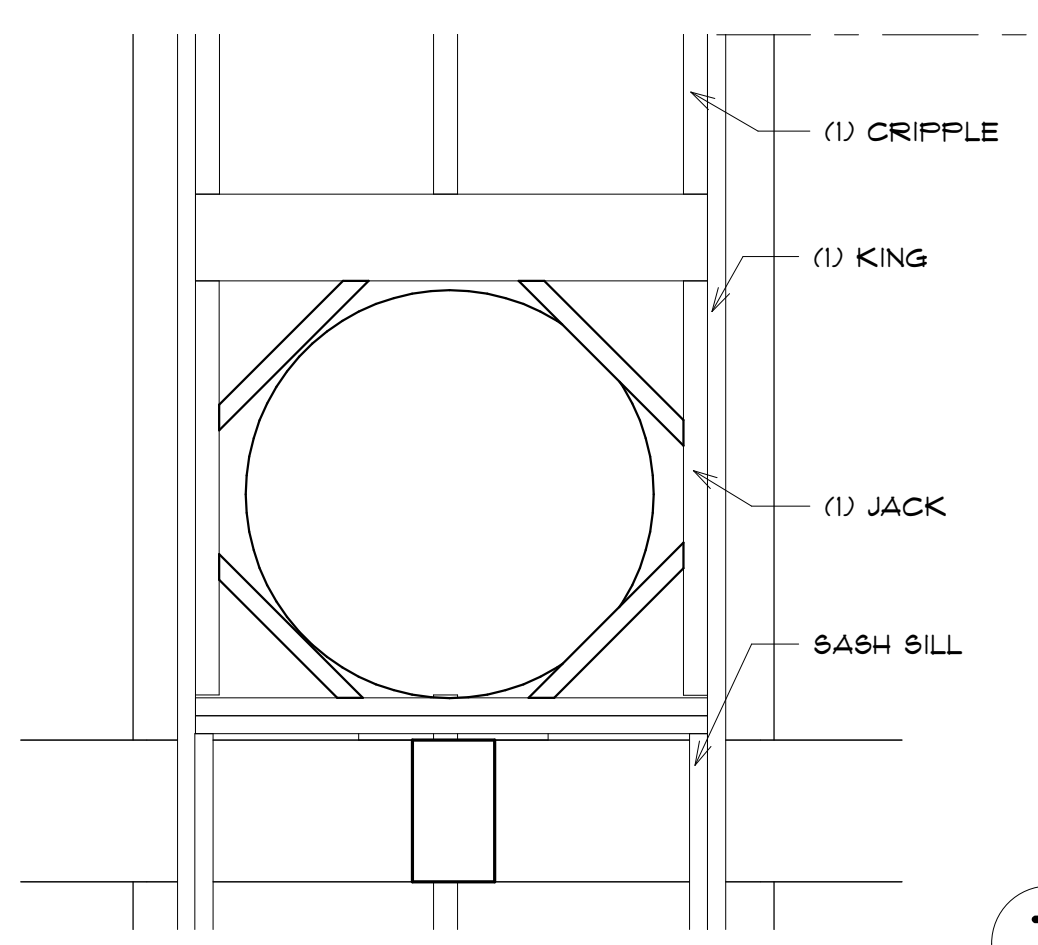
2 FRAMING DETAIL - THIRD FLOOR
1" = 1'-0"



4 FRAMING DETAIL - ROOF
1" = 1'-0"



6 TOWER SECTION - A
3/8" = 1'-0"



7 TYP. WINDOW OPENING
3/4" = 1'-0"

DESIGNED BY:
GAYN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNIS FORT, MA

FRAMING DETAILS
PROJECT: 18-137
DATE: 02-21-20
SCALE AS NOTED
DRAWN BY: MIJ

S3.0

STRUC. PROG DWG
G.B. HOLBROOK HOUSE

GENERAL:

- Structural drawings shall be used in conjunction with the architectural, mechanical, electrical and shop drawings, and specifications.
- Unless otherwise noted, sections, details, notes, materials, and methods shown on any drawings are to be considered typical for all similar conditions.
- In the event of a conflict between plans, specifications, and details, the Structural Engineer shall be notified immediately for clarification.
- See Veitas and Veitas Engineers drawings dated August 30, 2019 for foundation plan and details.
- All dimensions, elevations, and conditions must be verified in the field by the Contractor. Any discrepancies between these drawings and as-built conditions shall be brought to the attention of the Structural Engineer before proceeding with any work.
- The structure has been designed to be self-supporting and stable after the work shown on these drawings has been completed. The Contractor shall be responsible for the stability of the structure prior to the completion of work including but not limited to, jobsite safety, all shoring, bracing, erection methods, erection sequence, and forms required during construction. Temporary supports required for stability during all intermediate stages of construction shall be designed, furnished, and installed by the Contractor.
- Shop drawings shall be submitted to the Structural Engineer (see each section for specific items and requirements). Fabrication shall not proceed until a satisfactory review is received, the Contractor is proceeding at their own risk if failure to do so. Erection shall be executed from final reviewed shop drawings only.
- Reproduction of structural drawings for shop drawings is not permitted. Electronic drawing files will not be provided to the Contractor unless a transfer agreement has been completed between the Structural Engineer and the Contractor.
- All work shall comply with the building codes referenced on these drawings.
- Do not scale drawings. Contact the Architect or Structural Engineer for dimensions not specifically shown.

CODE:

2015 International Residential Code, as amended, altered, or deleted by the provisions of the 9th Edition 780 CMR, Massachusetts Residential Code amendments.

DESIGN LOADS:

- MINIMUM UNIFORM LIVE LOADS AND MINIMUM CONCENTRATED LIVE LOADS:**

OCCUPANCY or USE	UNIFORM	CONCENTRATED
Residential		
One- and two-family dwellings		
Uninhabitable Attic (without storage):	10 psf	N/A
Uninhabitable Attic (with limited storage):	20 psf	N/A
Habitable Attics & Sleeping Areas:	30 psf	N/A
All other areas:	40 psf	N/A
- CONCENTRATED FLOOR LOADS:**

If listed above, the concentrated load shall be used to determine the greatest load effect. Unless otherwise specified, the indicated concentration shall be assumed to be uniformly distributed over an area of 2.5 feet square and located to produce the max. load effects.
- ROOF SNOW LOAD:**

Risk Category:	II
Ground Snow Load, Pg :	30 psf
Snow Load Importance Factor, Is:	1.0
Snow Exposure Factor, Ce:	0.9
Thermal Factor, Ct:	1.1
Flat Roof Snow Load, Pf:	25 psf
Drifting, sliding, and unbalanced snow loads:	Per ASCE-7
Rain loads:	Per ASCE-7
Roof live load:	20 psf MIN
- DEAD LOAD:**

Roof dead load:	20 psf
Elevated Floor dead load:	20 psf
- WIND DESIGN DATA:**

Wind loads have been determined using ASCE-7 Method 1 Simplified Procedure.

Risk Category:	II
Ultimate Wind Speed (3 second gust), Vult:	140 mph
Wind Exposure Category:	X
Internal Pressure Coefficient:	X,XX

Components and Cladding Design Wind Pressure:

Zone	Per ASCE-7	MAX Positive (20 sf)	MAX Negative (20 sf)
1		15.1 psf	37.1 psf
2		15.1 psf	62.0 psf
3		15.1 psf	93.5 psf
4		37.1 psf	40.1 psf
5		37.1 psf	49.5 psf

NOTE: This structure has been designed as an enclosed building as defined in ASCE-7. All exterior wall glazing shall be impact resistant or protected with an impact-resistant covering meeting the requirements of the International Building Code referenced on this sheet.

NOTE: Due to the historic nature of this structure and the requirement to re-build using materials and details which match the original construction this structure does not meet the requirements for the wind loads shown above. The systems meet the capacity of the original construction but do not conform to current code requirements.

WOOD:

- Work shall be in accordance with the applicable American Wood Council, ANSI / AF&PA, "National Design Specification for Wood Construction (NDS)" including "Design Values for Wood Construction", National Forest Products Association.
 - New wood for structural use shall have a moisture content as specified in the "National Design Specification for Wood Construction."
 - Wood construction shall conform to applicable IBC, Chapter and Section for "Conventional Light-frame Construction."
 - Sheathing panels shall be marked with the American Plywood Association (APA) trademark and shall meet the latest U.S. Product Standard PS 1 or APA PRP-108 Performance Standards.
 - All wall sheathing panels shall be 1/2" thick, 32/16 (minimum), APA Rated and all sheathing panel edges shall be blocked, unless otherwise noted. Fasten with 8d common nails spaced at 6"o.c. at panel perimeter supported edges and 12"o.c. at interior intermediate supports (field) with 1 3/8" min. fastener penetration, unless otherwise noted. Lay wall sheathing with long dimension perpendicular to support members.
 - All floor sheathing panels (sub-floor) shall be 3/4" thick, APA Rated Sturd-I-Floor, 48/24 (minimum), T&G, Exposure 1 meeting DOC PS1 or PS2. Sheathing to be glued with adhesives meeting APA Spec. AFG-01 and fastened with 8d common nails spaced at 6"o.c. at panel perimeter supported edges and 12"o.c. at interior intermediate supports (field) with 1 3/8" min. fastener penetration, unless otherwise noted. Lay floor sheathing with long dimension perpendicular to support members and stagger sheathing panels in a row one half panel length with previous row.
 - All roof sheathing panels shall be 5/8" thick [3/4" at flat roofs], 40/20 (minimum), C-D Exterior grade, APA rated Exposure 1 meeting DOC PS1 or PS2. Fasten with 8d common nails spaced at 6"o.c. at panel perimeter supported edges and 6"o.c. at interior intermediate supports (field) with 1 3/8" min. fastener penetration, unless otherwise noted. Lay roof sheathing with long dimension perpendicular to support members and stagger sheathing panels in a row one half panel length with previous row. Support edges of sheathing at roof pitch breaks with blocking.
 - Framing for walls, joists, rafters beams and headers shall be Spruce-Pine-Fir (SPF) No. 1/ No. 2, unless noted. Dimensioned lumber represents nominal sizes. See minimum properties below:
 - Wood exposed to the weather or in contact with concrete or masonry shall be pressure treated (P.T.) Southern Pine No. 1, unless noted. See minimum properties below:
 - Laminated Veneer Lumber (LVL) members shall be 1.9E Trus Joist Microlam LVL as manufactured by Weyerhaeuser or approved equivalent. See minimum properties below:
 - Wood framing shall have the minimum design values:
- | Species / Material | Min. Design Values | | |
|---|--------------------|----------|----------|
| | E (psi) | Fb (psi) | Fv (psi) |
| Spruce-Pine Fir (SPF) No. 1/ No. 2: | 1.4e6 | 875 | 135 |
| Southern Pine (SP) No. 1: | 1.4e6 | 1,100 | 175 |
| Laminated Veneer Lumber (LVL) 1.9E members: | 1.9e6 | 2,600 | 285 |
- Pressure treated (P.T.) wood shall meet the following standards for each condition of use:
- | Condition | Pressure Treatment | Min. Retention | AWPA Category |
|--|--------------------|----------------|---------------|
| | | | |
| Interior Construction: | | | |
| (Wood not exposed to weather, in contact with concrete or masonry) | CCA, ACQ-C,D | .25 | UC2 |
| | CA-B | .1 | UC2 |
| | MCA-C | .05 | UC2 |
| Above Ground, exterior construction: | | | |
| (Beams, joists and stringers not in contact with the ground) | CCA, ACQ-C,D | .25 | UC3B |
| | CA-B | .1 | UC3B |
| | MCA-C | .05 | UC3B |
| Ground Contact, fresh water: | | | |
| (Posts and members exposed to weather and in ground contact) | CCA, ACQ-C,D | .4 | UC4A |
| | CA-B | .21 | UC4A |
| | MCA-C | .15 | UC4A |
- Treated Sheathing
- Chromated Copper Arsenate (CCA), Alkaline Copper Quaternary (ACQ), Copper Azole (CA) and Micronized Copper Azole (MCA)
- Field treat cut ends of P.T. wood with Copper Naphthenate preservative such as Copper-Greene.
- Wood to steel and wood to wood bolted connectors shall be made with ASTM A307 bolts with flat washers. Bolt holes in wood shall be 1/32" larger than the bolt. Wood nailers shall be fastened with (2) rows of 1/2" diameter bolts staggered at 2'-0" o.c. unless otherwise noted.
 - Fastening Schedule:

Plate to Stud, Direct	2-16d
Stud to Plate, Toenail	4-8d

NOTE: SEE APPLICABLE IBC TABLE "FASTENING SCHEDULE" FOR FASTENING/ NAILING REQUIREMENTS NOT SHOWN.

 - The lateral bracing system includes plywood wall and roof sheathing. Contractor shall provide temporary bracing as required to laterally support the structure during construction.
 - Provide lateral support at all bearing points and along compression edges at intervals of 24"o.c. or closer.
 - Minimum section width = 1 3/4". The 3 1/2", 5 1/4", and 7" members may be combinations of 1 3/4" members. Follow manufacturers guidelines for Multiple Member Connections for side loaded beams.
 - Wood Construction Connectors shall be manufactured by Simpson Strong-Tie Co., MITek Industries, Inc. or approved equal and installed in accordance with the manufacturers recommendations.
 - All wood fasteners and hangers in contact with pressure treated (P.T.) and or fire retardant treated (FRT) lumber are to be stainless steel or hot dipped galvanized (min 2.0 oz/ft²). Hangers located in Ocean/Water Front environments shall be stainless steel.

REVISIONS:

**G.B. HOLBROOK HOUSE
- TOWER**

THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY WITH LICENSED/CERTIFIED "HERS" RATER THAT ALL INSULATION VALUES AND INSTALLATION METHODS MEET THE 2015 IECC INTERNATIONAL ENERGY CODE AND THE MASS. STATE ENERGY CODE. ALL TESTING SHALL BE DONE BY A LICENSED / CERTIFIED HER'S RATER.

CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

DESIGNED BY:
GAYN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED RENOVATION FOR:
10 HYANNIS AVENUE
10 HYANNIS AVENUE
HYANNISPORT, MA

G.C. NOTES
SCALE AS NOTED
DRAWN BY: MW
PROJECT: 18-137
DATE: 02-21-20

64.0

G A V I N & S U L L I V A N
A R C H I T E C T S
128 WARREN ST (REAR) LOWELL, MA 01852

Voice: 978-452-3061
Fax: 978-452-4713
Daniel J. Donahue, CSI
John H. Caveney

John F. Sullivan, Jr. AIA
Mark D. Wilcox, ASID

April 15, 2020

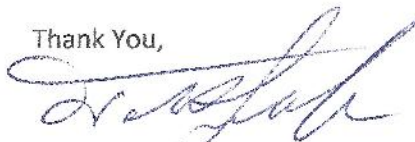
Mr. Dana McCoy
Hyannis Rotary, LLC
500 Clark Road
Tewksbury, MA . 01876

As the architect of record for the Holbrook House Property Renovation, I would like to submit the following report regarding the restoration/replication of the water tower property located at 10 Hyannis Ave., Hyannis port, MA.

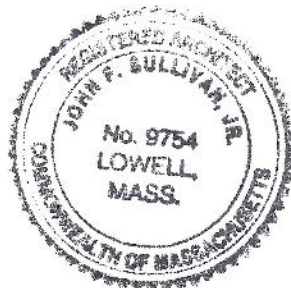
Upon my review of the "Noblin & Associates, LLC report" dated April 19,2019 and my own observations, I can say that it is virtually impossible to repair the existing structure. The existing foundation has failed, leaving the building leaning to the south at an approx. 5 degree angle. In order to repair the structure, the building would have to be moved off the foundation to allow for new pilings and a new foundation system. After consulting with a professional building moving company we have come to the conclusion that the existing building is not stable enough to be moved, based on the amount of rot and structural damage. Also, due to the structural deficiencies, I don't believe that building is safe to work in. I myself have seen roof members collapse while we were studying the structure.

The fact that we are in possession of the original plans leads me to conclude that we will be able to completely replicate this structure, making it Code Compliant while maintaining all of its historic details.

Thank You,



John F. Sullivan Jr. A.I.A NCARB



NOBLIN & ASSOCIATES, LLC
CONSULTING ENGINEERS

Revised: April 19, 2019

March 28, 2019

19.02.059

Gavin & Sullivan Architects
128 Warren Street (Rear)
Lowell, MA 01852

Attn: Mr. John F. Sullivan, Jr., A.I.A.
President
jack@gavinandsullivan.com
(978) 452-3061

Re: Structural Engineering Consultation Services
Miscellaneous Structural Consultation at Water Tower
10 Hyannis Avenue
Hyannis, MA 02601

Dear Mr. Sullivan:

Noblin and Associates, LLC (Noblin) has completed a visual evaluation of the wood framed water tower structure at the above referenced property. Our services included site observations and documentation of the existing water tower structure wood floor and wall framing, exterior sheathing, connections, foundation, etc. as part of the on-going rehabilitation/renovation work currently being performed by E. B. Norris & Son Builders (the Contractor). Please reference the below report for background, observations, recommendations based on our observation.

INTRODUCTION

In accordance with our contract dated February 15, 2019; Noblin has completed a limited review of the water tower structural wood framing, foundation, connections, etc. located at 10 Hyannis Avenue, Hyannis, Massachusetts for Gavin & Sullivan Architects (G&S) of Lowell, Massachusetts. Our consultation services for this Project involved compiling and recording data related to the size, spacing, connection, conditions, etc. of existing wood framed floors and exterior wall framing of the structure as well as existing foundation condition. Included in our evaluation are our field observations, photographic documentation, structural framing and connection conditions, remedial actions and options, and general repair recommendations.

BACKGROUND, EVALUATION GOALS AND METHODOLOGY

The existing water tower is a three (3) story, above grade octagonal structure approximately 38 feet in total height originally constructed in circa 1907. It is our understanding that the structure has been registered as a historical building with the local jurisdiction (Town of Barnstable), the Commonwealth of Massachusetts, and the National Register District in November 1987. As a registered historical building, performing rehabilitation and renovation work is subject to different requirements when compared to new construction or performing rehabilitation/renovation of an existing, non-historic registered, structure. Prior to the building's historic registration, there are significant portions that have been framed with modern, dimensional, lumber. Installation of

dimension lumber is evident throughout exterior walls, floor framing, and the exterior wrap-around balcony and reportedly occurred circa 1970's.

Limited original design drawings were available for Noblin's use with this evaluation. A certified set of architectural design drawings prepared by G&S dated August 3, 2018 were provided to Noblin for review and use during the evaluation.

The intent and goals of this evaluation are as follows:

- Review available, relevant, design drawings of the structure.
- Assess the conditions of exposed structural wood floor and wall framing, exterior wall sheathing, sill plates, connections, etc. throughout all levels of the structure. Included in the assessment is noting local and/or global areas of rot, decay, damage, deterioration, etc. to existing framing members and connections (as described below).
- Assess the conditions of gravity and lateral support connections, continuity of gravity and lateral load path (as described below).
- A complete assessment of the condition of the existing structure foundation was not part of this evaluation. Design of repairs/replacement of the existing structure foundation is contracted with a separate engineering firm (i.e. "by others").
- Provide condition assessment via evaluation report.
- Provide remedial actions and options, and general repair recommendations.
- Meet with G&S to review and discuss our findings, if requested.

DOCUMENTS AND DOCUMENT REVIEW FINDINGS

Original and proposed design documents were supplied by G&S for the water tower structural evaluation. Specific drawings utilized for Noblin's evaluation are as follows:

- A8.0 Water Tower North/South
- A8.1 Water Tower East/West
- A9.0 Floor Plans
- N/A Water Tower for Mr. George B Holbrook
(original construction drawing dated 10/08/07)

The original design drawing indicates the out-to-out exterior wall dimension of the octagonal structure is different at each floor level. Considering the size of each octagon as the diameter of a circumscribed circle (the sides of an octagon fit within the diameter of a circle), the circumscribed diameter of a circle at each floor level are as follows:

- First Floor: 16'-4" diameter
- Second Floor at bottom of exterior wall: 14'-4" diameter
- Second Floor at top of exterior wall: 13'-8" diameter
- Third Floor: 11'-8" diameter

Based upon our review of the original design drawing, the water tower is constructed via platform framing, also known as western framing, wherein the wall construction at each floor level is independently framed from other levels, above and below a given floor level. For this construction method to attain structural continuity (i.e. continuous load path), walls are framed with vertical

members (studs) and horizontal plates at the top and bottom of the wall (top plate and sole plate respectively). All vertical and horizontal framing members are fastened together to distribute vertical (gravity) and lateral (wind/seismic) loads to a foundation. The original drawing, provided for Noblin's use, specifies exterior wall framing as follows:

- First Floor: 4"x8" @ 14" on-center
- Second Floor: 4"x8" @ 14" on-center
- Third Floor: 2"x6" (spacing not specified)

A "curved batter" of the exterior wall is noted at the second floor, beginning at the wrap-around balcony, and terminating at a "belt course" approximately three (3) feet below the roof eave. Means for attaining this curved batter is not specified on the original drawing. However, the second-floor wall framing is detailed with an inward cant (tilt) as the wall rises vertically. Framing of exterior walls at the first level and third level are detailed to be vertical studs. Wall top plates are specified as 4" x 8" at the first and second floor, while a 4"x4" top plate is specified at for the third floor, 2'-8" feet above the eave of the dome roof. A 4"x8" sill plate, where the base of the first-floor wall is in contact with the top of the foundation, is specified on the original drawing. However, sole plates at the second and third floor exterior wall framing were not specified, though representation of such plates are indicated on the drawing.

Capping the water tower is a domed roof with a varying curve (i.e. the radius of the curve does not remain constant). The original drawing does not indicate the framing member sizes that the roof curve is to be constructed of, sheathing or board type to be installed on the exterior, or a weather proof covering to be installed between the covering and shingles (originally specified; currently covered with asphalt shingles). The drawing indicates termination of the dome roof with a nine (9) inch wide eave 2'-8" below the third-floor top plate.

Floor framing at the second and third level is noted to be constructed with wood beams of the same size and spacing; 3" wide by 14" deep spaced at 14" on-center. Drawing plan views at each floor level indicate these beams span in one (1) direction from the northwest to southeast exterior walls. Depth of second floor beams appear to be reduced when extending beyond the exterior first floor wall to support a wrap-around balcony. The amount of reduction to the beam depth is not specified on the original drawing.

The wrap-around balcony at the second floor of the water tower projects approximately three (3) feet horizontally from the outside face of the exterior wall. Sizes and spacing of wood structural support members for the balcony framing have not been specified on the drawing. A detail of the balcony coping indicates an exterior wall of 2"x4" stud construction of unknown spacing. Additional structural framing items such as sheathing and board thickness, door and window headers, etc. have not been specified.

OBSERVATIONS: BUILDING FRAMING AND RELATED COMPONENTS

On March 6, 2019, representatives from Noblin performed a visual evaluation of the wood structural framing of the water tower. Noblin has compiled our observations in to three (3) separate categories; (1) First Floor, (2) Second Floor & Balcony, (3) Third Floor & Roof. While on-site, the following observations were noted:

First Floor

- Observable mechanical fasteners currently installed were observed to be a form of carbon steel (i.e. plain steel and/or galvanized), not stainless steel.
- One (1) second floor support beam was observed to be discontinuous, not headed off, at the floor opening for stairway access.
- Several exterior wall studs have visible signs of water damage and are deteriorated and/or rotted.
- Supplemental wood framing of varying sizes has been installed on the interior of the structure forming a post-and-beam octagon frame. Approximate 4x8 columns are located at each corner of the octagon shape exterior wall and support an approximate 4x8 beam that spans between from each column. This beam is capped with a double 2x4, which are in contact with the bottom of the second-floor floor beams. In one (1) location, the 4x4 column is discontinuous; a single 2x8 has been installed and partially supported at the base.
- Supplemental wood framing has been sistered on all exposed second-floor support beams. This supplemental framing has been installed sporadically and is not continuous. Fastening to existing wood floor beams is not consistent and questionable as where beams are supported on first floor wall top plates due to deterioration.
- Several second-floor support beams and first-floor exterior wall top plates have visible signs of water damage, deterioration and/or rotting. Noblin performed a penetration test via a Philips head screw driver and was able to penetrate the full shank length of the tool in to the deteriorated/rotted wood material.
- Existing second floor beams cantilever, extend beyond the first-floor exterior wall to support the balcony, and were observed to be severely deteriorated and/or rotted. Supplemental 2x6 (nominal) framing has been installed in these locations with blocking and mechanical attachments.
- Flooring appears to be ceramic tile in good to fair condition; approximate two (2) inch diameter holes are located sporadically throughout the floor.
- Mechanical attachments were not observed connecting exterior walls to floor beams.

Second Floor & Balcony

- Observable mechanical fasteners currently installed were observed to be a form of carbon steel (i.e. plain steel and/or galvanized), not stainless steel.
- Several exterior wall studs have visible signs of water damage and are deteriorated and/or rotted. In one (1) instance, a wall stud was able to be fully separated from the wall top plate and sole plate.
- Several third-floor support beams and second floor exterior wall top plates have visible signs of water damage, deterioration and/or rotting. Noblin performed a penetration test via a Philips head screw driver and was able to penetrate the full shank length of the tool in to the deteriorated/rotted wood material.
- Exterior wall boarding appears to be ¾" thick tongue and groove boards installed at an approximate 45° angle. Areas of water staining, and full deterioration/rotting of wall boards is evident in several locations.
- Sole plates for the exterior wall studs appear to be new and made of pressure treated 2x6; plates are installed in sections between wall studs with no observable mechanical connection to the floor.

- One (1) third floor support beam was observed to be discontinuous, not headed off, at the floor opening for stairway access.
- Several third-floor exterior wall studs, as observed from the second floor, are not fully bearing on the third-floor exterior wall sole plate and have been split in to multiple sections below the flooring; no mechanical fasteners or attachments were observed.
- At the window opening on the southern wall, the exterior wall top plate has been modified and a steel plate installed. There is severe deterioration to structural wood framing, exterior board sheathing, and the steel plate in this area.
- The wrap-around second floor balcony is in poor to failed condition. Several exterior railing posts, board sheathing, and diagonal support at the balcony underside are severally deteriorated and rotted. Adhesive bonding the layers that compose plywood sheathing have failed; layers have partially and/or fully separated.
- Flooring appears to be composed of three (3) components; (1) $\frac{3}{4}$ " thick finish flooring, top layer; (2) $\frac{3}{8}$ " thick plywood, middle layer; (3) $\frac{3}{4}$ " thick tongue and groove board (bottom layer).
- Mechanical attachments were not observed connecting exterior walls to floor beams.

Third Floor & Roof

- Observable mechanical fasteners currently installed were observed to be a form of carbon steel (i.e. plain steel and/or galvanized), not stainless steel.
- Four (4) portal windows, approximately 2'-1 $\frac{1}{2}$ " diameter, are installed on four (4) of the third-floor exterior walls. In each instance, headers, jack studs, king studs, etc. are not installed at the windows.
- Approximate 1x3 kiln-dried (KD) wood strips have been sistered to the existing dome roof beams fastened with headed nails sporadically spaced.
- Dome roof beams appear to be 1 $\frac{3}{4}$ " thick wood beams, trimmed to attain the curvature of the roof. Overall, wood members appear to be in good to fair condition.
- Top plate supporting dome roof framing was observed to be two (2) 1 $\frac{3}{4}$ " thick by 3 $\frac{5}{8}$ " deep wood members. Mechanical connection of the dome roof beams to the double top plate were not observed.
- Below the top plate, vertical wall studs appear to have a "wedge" installed to attain the desired curved batter of the exterior stucco finish. Overall, the condition of these wedges is fair to good. No mechanical connection securing wedges to vertical wall studs was observed.
- A metal cross plate is installed on the underside of dome roof framing beams at the pinnacle (where all dome roof members meet). This plate was observed to be severely deteriorated with areas of full section loss.
- Exterior wall boarding appears to be $\frac{3}{4}$ " thick tongue and groove boards installed at an approximate 45° angle. Areas of water staining, and full deterioration of wall boarding is evident in several locations.
- Wall studs appear to be recently installed and composed of nominal 2x6 pressure treated (PT) wood. Spacing of wall studs is approximately 1'-7 $\frac{3}{8}$ " on-center.
- Windows appear to be headed with a nominal 4x8 wood beam with nominal 2x6 PT jack studs installed for support. Blocking of jack studs was not observed.
- Roof tension/compression ring was observed to have questionable connections for intended purpose.

- Flooring appears to be composed of three (3) components; (1) ¾" thick finish flooring, top layer; (2) ⅜" thick plywood, middle layer; (3) ¾" thick tongue and groove board (bottom layer).

OBSERVATIONS: BUILDING FOUNDATION

On March 6, 2019, representatives from Noblin performed a visual evaluation of the mass masonry and concrete foundation. While on-site, the following observations were noted:

Foundation

- The existing foundation appears to be mass masonry (brick) with a coating of cementitious material (i.e. concrete) installed the full height at the outer surface, in contact with the surrounding soil. Overall condition of the materials is poor to failed.
- A noticeable tilt to the southwest of the entire structure was observed (i.e. building is no longer plumb). The tilt of the building is occurring in the direction where local excavation of the existing foundation has been performed by others.
- Between existing first floor exterior wall framing, concrete blocks have been installed in the space between wall studs. These blocks appear to be supporting a perimeter brick shelf that has been installed at the first floor in the interior of the building.
- Rotting/decaying vegetative growth and wood sill plate was observed at the top of the foundation, at the interface of the first-floor exterior wall.
- No mechanical connections securing the exterior wall to the foundation at the first-floor sill plate were observed.
- First floor wood sill plates, in contact with the top of the existing foundation, were observed to be rotted and/or deteriorated.

DISCUSSIONS & GENERAL RECOMMENDATIONS

The focus and goal of this evaluation was to assess the condition of the existing water tower structure wood floor and wall framing, exterior sheathing, connections, foundation, etc. as part of the on-going rehabilitation/renovation work currently being performed by the Contractor. Based on Noblin's observations, there are several deficiencies to the gravity and lateral force resisting systems.

As described above, several of the second and third floor beam ends are severely deteriorated and/or rotted and are no longer providing full structural support to the gravity and lateral load resisting system. This condition was also observed at the top plates and studs of several exterior walls of the structure. In at least one (1) location, an exterior wall top plate and stud has deteriorated to the point that the wall stud can be easily removed. There are several inconsistencies with the exterior walls when framing is carried around openings (i.e. windows and doors). At the portal windows, no header, jack stud, or king stud has been installed to provide a continuous load path around the circular window. A lack of conventional jack and king studs is also typical at rectangular window openings and doors throughout the building.

Furthermore, mechanical connections were observed connecting wall studs and floor beams or their respective top plate and sole plate, as well as a lack of full bearing of the exterior wall studs on sole plates was not observed in all instances. No mechanical connection was evident at the

third-floor exterior walls, where vertical “wedges” have been installed at the exterior wall boards to create the curve batter of the building. The lack of mechanical connections and structural load path continuity pose a serious risk to the building and its occupants. This discontinuity includes the independent resistance to gravity and lateral loads, as well as the combined effects of such loads.

For any building used for personal occupancy, the objective in designing a gravity and lateral support system is to protect the health, safety, and welfare of its occupants. For light-framed construction, the whole building system is an interconnection of several separate parts such as shear walls, diaphragms, and floor beams/joists. A key component of a viable design is to provide a continuous load path from the roof down through shear walls and floor diaphragms into the foundation, and thus the soil. When shear walls are not constructed directly on-top-of each other, as is the case with the water tower, this becomes particularly challenging and necessitates hardware and engineer specified details to “drag” forces to other parts of the structure that are designed to resist those forces. A poorly and/or deteriorated foundation will also be subject to differential settlement, which is currently occurring.

For Massachusetts, design of residential construction is under the authority of Massachusetts State Building Code, Ninth Edition, Residential Volume (780 CMR 51.00). This code “adopts and incorporates by reference the *International Residential Code, 2015* (“IRC”)” to which the Board of Building Regulations and Standards (BBRS) has provided modifications, exceptions, and/or additions. It is Noblin’s understanding that the water tower has been designated a historic building in circa 1987 with several entities described above. When performing construction work on historic residential buildings, 780 CMR 51.00 requires the parameters defined in the *Existing Building Code* (780 CMR 34.00) be followed. Also, due to the specified wind loading of 140 miles per hour, the wind load provisions of 780 CMR 51.00 cannot be utilized for design and engineering of purposes (reference 780 CMR 51.00 R301.2.1.1).

When performing repairs on a historic building, the provision of 780 CMR 34.00 permit the use of original or in-like-kind materials and construction methods. No work beyond what is required to remedy a dangerous condition, as determined by the code official, is required. Therefore, structural augmentation of existing wall studs, floor framing, etc. need not exceed that which is required to remove an unsafe condition. Per the provision of IEBC Chapter 12, “historic buildings shall comply with the applicable structural provisions for the work as classified in [IEBC] Chapter 5.” This chapter of the IEBC applies to the “alteration, repair, addition and change of occupancy of existing structures, including historic.” Based on the classification and expected level of work to be performed on the building, Noblin anticipates the work to fall under an Alterations – Level 3, which requires new structural elements to fully comply with the requirements of the International Building Code, 2015 (IBC). This includes the new structural elements connection and anchorage to the existing structure framing.

A building can be salvaged after experiencing moderate deterioration, insect infestation, settlement, etc. to the foundation, walls, floors, and roof. In many instances, the process for salvaging the building involves the full replacement of the section of the effected portion of the building (i.e. full exterior wall replacement between floors) at a substantial cost. However, based on our site observations Noblin believes that substantial structural augmentation, integrating old framing with new, and providing positive mechanical connections will be required as part of the repair work to have the building serviceable and safe. There is a lack of mechanical connection between the gravity and lateral support systems, several floor beams and vertical wall members

are deteriorated beyond repair, a lack of load path continuity, and no observable mechanical connection of the cladding to the wall framing. In addition to the anticipated structural augmentation, there will likely be significant difficulty in re-attaining a plumb structure. Noted in our observations, the building has an observable tilt from vertical due to settlement of the foundation. To renovate the building of this construction method back to a safe vertical state, will likely take considerable and detailed construction means and methods including, but not limited to, non-standardized vertical framing (i.e. each exterior wall stud is a different length and installed in a specific location on the building).

As such, Noblin recommends that consideration be given to a full replacement of the existing building with new materials upon a new, properly designed foundation; matching the exterior appearance in-like-kind. This may be the most effective and efficient path forward for this project regarding engineering and construction costs.

We trust this evaluation report and general repair recommendations suit your needs at this time. Please do not hesitate to contact us if you require additional information regarding this project.

Sincerely,
NOBLIN & ASSOCIATES, LLC



Marc Khederian, P.E.
Senior Project Manager



Charles J. Galluzzo, E.I.T.
Staff Engineer

Attachment A Observation Photographs
Attachment B Water Tower Drawings

X:\Documents\2019\19.02.059.0 - 10 Hyannis Ave Water Tower\01 Evaluation\Report\19.02.059 - 10 Hyannis Ave Water Tower.docx



Overall structure elevation looking west with noticeable tilt to the southwest



**Typical deteriorated/rotted end of second floor support beam
at first floor exterior wall top plate**



Typical second floor supplemental support framing with sporadically fastened, sistered floor beams; no mechanical fasteners connecting supplement interior framing



First floor supplemental framing with discontinuous column framing; no mechanical fasteners securing column base to foundation



**Typical deteriorated first floor sole plate at exterior wall (in contact with foundation);
no mechanical fasteners connecting sole plate to foundation**



**Typical deteriorated second floor beam end
supported on supplemental interior framing**



Typical deteriorated cantilever support beam for wrap-around exterior balcony at first floor exterior wall top plate (underside)



Typical second floor balcony supplemental cantilever framing attachment and support



Third floor beam with evidence of insect infestation and bearing failure at second floor exterior wall top plate; deterioration/rotting visible along top plates



Second floor exterior wall framing with visible water staining, rot & crushing of top plate



**Typical second floor exterior wall stud rot/deterioration
at sole plate of second floor exterior wall**



**Typical second floor exterior wall stud and wall board
with evidence of staining and deterioration**



Typical second floor wall top plate & third floor beam with rot/deterioration at exterior wall support top plate; no mechanical fasteners observed or no longer engaging framing



Typical second floor wall stud fully separated top plate; no longer providing support to gravity load resisting system



Typical discontinuous second floor exterior wall sole plate joint with no mechanical attachment observed



Typical third floor support framing with discontinuous header at stair opening framing at third floor



**Typical third floor exterior wall stud and “wedge” not fully supported;
mechanical fastening of wedges to studs not observed**



Rotted/deteriorated steel plate and wood top plate installed at second floor exterior wall



**Typical second floor wrap-around balcony sheathing and supports;
constructed with dimensional lumber**



**Typical rotted/deteriorated second floor wrap-around balcony board sheathing
and exterior railing post; constructed with dimensional lumber**



Typical underside of second floor wrap-around balcony with failed sheathing (layers separating); constructed with dimensional lumber



Typical second floor wrap-around balcony with separation of sheathing from diagonal support; constructed with dimensional lumber



Typical third floor exterior wall framing at portal window; no jack or king studs installed (discontinuous gravity load path); constructed with dimensional lumber



Typical third floor board sheathing with visible water staining and deterioration; constructed with dimensional lumber



Typical existing (original) dome roof framing with visible water staining at third floor



Visible discontinuous bridging at dome roof eave at third floor exterior wall framing



**Typical dome roof framing support at double top plate at third floor exterior wall;
no mechanical fasteners observed**



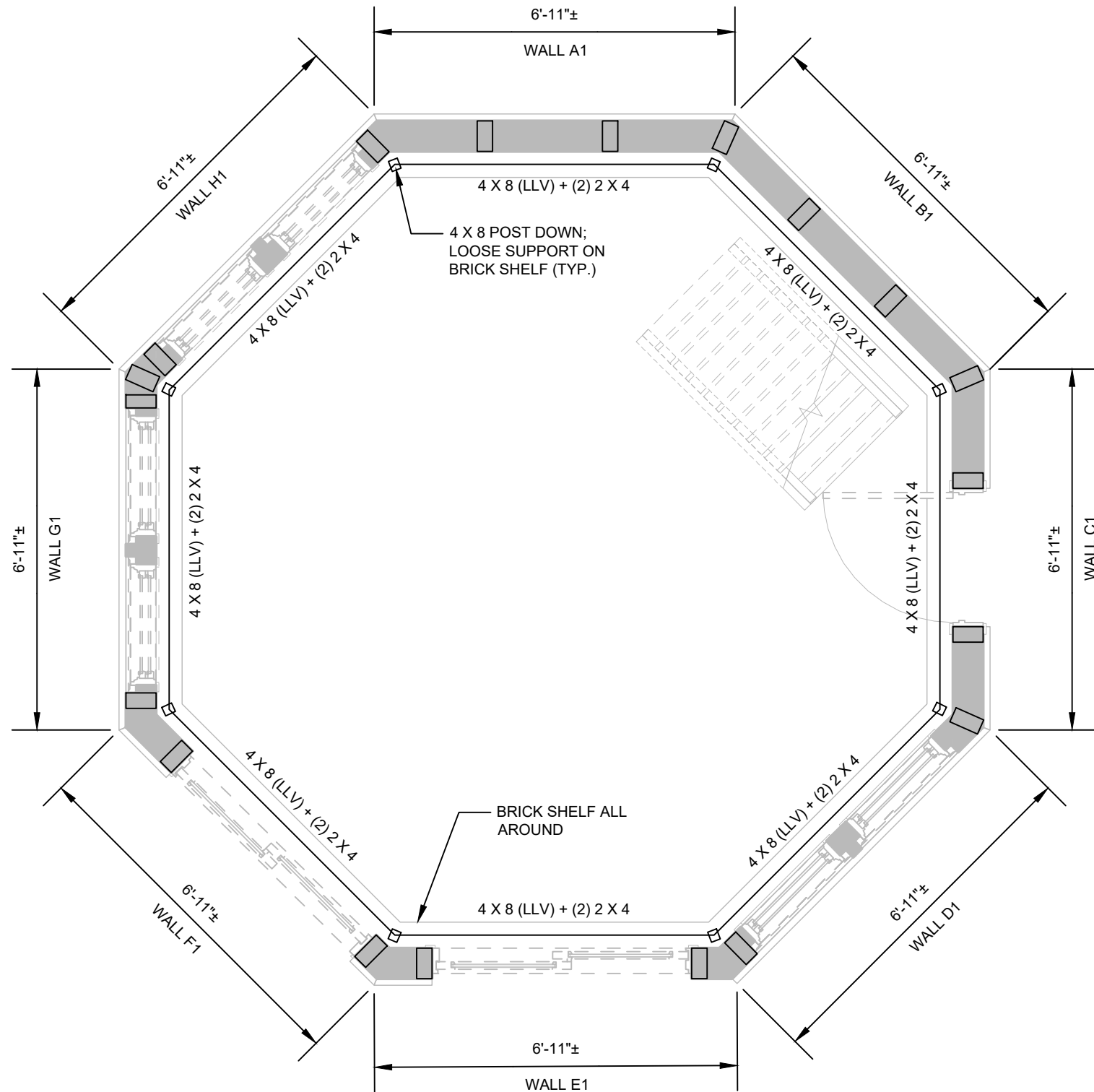
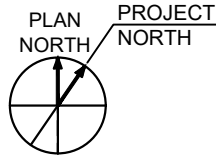
**Typical dome roof framing curvature and board sheathing
with visible signs of water staining**



**Typical third floor window header and tension/compression ring wood framing;
tension/compression ring framing secured with carbon steel fasteners**



Typical third floor window sill framing



PLAN: FIRST FLOOR AS-BUILT
SCALE: 3/8" = 1'-0"

NOTES:

1. THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
2. REFERENCE NOBLIN & ASSOCIATES, LLC EVALUATION REPORT, DATED , FOR EXISTING CONDITIONS OF STRUCTURAL FRAMING MEMBERS.
3. REFER TO DRAWING SB-04 TO SB-06 FOR WALL FRAMING ELEVATIONS.

NOBLIN & ASSOCIATES, LLC
CONSULTING ENGINEERS

4 FIRST STREET
BRIDGEWATER, MA 02324
PHONE (508) 279-0655
6 MERRILL INDUSTRIAL DRIVE, UNIT 10
HAMPTON, NH 03842
PHONE (603) 740-9400

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PROJECT
STRUCTURAL ENGINEERING CONSULTATION
EXISTING WATER TOWER
10 HYANNIS AVENUE
HYANNIS, MA 02601

OWNER
GAVIN & SULLIVAN ARCHITECTS
128 WARREN STREET
LOWELL, MA 01852

NO.	NOTE	DESCRIPTION	BY

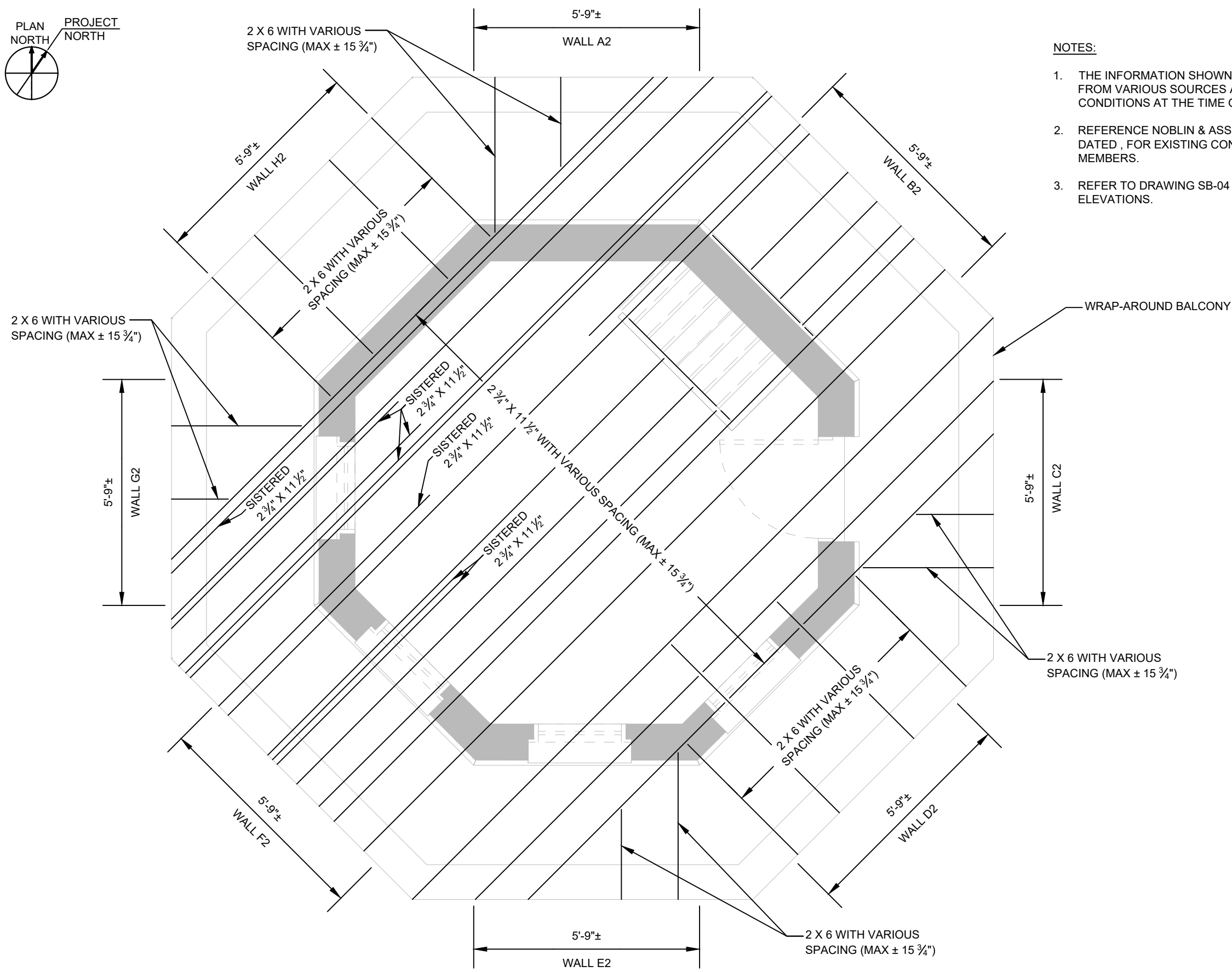
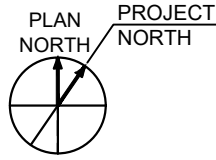
PROJECT NO.	19.02.059
CADD FILE	19.02.059-XS.dwg
DESIGNED BY:	MNK/CJG
DRAWN BY:	JNL
CHECKED BY:	MNK
DATE:	03/28/2019
DRAWING SCALE	3/8" = 1'-0"

GRAPHIC SCALE

SHEET TITLE

**FRAMING PLAN
FIRST FLOOR**

DRAWING NO.	XS-01
	1 OF 6



NOTES:

1. THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
2. REFERENCE NOBLIN & ASSOCIATES, LLC EVALUATION REPORT, DATED , FOR EXISTING CONDITIONS OF STRUCTURAL FRAMING MEMBERS.
3. REFER TO DRAWING SB-04 TO SB-06 FOR WALL FRAMING ELEVATIONS.

NOBLIN & ASSOCIATES, LLC
CONSULTING ENGINEERS

4 FIRST STREET
BRIDGEWATER, MA 02324
PHONE (508) 279-0655
6 MERRILL INDUSTRIAL DRIVE, UNIT 10
HAMPTON, NH 03842
PHONE (603) 740-9400

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PROJECT
STRUCTURAL ENGINEERING CONSULTATION
EXISTING WATER TOWER
10 HYANNIS AVENUE
HYANNIS, MA 02601

OWNER
GAVIN & SULLIVAN ARCHITECTS
128 WARREN STREET
LOWELL, MA 01852

NO.	NOTE	DESCRIPTION	BY

PROJECT NO.	19.02.059
CADD FILE	19.02.059-XS.dwg
DESIGNED BY:	MNK/CJG
DRAWN BY:	JNL
CHECKED BY:	MNK
DATE:	03/28/2019
DRAWING SCALE	3/8" = 1'-0"

GRAPHIC SCALE

SHEET TITLE

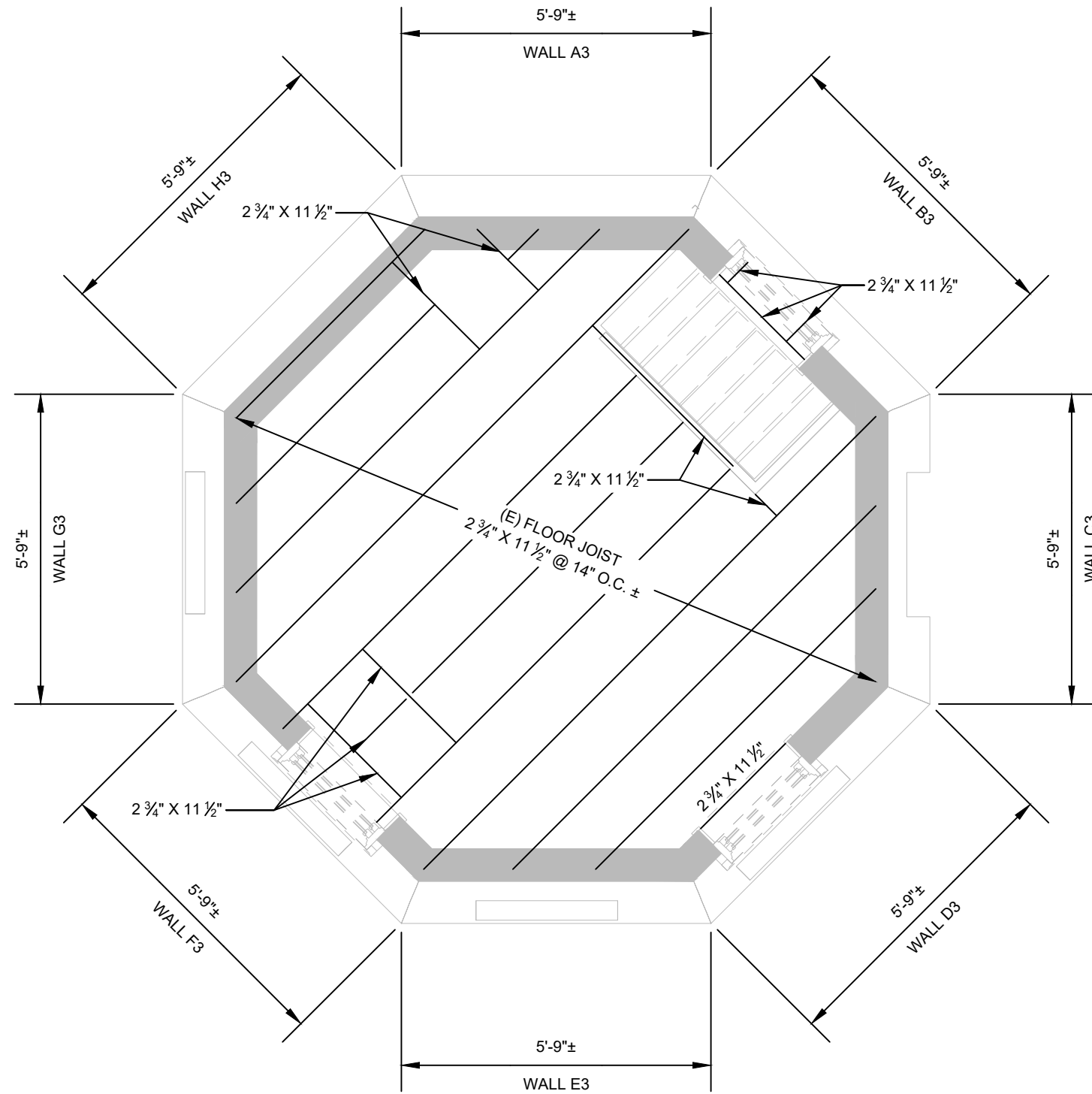
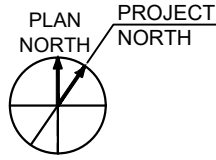
**FRAMING PLAN
SECOND FLOOR**

DRAWING NO.

XS-02

2 OF 6

PLAN: SECOND FLOOR AS-BUILT
SCALE: 3/8" = 1'-0"



○ PLAN: THIRD FLOOR AS-BUILT
SCALE: 3/8" = 1'-0"

NOTES:

1. THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
2. REFERENCE NOBLIN & ASSOCIATES, LLC EVALUATION REPORT, DATED , FOR EXISTING CONDITIONS OF STRUCTURAL FRAMING MEMBERS.
3. REFER TO DRAWING SB-04 TO SB-06 FOR WALL FRAMING ELEVATIONS.

NOBLIN & ASSOCIATES, LLC
CONSULTING ENGINEERS

4 FIRST STREET
BRIDGEWATER, MA 02324
PHONE (508) 279-0655

6 MERRILL INDUSTRIAL DRIVE, UNIT 10
HAMPTON, NH 03842
PHONE (603) 740-9400

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PROJECT
STRUCTURAL ENGINEERING CONSULTATION
EXISTING WATER TOWER
10 HYANNIS AVENUE
HYANNIS, MA 02601

OWNER
GAVIN & SULLIVAN ARCHITECTS
128 WARREN STREET
LOWELL, MA 01852

NO.	NOTE	DESCRIPTION	BY

PROJECT NO.	19.02.059
CADD FILE	19.02.059-XS.dwg
DESIGNED BY:	MNK/CJG
DRAWN BY:	JNL
CHECKED BY:	MNK
DATE:	03/28/2019
DRAWING SCALE	3/8" = 1'-0"

GRAPHIC SCALE

SHEET TITLE

FRAMING PLAN
THIRD FLOOR

DRAWING NO.

XS-03

3 OF 6

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PROJECT
STRUCTURAL ENGINEERING CONSULTATION
EXISTING WATER TOWER
10 HYANNIS AVENUE
HYANNIS, MA 02601

OWNER
GAVIN & SULLIVAN ARCHITECTS
128 WARREN STREET
LOWELL, MA 01852

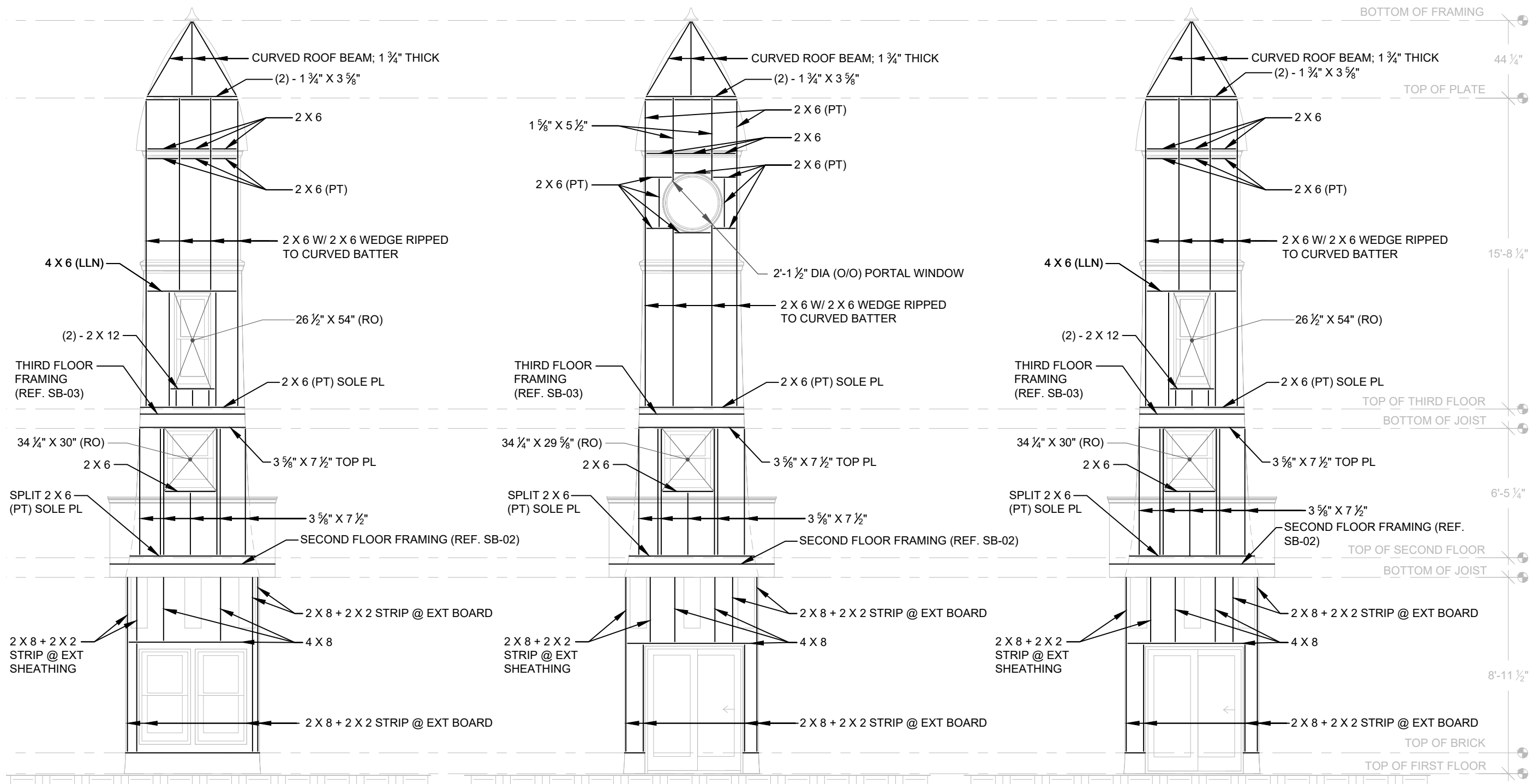
NO.	NOTE	DESCRIPTION	BY

PROJECT NO.	19.02.059
CADD FILE	19.02.059-XS.dwg
DESIGNED BY:	MNK/CJG
DRAWN BY:	JNL
CHECKED BY:	MNK
DATE:	03/28/2019
DRAWING SCALE	3/8" = 1'-0"
GRAPHIC SCALE	

SHEET TITLE

FRAMING ELEVATION
SHEET 2 OF 3

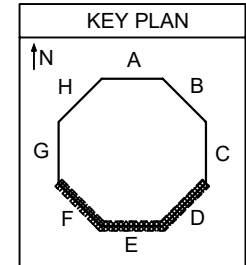
DRAWING NO.	XS-05
5 OF 6	



D ELEVATION: WALL - D
SCALE: 3/16" = 1'-0"
LOOKING NORTHWEST

E ELEVATION: WALL - E
SCALE: 3/16" = 1'-0"
LOOKING NORTH

F ELEVATION: WALL - F
SCALE: 3/16" = 1'-0"
LOOKING NORTHEAST



NOTE:
1. EXISTING WALL STUDS EQUALLY SPACED
ALONG EXTERIOR WALL TOP PLATE AND SOLE
PLATE UNLESS NOTED OTHERWISE.



April 17, 2020

Performance Building Company
Attn: Mr. Jim McClutchy
11 Alpha Road
Chelmsford, MA 01824

**Re: 10 Hyannis Avenue
Hyannisport, MA**

Mr. McClutchy,

As requested, we have visited the Light House building located at 10 Hyannis Avenue in Hyannisport, MA. The purpose of our visit was to review the condition of the existing structure.

It is our understanding that the building was originally used as a water tower but has been unused for several years now. The foundation has failed and needs to be replaced.

In order to rebuild the foundations, it will be necessary to move or rebuild the superstructure.

Our initial objective, when reviewing the structure, was to determine if the structure could be moved or rebuilt utilizing the existing timber framing with minimal replacement or reinforcing. However, based on our observations and calculations, we do not feel that the existing structure is adequate for reuse. The existing building is in very poor shape, with numerous failing or failed components. We do not believe that the building could be safely moved as an intact structure.

Due to its close proximity to the ocean coastline, it has been exposed to many years of harsh environment. The heavy winds and marine air have taken their toll on the building. In addition, our calculations show that the current structure, even at full capacity, is inadequate for current building code loads. In our opinion, there is no practical way to reinforce the existing structure for the substantial wind loads at that location.

It is our recommendation that the superstructure be rebuilt utilizing new framing and designed for current code requirements. The new building will still look like the original light tower but will be a much safer structure.

Sincerely,
TFMoran, Inc.

Thomas E. Lamb, P.E.
Senior Structural Project Manager

Paul E. Sbacchi, P.E.
Chief Structural Engineer



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
AMENDMENT / ADVISORY DETERMINATION**



Instructions: This page must bear the applicant's original signature and must be dated. NPS Project Number
40331

1. **Property Name** George Benson (G.B.) Holbrook House
Property Address 10 Hyannis Avenue, Hyannis Port, MA 02601

2. **This form** includes additional information requested by NPS for an application currently on hold.
 updates applicant or contact information.
 amends a previously submitted Part 1 Part 2 Part 3 application.
 requests an advisory determination that phase ____ of ____ phases of this rehabilitation meets the Secretary of the Interior's Standards for Rehabilitation. Phase completion date _____ Estimated rehabilitation costs of phase (QRE) _____

Summarize information here; continue on following page if necessary.

Amendment #2: Windows + the lighthouse

3. **Project Contact** (if different from applicant)
Name Mary Nastasi **Company** MacRostie Historic Advisors LLC
Street 313 Washington Street, Suite 308 **City** Newton **State** MA
Zip 02458 **Telephone** (617) 531-7160 **Email Address** mnastasi@mac-ha.com

4. **Applicant**
I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
Name Dana McCoy **Signature** (Sign in ink) *Dana McCoy* **Date** 12-30-19
Applicant Entity Hyannis Rotary LLC **SSN** _____ **or TIN** 46-1334871
Street 500 Clark Road **City** Tewksbury **State** MA
Zip 01876 **Telephone** (978) 858-0321 **Email Address** dana@sch-cpa.com
 Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed this amendment to the Historic Preservation Certification Application and has determined that the amendment:

- meets the Secretary of the Interior's Standards for Rehabilitation.
- will meet the Secretary of the Interior's Standard for Rehabilitation if the attached conditions are met.
- does not meet the Secretary of the Interior's Standards for Rehabilitation.
- updates the information on file and does not affect the certification.

Advisory Determinations:

- The National Park Service has determined that the work completed in this phase is consistent with the Secretary of the Interior's Standards for Rehabilitation. This determination is advisory only. A formal certification of rehabilitation can be issued only after all rehabilitation work and any associated site work or new construction have been completed. This approval could be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. A copy of this form will be provided to the Internal Revenue Service.

4/14/2020 **Date** *[Signature]* **National Park Service Authorized Signature (Sign in ink)**

NPS conditions or comments attached



HISTORIC PRESERVATION CERTIFICATION APPLICATION
STATE HISTORIC PRESERVATION OFFICE
REVIEW & RECOMMENDATION SHEET
REHABILITATION - PART 2 / PART 3



SECTION 1. APPLICATION INFORMATION

PROJECT NUMBER 40331

Property Name George Benson (G.B.) Holbrook House

Property Address 10 Hyannis Avenue, Hyannis Port, MA 02601

Certified Historic Structure (select one) Yes Pending

Part 2

- Preliminary (date)
- Applying for state tax credit

Part 3 (Part 2 previously reviewed)

- Completed rehabilitation work conforms to work previously approved
- Completed rehabilitation work differs substantively from work previously approved (describe divergences from Part 2 scope of work in Section 5)

Part 3 (Part 2 not previously reviewed)

Amendment (pt. 2) (#3)

Advisory determination that a phase meets the Standards

Property visited by State staff (dates): Before _____, during _____, and/or after _____ rehab

SHPO REVIEW SUMMARY

- No outstanding concerns
- In-depth NPS review requested
- Applicant informed of SHPO recommendation

Date application received by SHPO 3/23/2020

Date(s) additional information requested by SHPO _____

Date complete information received by SHPO _____

Date of transmittal to NPS 4/7/20

SECTION 2. APPLICATION MATERIALS

Sent previously Photographs Other (list)

Attachments Photographs Rolled plans Flat plans, large size Flat plans, 11" x 17" or smaller Other (list)

Sent separately Photographs Rolled plans Flat plans, large size Flat plans, 11" x 17" or smaller Other (list)

Documentation remaining on file in SHPO (e.g., masonry repointing samples, specifications)

SECTION 3. SHPO RECOMMENDATION

LINDA SANTORO

who meets the Secretary of the Interior's Professional Qualification Standards has reviewed this application.

The rehabilitation work (select only one):

- meets the Standards.
- meets the Standards with concerns.
- meets the Standards *only* if the attached conditions are met (Part 2 only).
- does not meet Standard number(s) _____ for the reasons described in Section 5.
- does not meet Standard number(s) _____ as completed, but could be brought into conformance with the Standards if the remedial work recommended in Section 5 is completed (Part 3 only).
- warrants denial for lack of information.
- is being forwarded without recommendation.

4/7/20

Date

Brona Simon SHPO

State Historic Preservation Office Signature

This is a review sheet only and does not constitute an official certification of rehabilitation.



TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

BARNSTABLE Town Clerk Stamp
TOWN CLERK

20 FEB 21 P2:59

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 2/19/20 Full Demotion Partial Demolition

Building Address: 58 WIANNO AVENUE
Number Street

Osterville 02655 Assessor's Map # 141 Assessor's Parcel # 003
Village ZIP

Property Owner: JEFFREY KASCHULUK 508-317-2547
Name Phone#

Property Owner Mailing Address (if different than building address) PO BOX 865
OSTERVILLE, MA 02655

Property Owner e-mail address: JEFFREY@WESTBAYDI.COM

Contractor/Agent: N/A

Contractor/Agent Mailing Address: N/A

Contractor/Agent Contact Name and Phone #: N/A
Name Phone #

Contractor/Agent Contact e-mail address: N/A

Demolition Proposed - please itemize all changes:
See attached narrative.

Type of New Construction Proposed: See attached narrative.

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1869 Additions Year Built: _____

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No Yes *"not contributing"*

[Signature]
Property Owner/Agent Signature



Relocation and Repurposing of 58 Wianno (historic portion only):

The applicant to physically relocate the original house from the site, and place on a new site nearby. Therefore the demolition of this structure will be limited to the additions and the portions of the house that have deteriorated beyond repair. The front porch and single story lean-too roof over a portion of the kitchen will be removed and reconstructed at a later date. The attached 2-car garage will be razed and removed. Similarly, the second floor will need to be removed and rebuilt at the home's new location. The roofing, roof sheathing and some members of the roof framing are in very poor condition and will not survive a move nor will they be adequate when the home is repurposed. The two existing chimneys will be removed as these are single width of brick and not practical to reuse. Please note, the applicant will also seek appropriate permits from the Town of Barnstable Building Department for the relocation and reuse of the small cottage on the property known as 29 West Bay Road.

Relocation and Repurposing of 554 Wianno (excludes existing 3-car garage):

The applicant proposes to carefully disassemble the old Phelps Residence (*aka - The Beacon*) and relocate the house to a new location at 58 Wianno Ave. This application is therefore dependent on approval of the applicant's Notice of Intent Application at that address. The applicant will remove the porch structures, the chimneys and other non-significant features of the house. Please see the color-coded site plan attached to this application. The applicant proposes to remove and restore certain artifacts of the old house such as old true divided-light windows, French doors, and transom windows to be repurposed inside the reconstructed house. This effort will continue on the inside of the house where portions of the center stairs, newel posts, balustrades and other millwork will be salvaged, restored and repurposed. The house will need to be separated into several sections so that it can be transported 5,200 feet or 0.99 miles to its new home where it will be carefully reassembled. It is proposed that the ocean-facing front façade of Phelps House will be turned to front on Wianno Ave. The elevation currently viewed from Wianno Ave will then face West Bay Road. Please note the existing 3-car garage is not part of this application and will remain at 554 Wianno Ave. The history of this house will soon be improved and continued; it will become public and accessible and add historic character to the center of the village.



FORM B - BUILDING

141/003

MASSACHUSETTS HISTORICAL COMMISSION
80 BOYLSTON STREET
BOSTON, MA 02116

AREA 141/3 FORM NO. 018
BRN 2056
OV3 BRN 2056
47E1



Town Barnstable (Osterville)
Address 59 Wianno Ave
Historic Name Watson Adams

Use: Present residence
Original residence

DESCRIPTION
Date 1869
Source Registry of Deeds
Style Greek Revival
Architect unknown

Exterior Wall Fabric clapboard and shingle
Outbuildings garage

Major Alterations (with dates) 1885 - eel, 1889 - bay

Condition good

Moved no Date -

Acreage .41

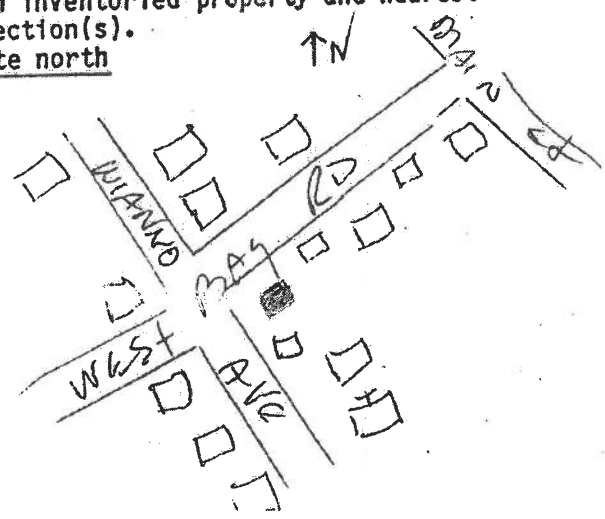
Setting Just inside village business area across from the library, post office and a bank.

Recorded by Barbara Crosby

Organization Barnstable Historical Com

Date 1993 revised 1998

Sketch Map: Draw map showing property's location in relation to nearest cross streets and/or geographical features. Indicate all buildings between inventoried property and nearest intersection(s). Indicate north



UTM REFERENCE 18UJG 14 1999

USGS QUADRANGLE MASS. HIST. COMMISSION

SCALE 1 inch = 100 feet

BRN 2056

NATIONAL REGISTER CRITERIA STATEMENT (if applicable)

ARCHITECTURAL SIGNIFICANCE Describe important architectural features and evaluate in terms of other buildings within the community.

This is a two and a half story Greek Revival house under a steeply angled roof, gable end to the west three bays wide. On this west end the principal entrance is to the north. On the south side of the gable is a two story bay extending about two feet toward the street. At the east end of the house is a two story gabled extension with peak lower than the main house. This has an open porch with square column across the south side, and an enclosed shed roof on the east side. Beyond this to the north is a one story passage extending to a gabled two story garage with two car doors facing east. The exterior is shingle, the roof composition shingle with two thin brick chimneys at the peaks of the main house and the east wing.

HISTORICAL SIGNIFICANCE Explain the role owners played in local or state history and how the building relates to the development of the community.

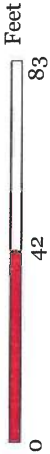
Watson F. Adams 1842-1903 went to sea as a youth serving in 1863 on the schooner "Lewis Spanier", Capt. Enoch Lewis of Centerville, when it was lost off the Jersey coast and also on the schooners "Hickman", "Pennsylvania" and "GL". He served in the Civil War and was an active member of the Charles Chipman Post, GAR of Sandwich for many years. In 1865 he married Susan West 1848-1901, daughter of Capt. Nathan E. West 1822-1913, the most reknowned sea captain of the village. He bought land in 1869 from Clarissa Lovell 1790-1870 and built this house. He did not register the deed until 1878 when he registered 12' of land on the west side of the property that he purchased from Clarissa Lovell's family after her death. His second wife, Carrie, inherited the home, married Samuel H. Ballard and sold the property in 1912 to Agnes Shields 1868-1933, wife of James Shields 1873-1951. Mr. Shields came from Balansloe County, Galway, Ireland to Boston in 1896 and in 1904 married Agnes Crane who had come from Triminie County, Sligo, Ireland in 1892. He was brought to Osterville by John S Twombly 1848-1922 of Brookline, in 1905, as his coachman. Mr. Twombly's wife, Lillian, was the daughter of Dr. Thomas R. Clement 1823-1898 who was the village doctor from 1880 to his death and left his home on East Bay Road (141/9.1) to her. After the probate of the estate of Mrs. Shields, the property went to her four children, then in 1947 to son, John Shields 1906-1995 and in 1950 to son, William Leo 1914-1962 and his wife, Margaret Hayden Shields. Mr. Shields was a Barnstable High School teacher and football coach. The football field was named after him. Mrs. Shields who was an elementary school teacher in the village still owns the property.

BIBLIOGRAPHY and/or REFERENCES

- Atlas - 1880, 1907
- Registry of Deeds, Registry of Probate
- Osterville, A Walk Through the Past 1979 Chesbro/Crosby
- Osterville, Vol I 1988, Vol II 1989 P. Chesbro
- Architecture - Dr. James Gould



Map printed on: 2/25/2020



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Parcel: 141-003

Location: 58 WIANNO AVENUE, Osterville

Owner: KASCHULUK, JEFFREY



Parcel
141-003

Location
58 WIANNO AVENUE

Village
Osterville

Town sewer at address
No

Developer lot:
LOTS 1 & 2

Fire district
C-O-MM

Road index
1832

Secondary road
WEST BAY ROAD

Interactive map



Owner: KASCHULUK, JEFFREY

Owner
KASCHULUK, JEFFREY

Street1
PO BOX 3433

City
NANTUCKET

Co-Owner

Street2

State Zip Country
MA 02584

Book page
27423/ 232

Land

Acres
0.44

Topography
Level

Utilities
Public Water,Gas,Septic

Use
Multi Hses MDL-01

Street factor
Paved

Location factor

Zoning
BA

Town Zone of Contribution
AP (Aquifer Protection Overlay District)

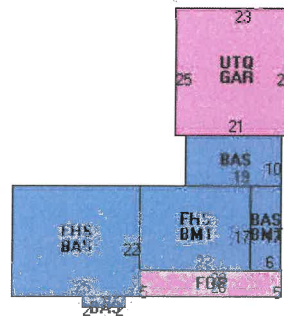
State Zone of Contribution
OUT

Neighborhood
0113

Construction

Building 1 of 2

Year built 1850	Roof structure Gable/Hip	Heat type Hot Water
Living area 1336	Roof cover Asph/F Gls/Cmp	Heat fuel Oil
Gross area 3564	Exterior wall Clapboard	AC type None
Style Cape Cod	Interior wall Plastered	Bedrooms 3 Bedrooms
Model Residential	Interior floor Pine/Soft Wood	Bath rooms 1 Full-1 Half
Grade Average	Foundation Mixed	Total rooms 6 Rooms
Stories 1 1/2 Stories		



Building 2 of 2

Year built 1955	Roof structure Gable/Hip	Heat type Hot Water
Living area 572	Roof cover Asph/F Gls/Cmp	Heat fuel Gas
Gross area 572	Exterior wall Wood Shingle	AC type Central
Style Cottage	Interior wall Drywall	Bedrooms 2 Bedrooms
Model Residential	Interior floor Carpet	Bath rooms 1 Full-0 Half
Grade Average	Foundation Blk/Pour Ftgs	Total rooms 4 Rooms
Stories 1 Story		



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
02/26/2018	Sid/Wind/Roof/Door	18-565	\$0		REROOF (stripping old shingles)
02/07/2012	New Roof	201200692	\$10,000	06/30/2012	RERROOF STRIPPING OLD-RESIDE-REPLC 22 WINDS 3 DRS

▼ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	05/31/2013	KASCHULUK, JEFFREY	27423/ 232	\$728,000
2	11/03/2005	JAXTIMER, ERNEST J TR	20439/ 26	\$975,000
3	03/24/2000	MITCHELL, HELEN & SHIELDS, M L TRS	12903/ 19	\$1
4	04/03/1950	SHIELDS, MARGARET L	746/ 150	\$0

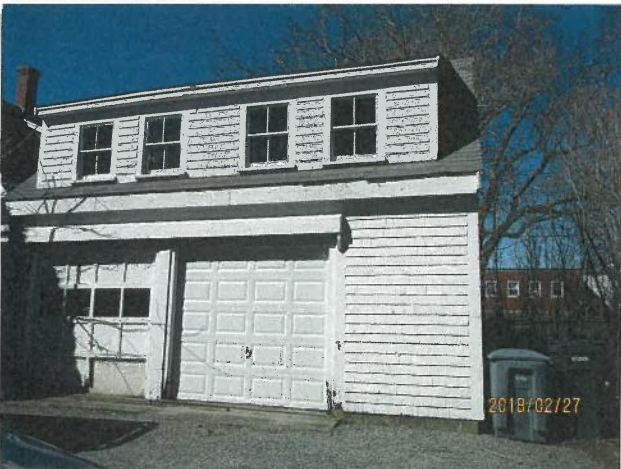
▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2020	\$173,600	\$22,300	\$0	\$459,800	\$655,700
2	2019	\$153,900	\$22,300	\$0	\$438,900	\$615,100
3	2018	\$187,400	\$29,200	\$0	\$484,000	\$700,600
4	2017	\$177,800	\$29,400	\$0	\$484,000	\$691,200
5	2016	\$177,800	\$29,400	\$0	\$488,400	\$695,600
6	2015	\$217,700	\$33,600	\$0	\$476,700	\$728,000
7	2014	\$191,000	\$31,500	\$0	\$552,500	\$775,000
8	2013	\$191,000	\$31,500	\$0	\$547,500	\$770,000
9	2012	\$194,300	\$30,300	\$0	\$724,600	\$949,200
10	2011	\$230,800	\$3,300	\$0	\$724,600	\$958,700
11	2010	\$231,200	\$3,300	\$0	\$724,600	\$959,100
12	2009	\$291,600	\$2,600	\$0	\$757,200	\$1,051,400
13	2008	\$322,900	\$2,600	\$0	\$774,000	\$1,099,500
15	2007	\$358,300	\$2,600	\$0	\$774,000	\$1,134,900
16	2006	\$288,900	\$2,600	\$0	\$748,200	\$1,039,700
17	2005	\$255,700	\$2,400	\$0	\$677,100	\$935,200
18	2004	\$210,000	\$2,400	\$0	\$677,100	\$889,500
19	2003	\$206,900	\$2,400	\$0	\$121,400	\$330,700
20	2002	\$179,300	\$2,300	\$0	\$121,400	\$303,000
21	2001	\$179,300	\$2,400	\$0	\$152,100	\$333,800
22	2000	\$144,800	\$2,500	\$0	\$64,600	\$211,900
23	1999	\$144,800	\$2,500	\$0	\$64,600	\$211,900
24	1998	\$144,800	\$2,500	\$0	\$64,600	\$211,900
25	1997	\$144,500	\$0	\$0	\$64,500	\$209,000
26	1996	\$144,500	\$0	\$0	\$64,500	\$209,000
27	1995	\$144,500	\$0	\$0	\$64,500	\$209,000
28	1994	\$151,700	\$0	\$0	\$146,800	\$298,500
29	1993	\$151,700	\$0	\$0	\$146,800	\$298,500
30	1992	\$172,800	\$0	\$0	\$163,100	\$335,900
31	1991	\$181,700	\$0	\$0	\$230,500	\$412,200
32	1990	\$181,700	\$0	\$0	\$230,500	\$412,200
33	1989	\$181,700	\$0	\$0	\$230,500	\$412,200
34	1988	\$104,300	\$0	\$0	\$199,900	\$304,200
35	1987	\$104,300	\$0	\$0	\$199,900	\$304,200
36	1986	\$104,300	\$0	\$0	\$199,900	\$304,200

▼ Photos







File: ..\200700

Notes/Revision:

- 1.) The property line information shown was compiled from available record information.
- 2.) The topographic information was obtained from an on the ground survey performed on or between 19/DEC/05 and 25/JAN/06.
- 3.) The datum used is NGVD '29, a fixed mean sea level datum.

PREPARED FOR:

JNJ Realty Trust
48 Rosary Lane
Hyannis Mass 02601

PREPARED BY:

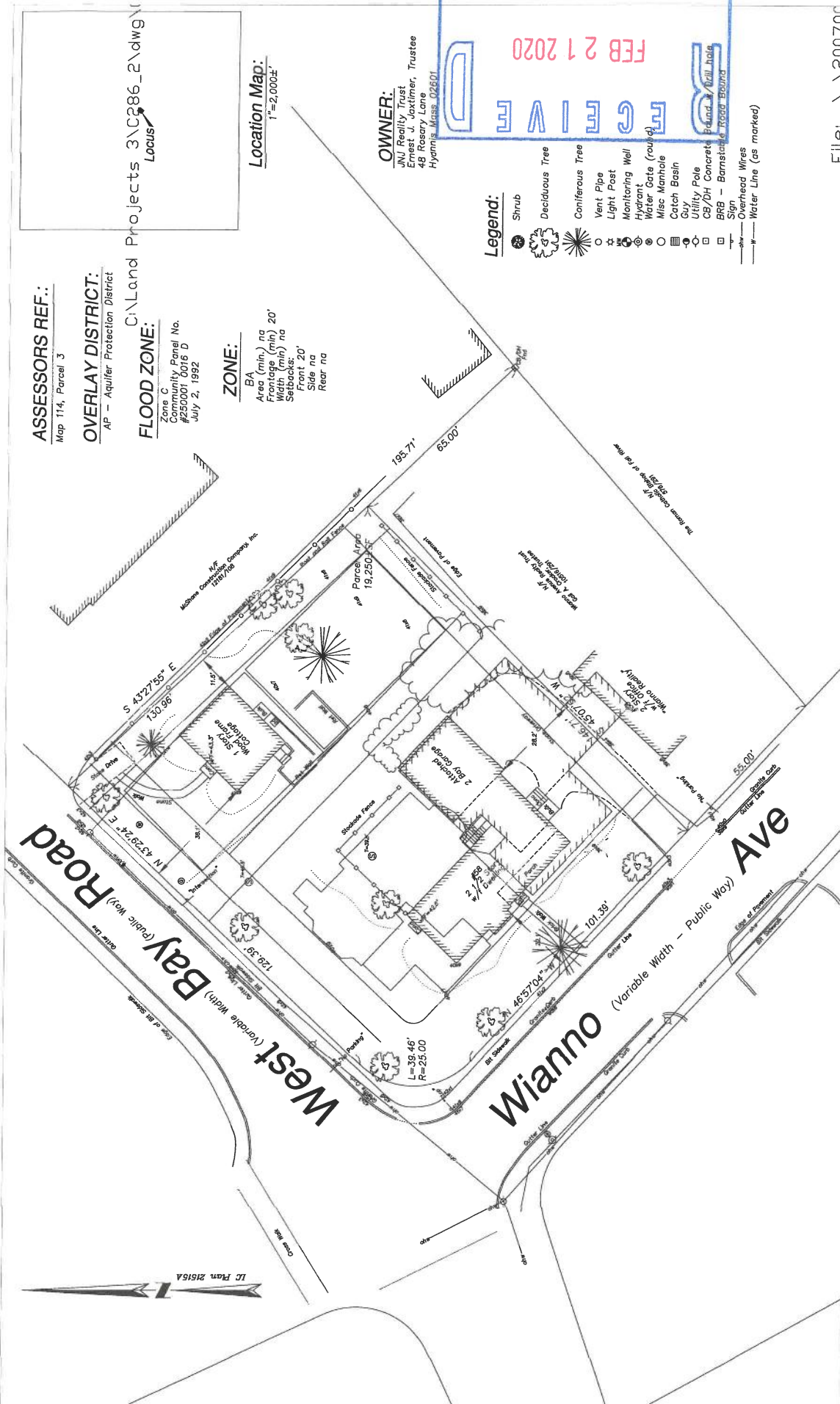
Sullivan Engineering, Inc. CapeSury
 PO Box 659
 Osterville, MA 02655
 (508)428-3344 (508)428-3115 fax
 (508)428-3892 (508)428-3895 fax

Draft: Field: WHK/JPM
 Review: Comp/Draft: JPM/RRL
 Proj. # Drawing # C286_2-1

Title:

Existing Conditions
Plan of Land at
58 Wianno Avenue in
Barnstable (Osterville) Mass.

Date: January 30, 2006
 Scale: 1"=20'



ASSESSORS REF.:
 Map 114, Parcel 3

OVERLAY DISTRICT:
 AP - Aquifer Protection District

FLOOD ZONE:
 Zone City Panel No.
 #250001 0016 D
 July 2, 1992

ZONE:
 BA
 Area (min.) na
 Height (min) 20'
 Width (min) na
 Setbacks:
 Front 20'
 Side na
 Rear na


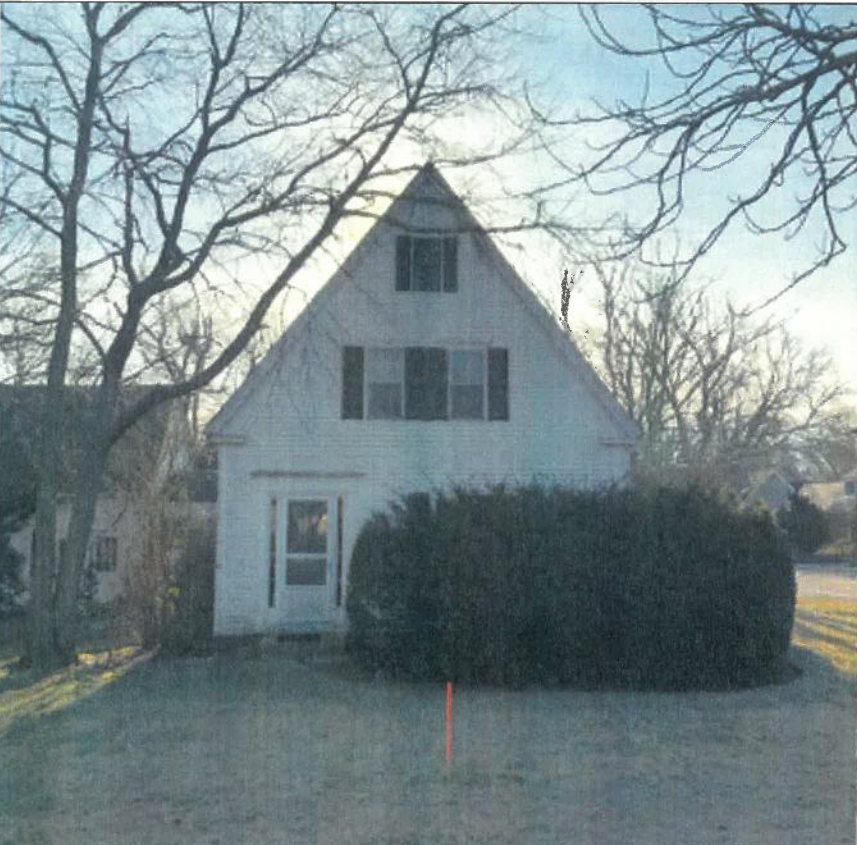
Location Map:
 1"=2,000'

OWNER:
 JNJ Realty Trust
 c/o Est. J. Jaxtimer, Trustee
 48 Rosary Lane
 Hyannis, Mass. 02601





- Legend:**
- Shrub
 - Deciduous Tree
 - Coniferous Tree
 - Vent Pipe
 - Light Post
 - Monitoring Well
 - Hydrant
 - Water Gate (round)
 - Misc Manhole
 - Catch Basin
 - Guy
 - Utility Pole
 - CB/DH Concrete
 - BRB - Barnstable Road Bound
 - Sign
 - Overhead Wires
 - Water Line (as marked)

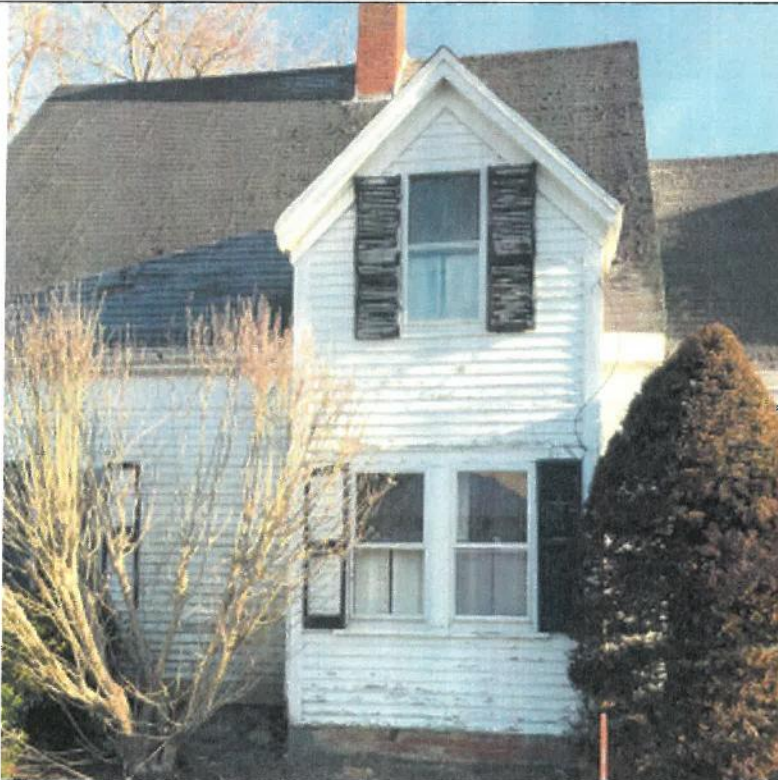


<p>Picture #1</p> 	<p>View from Library at the opposite corner of Wianno Ave & West Bay Road</p>
<p>Picture #2</p> 	<p>North elevation facing West Bay Road</p>

RECEIVED
FEB 21 2020
PLANNING & DEVELOPMENT
1

<p>Picture #3</p> 	<p>West elevation facing Wianno Road</p>
<p>Picture #4</p> 	<p>View from southwest</p>
	<p>RECEIVED FEB 21 2020 PLANNING & DEVELOPMENT</p>

Picture #5

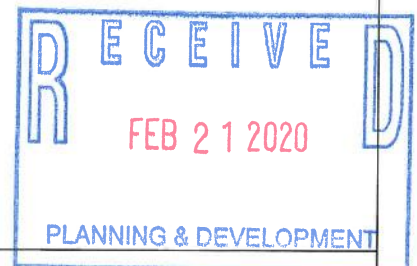




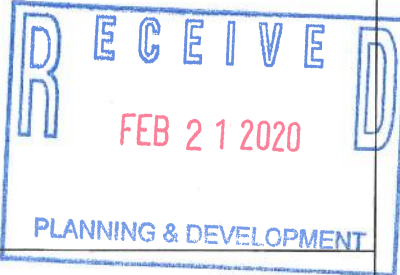
View of two story gable on west side with deteriorated roof shingles, failing shutters, and scaling paint

Picture #6

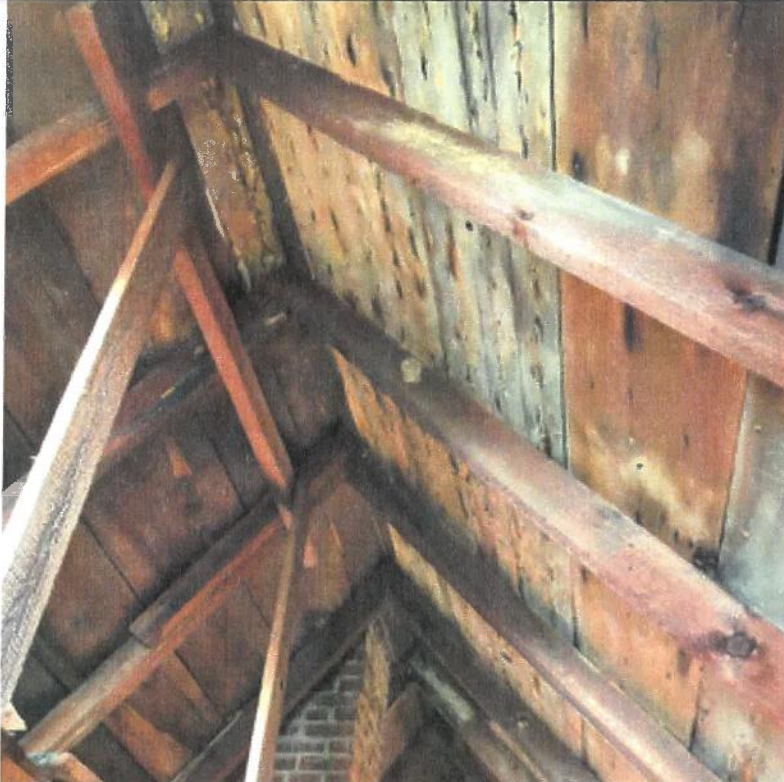



Close up view of brick foundation on west side

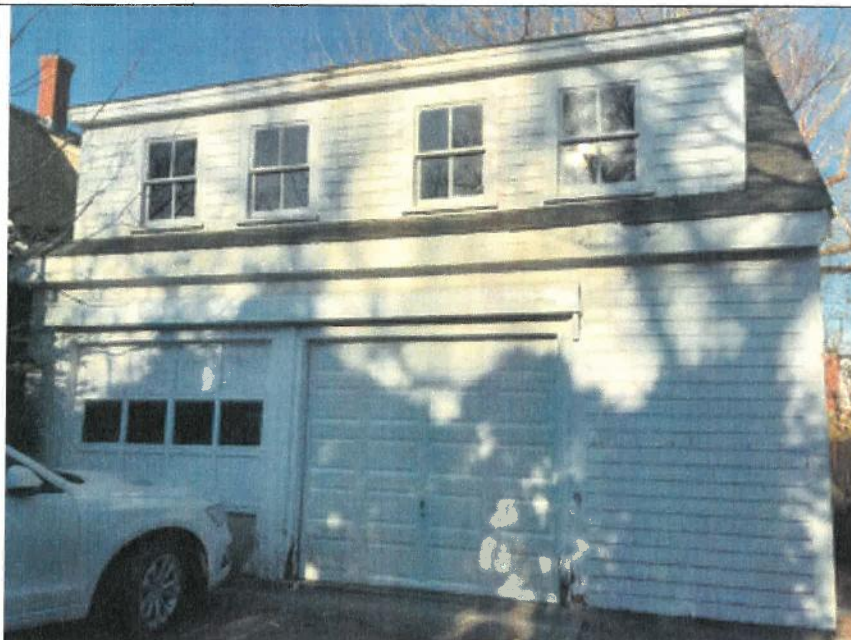


<p>Picture #7</p> 	<p>Close up view of stone foundation at left side of west porch</p>
<p>Picture #8</p> 	<p>Close up view of rotten porch decking, framing below has also decayed beyond repair</p> 

<p>Picture #9</p> 	<p>Close up view of the main and porch roofs on the southwest corner. The fascia and soffit boards behind the gutter have failed and are open to the weather. Above the single width brick chimney will be removed as it is not strong enough to move or be compliant for reuse.</p>
<p>Picture #10</p> 	<p>South gable of main house above later kitchen expansion below shed roof</p> <p>RECEIVED FEB 21 2020 PLANNING & DEVELOPMENT</p>

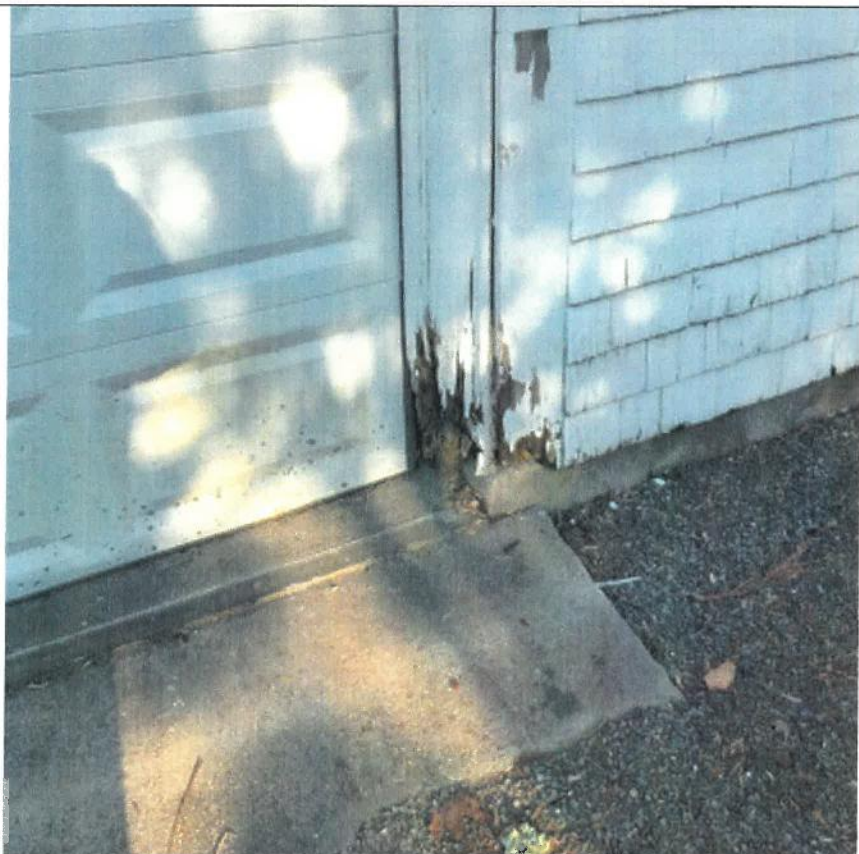
<p>Picture #11</p> 	<p>View inside main attic showing deteriorated wooden roof sheathing and undersized roof rafters. (2" x 5" @ +/- 28" OC)</p>
<p>Picture #12</p> 	<p>This photo shows the existing roof ratters resting on the raised plate in the eaves of the second floor, the applicant proposes to remove the roove above the plate and reconstruct at the new site.</p> <p>RECEIVED FEB 21 2020 PLANNING & DEVELOPMENT</p>

Picture #13



South side of the garage, this is not part of the original historic house and will be razed.

Picture #14



Rotten door jamb at the garage

RECEIVED
FEB 21 2020
PLANNING & DEVELOPMENT

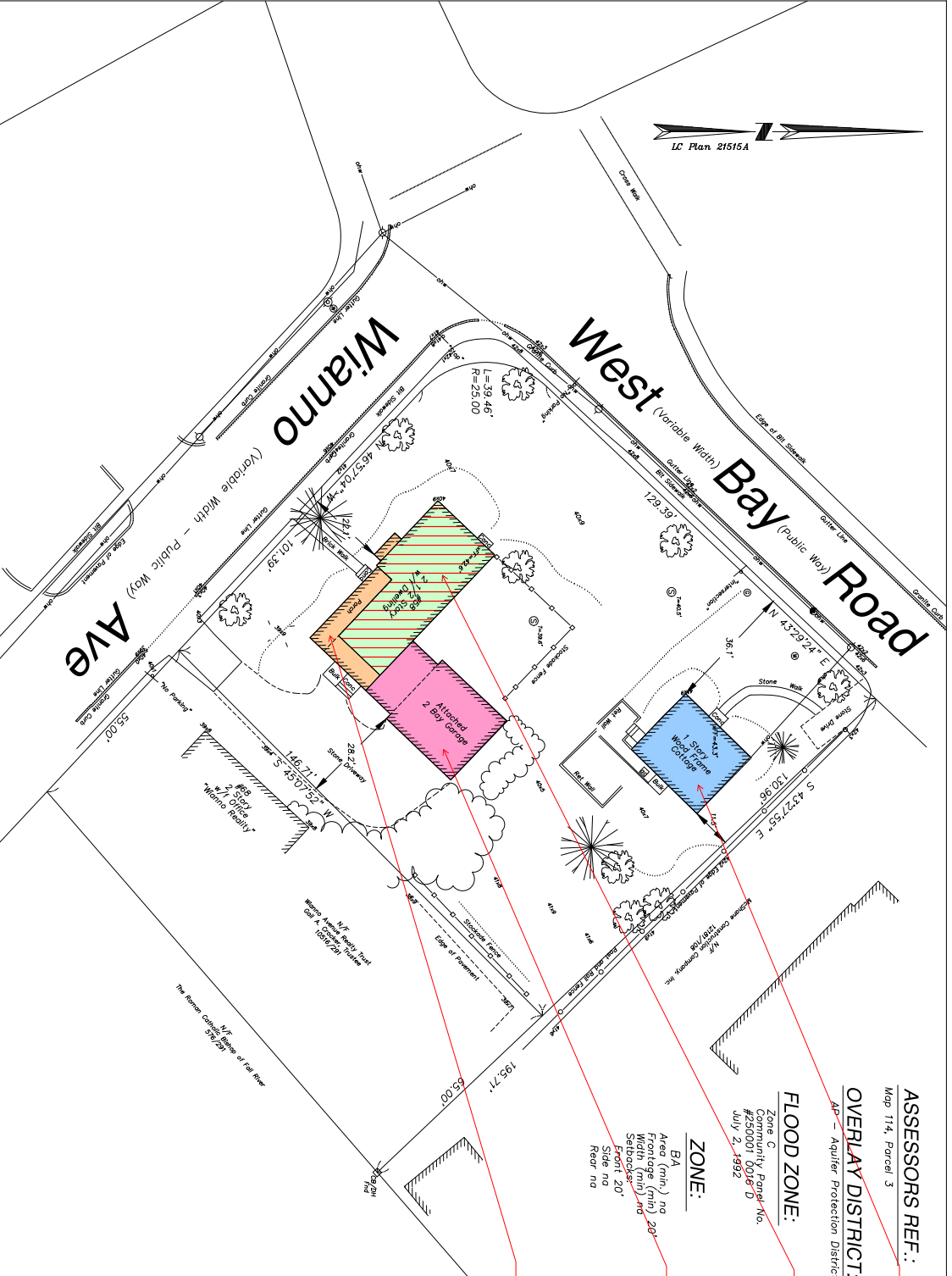
TITLE:
Development Sketch
Existing Conditions
At
58 & 68 Wianno Avenue
Barnstable (Osterville) Mass.

PREPARED BY:
Sullivan Engineering & Consulting, Inc.
Capesurv
 23 West Bay Rd., Suite G
 Osterville, MA 02557
 (508) 425-3544 / 425-3995 fax

DATE: January 16, 2020
 SCALE: 1"=20'
 Draft: _____
 Review: _____
 Proj. # _____
 Field: WHK/JPM
 Comp./D/Dr't: JPM/RRL
 Drawing # C286-291

PREPARED FOR:
The Beacon At Wianno

NOTES:
 1.) The property line information shown was compiled from available record information.
 2.) The topographic information was obtained from an on the ground survey performed on or between 19/DEC/05 and 25/JAN/06.
 3.) The datum used is NAD 29, a fixed mean sea level datum.



ASSESSORS REF.:
 Map 114, Parcel 3

OVERLAY DISTRICT:
 AP - Aquifer Protection District

FLOOD ZONE:
 Zone C
 Community Panel No. #230001 0016 D
 July 21, 1992

ZONE:
 BA
 Area (min.) no
 Frontage (min.) 20'
 Width (min.) no
 Set Point: 20'
 Side no
 Rear no

"BLUE SHADED AREA"
 EXISTING STAND ALONE COTTAGE AT 29 WEST BAY ROAD WILL BE RELOCATED UNDER SEPARATE PERMIT

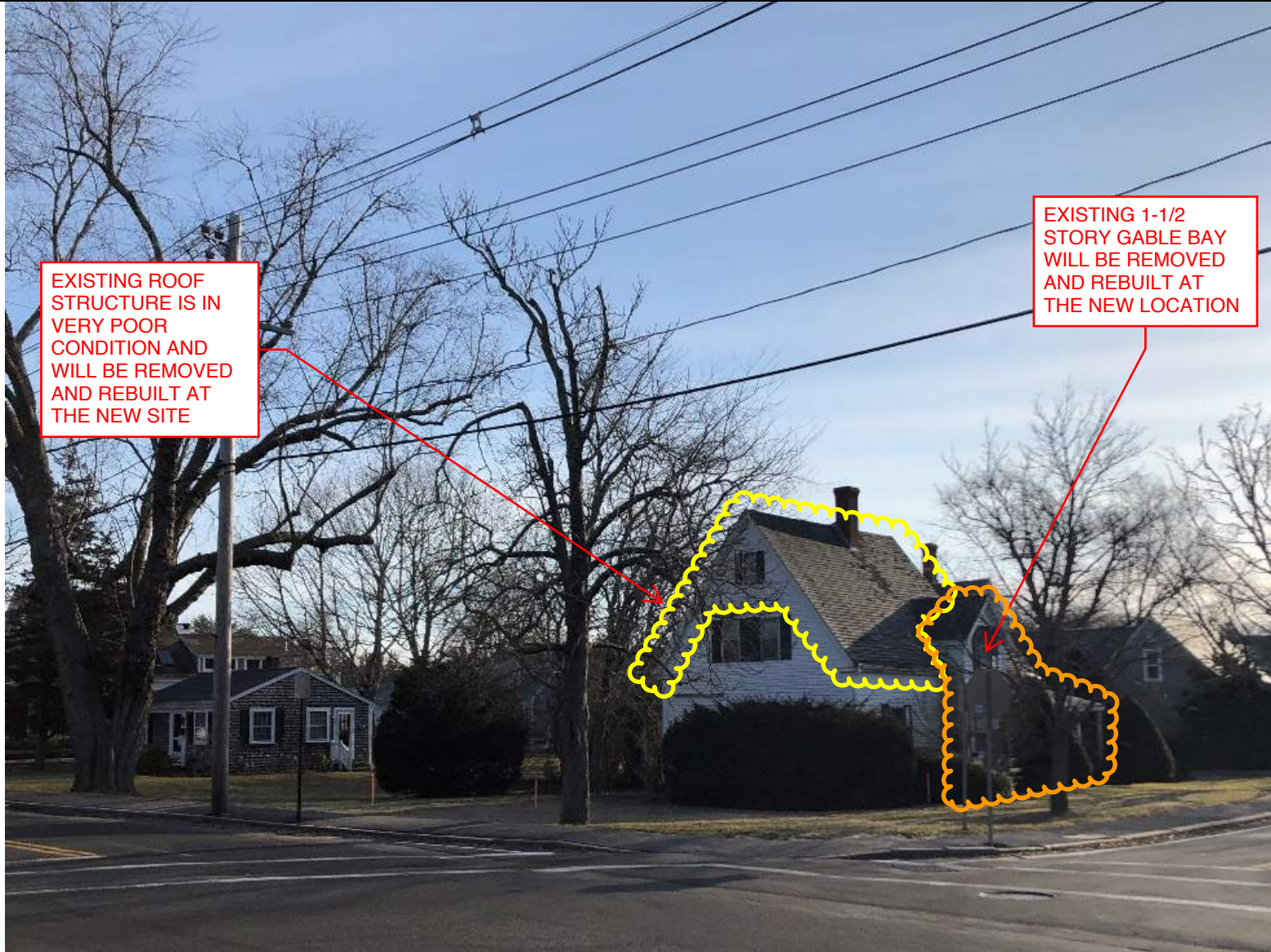
"GREEN SHADED AREA"
 PORTION OF THE EXISTING HOUSE TO BE RELOCATED TO A NEW SITE. CROSSHATCH INDICATES AREA WHERE THE ROOF STRUCTURE WILL BE REMOVED AND REBUILT AT THE NEW SITE. SEE PHOTOS FOR MORE ABOUT CONDITION OF THE EXISTING ROOF FRAMING.

"PINK SHADED AREA"
 EXISTING AREAS THAT WILL BE REMOVED AND NOT RELOTTED, INCLUDING THE 1-STORY LINK BETWEEN THE HOUSE AND GARAGE AND THE TWO CAR GARAGE AND LOFT ABOVE.

"ORANGE SHADED AREA"
 PORTIONS OF THE EXISTING INCLUDING THE FRONT PORCH AND LEAN-TO ON THE SOUTHEAST SIDE WILL BE REMOVED AND RECONSTRUCTED AT A NEW SITE AS THE CONDITION OF THESE AREAS IS POOR AND NOT STABLE ENOUGH TO BE MOVED. SIMILARLY THE 1-1/2 STORY BAY WINDOW WILL BE REMOVED AND REBUILT.

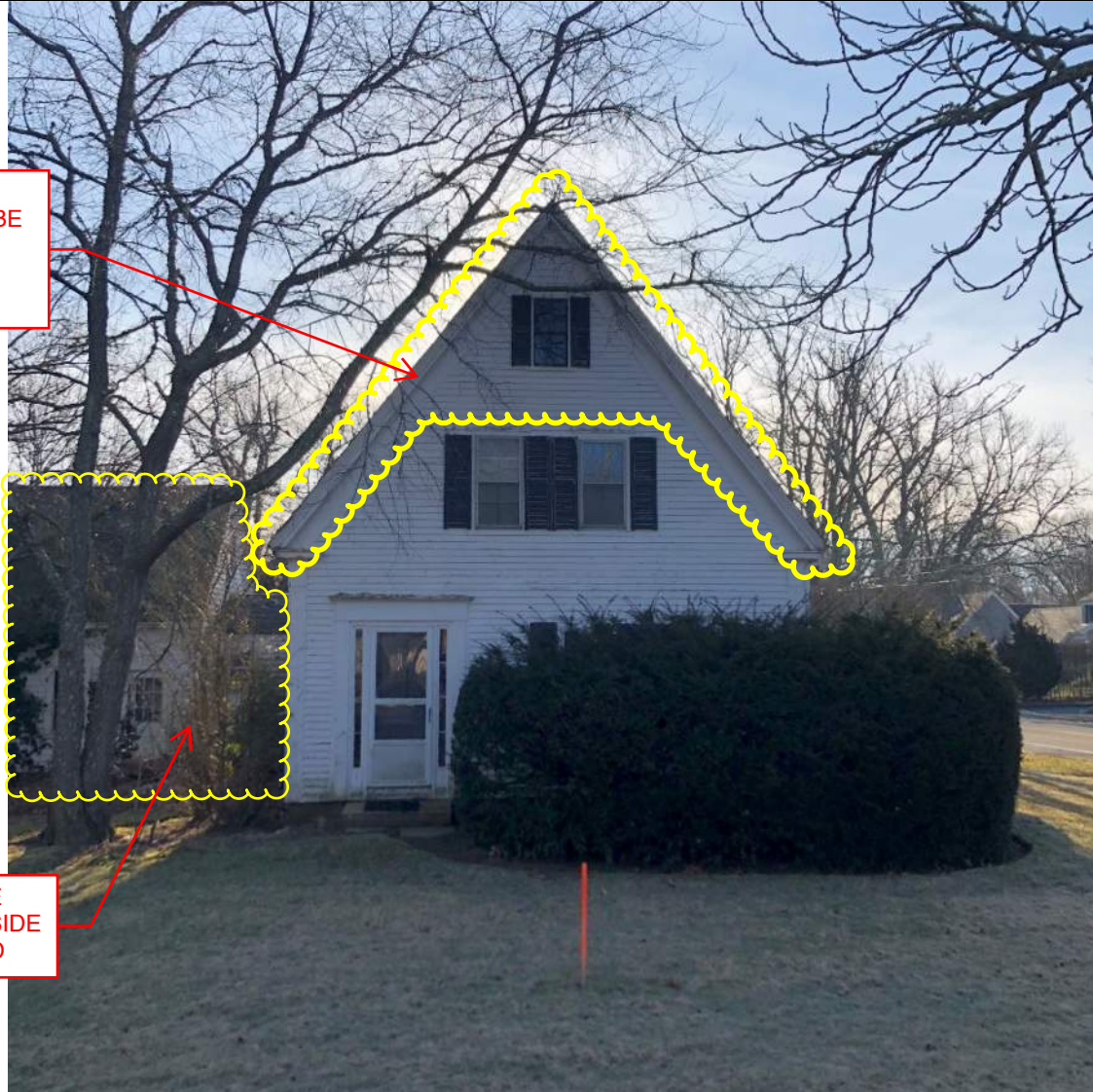
- Legend:**
- Shrub
 - Deciduous Tree
 - Coniferous Tree
 - Vent Pipe
 - Light Post
 - Monitoring Well
 - Hydrant
 - Water Gate (round)
 - Misc Manhole
 - Catch Basin
 - Guy
 - Utility Pole
 - CB/DH Concrete Bound w/Drill hole
 - BRB - Barnstable Road Bound
 - Sign
 - Overhead Wires
 - Water Line (as marked)

Perspective from Opposite Corner of Wianno Ave. & West Bay Road

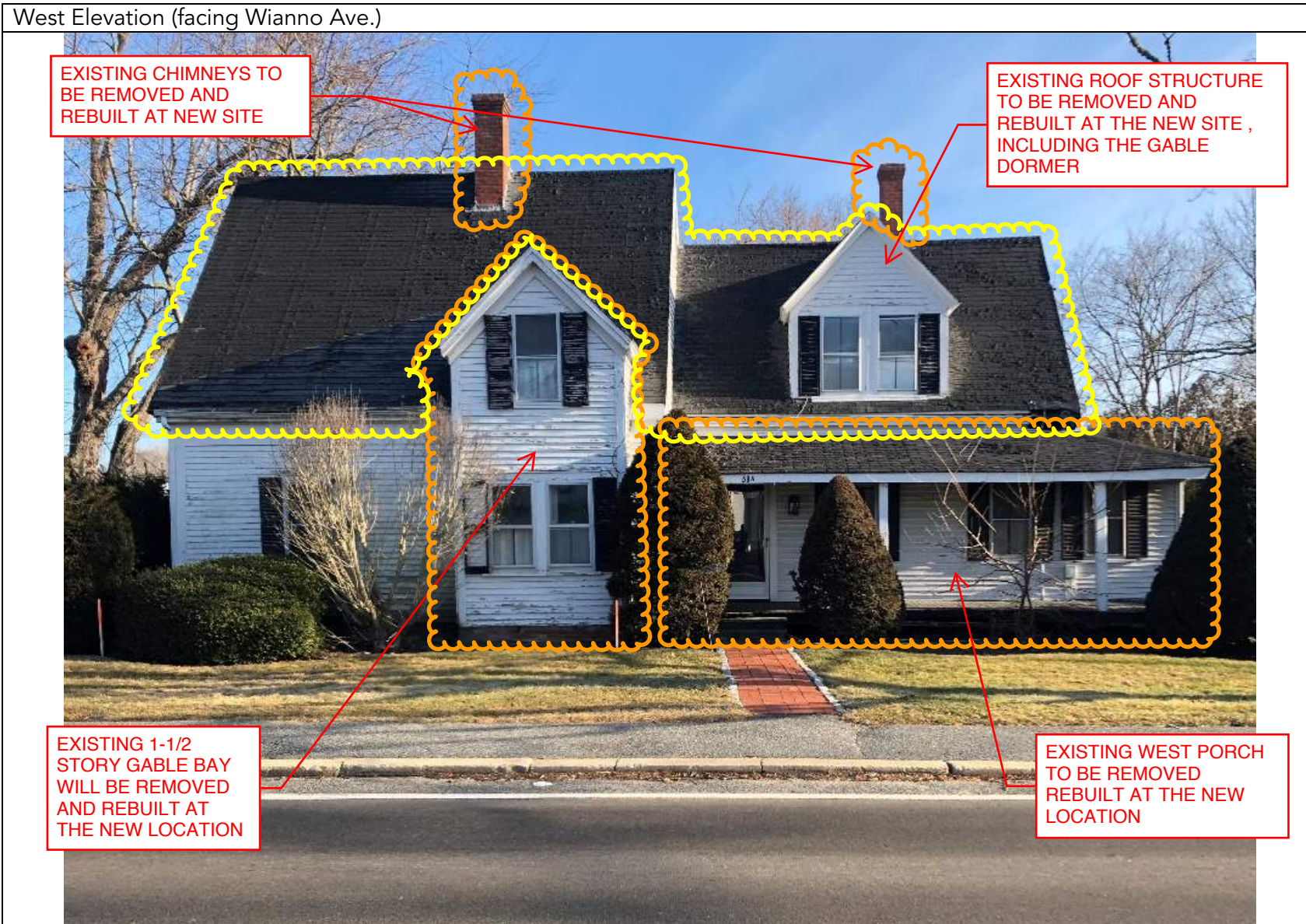


North Elevation (facing West Bay Road)

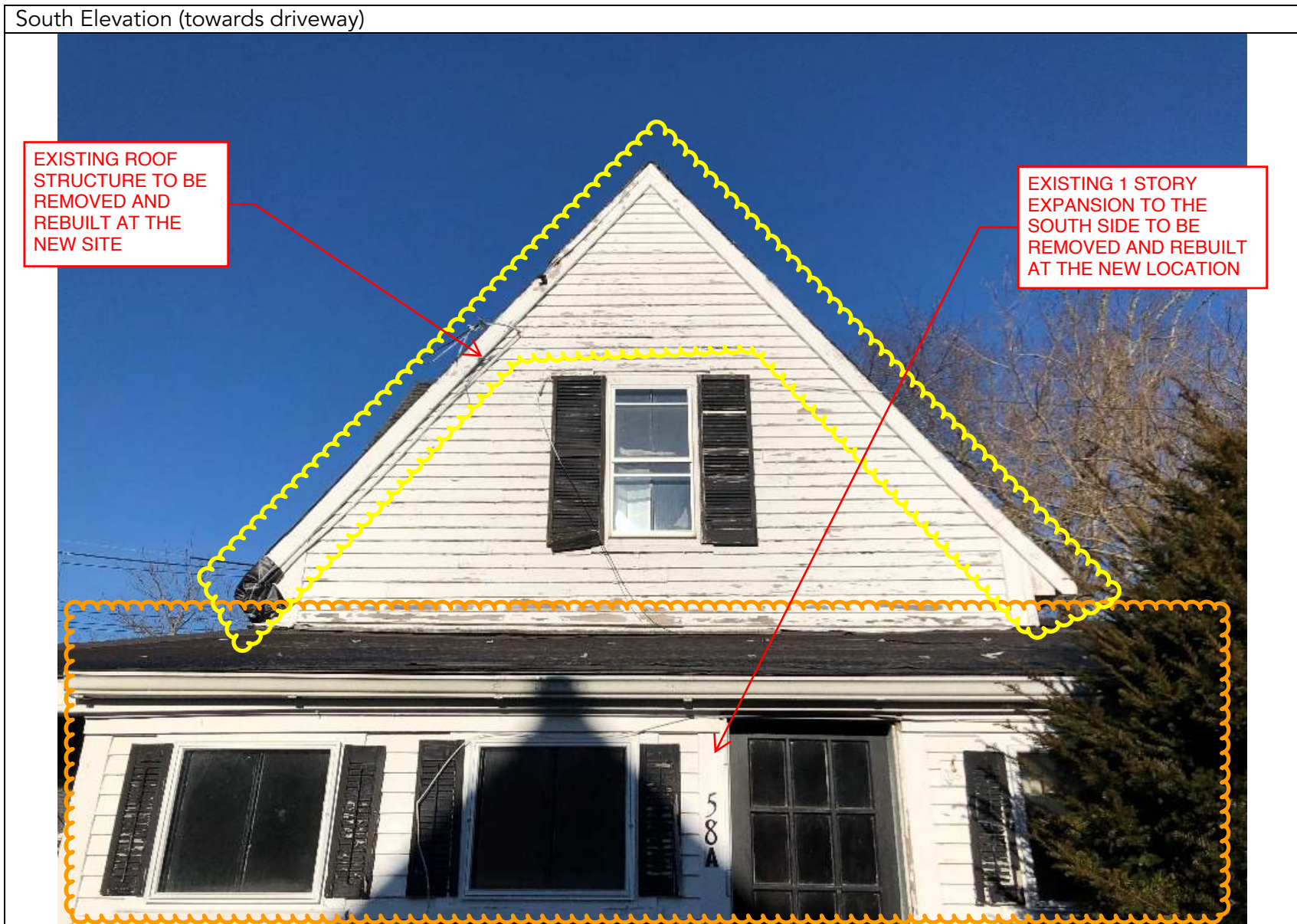
EXISTING ROOF
STRUCTURE TO BE
REMOVED AND
REBUILT AT THE
NEW SITE



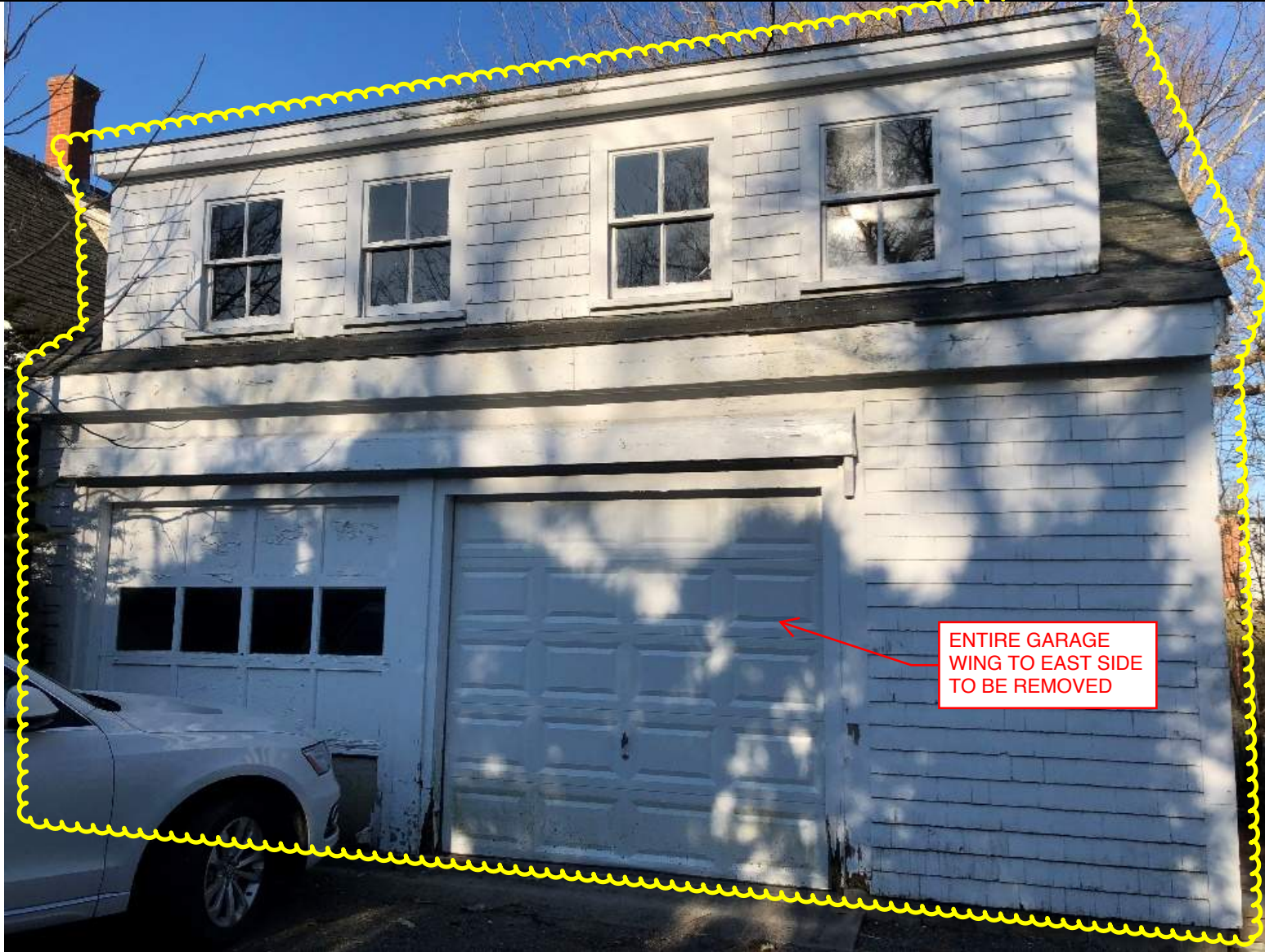
ENTIRE GARAGE
WING TO EAST SIDE
TO BE REMOVED



South Elevation (towards driveway)



South Elevation of Later Garage





**TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission**

www.town.barnstable.ma.us/historicalcommission



MAY 20 2020
PLANNING & DEVELOPMENT

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application: May 20, 2020 Full Demotion Partial Demolition

Building Address: 31 Eel River Road
Number Street

Osterville 02655 Assessor's Map # 118 Assessor's Parcel # 106
Village ZIP

Property Owner: David and Colleen Cappelucci (617) 283-6567 (617) 852-8248
Name Phone#

Property Owner Mailing Address (if different than building address) 227 Concord Road Wayland, MA 01778

Property Owner e-mail address: cfcappelucci@gmail.com cfc26@aol.com

Contractor/Agent: Gordon Clark

Contractor/Agent Mailing Address: 141 Main Street Yarmouthport, MA 02675

Contractor/Agent Contact Name and Phone #: Gordon Clark (508) 382-9802
Name Phone #

Contractor/Agent Contact e-mail address: gordon@northsidedesign.com

Demolition Proposed - please itemize all changes:

Total demolition of existing structure

Type of New Construction Proposed: Construction of 2-story single family 4 bedroom house with 2-car oversized garage. Proposed new construction will be approximately 3,500-4,000 square feet.

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1925 Additions Year Built: _____

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No Yes

[Handwritten Signature]
Property Owner/Agent Signature









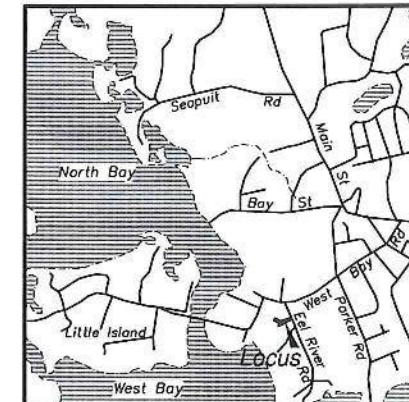
For Registry Use

I certify that this plan has been prepared in conformity with the rules and regulations of the Registers of Deeds of the Commonwealth of Massachusetts.

Registered Land Surveyor _____ Date _____

REFERENCES:

- Assessors' Map 116 Parcel 106
- Plan Book 57/29
- " " 70/19
- " " 77/133
- " " 101/21
- LCC # 8375B
- Deed Book 12734/242



LOCATION MAP:

Scale: 1" = 2000'±

ZONE:

- RC (RPOD)
- Area (min.) 87,120 SF
- Frontage (min) 20'
- Width (min) 100'
- Setbacks:
- Front 20'
- Side 10'
- Rear 10'

FLOOD ZONE:

- Zones A13, B, & C
- Community / Panel #250001 0016 D
- July 2, 1992

OVERLAY DISTRICT:

AP - Aquifer Protection District

I certify to the best of my professional knowledge, information, and belief, that the property lines shown hereon are the lines dividing existing ownerships, and the lines of streets and ways shown are those of public or private streets or ways already established, and no new lines for division of existing ownership or for new ways are shown.

The above certification is intended to meet Registry of Deeds requirements and is not a certification to the title or ownership of the property shown. Owners of adjoining properties are shown according to current Town of Barnstable Assessors' records.

Professional Land Surveyor _____ Date _____

Title: **Plan Of Land At 31 Eel River Road In Barnstable, (Osterville) Mass.**

PREPARED BY: **CapeSurv**
 7 Parker Road
 Osterville MA 02655
 (508) 420-3994 / 420-3995 fax
 www.capesurv.com

PREPARED FOR: **Chope Realty Trust
 Joanne Chope Corsiglia, Trustee**

Notes/Revision:

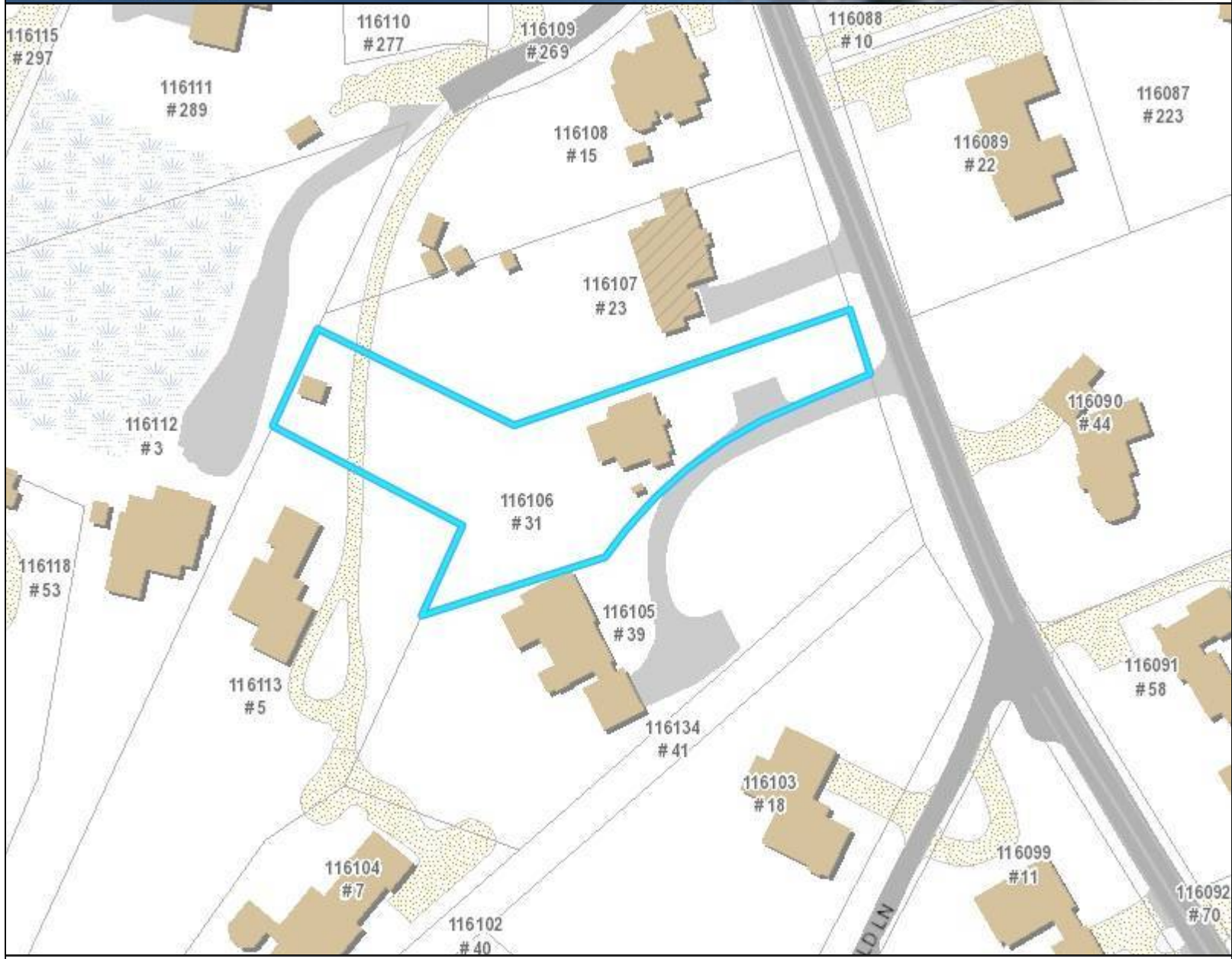
Date: **March 20, 2008**

Scale: **1"=30'**

Field: MLL/DWB Review: RRL
 Comp/Draft: RRL Drawing # C331_2g1



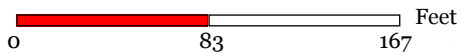
Sheet **1 of 1**



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 6/3/2020



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

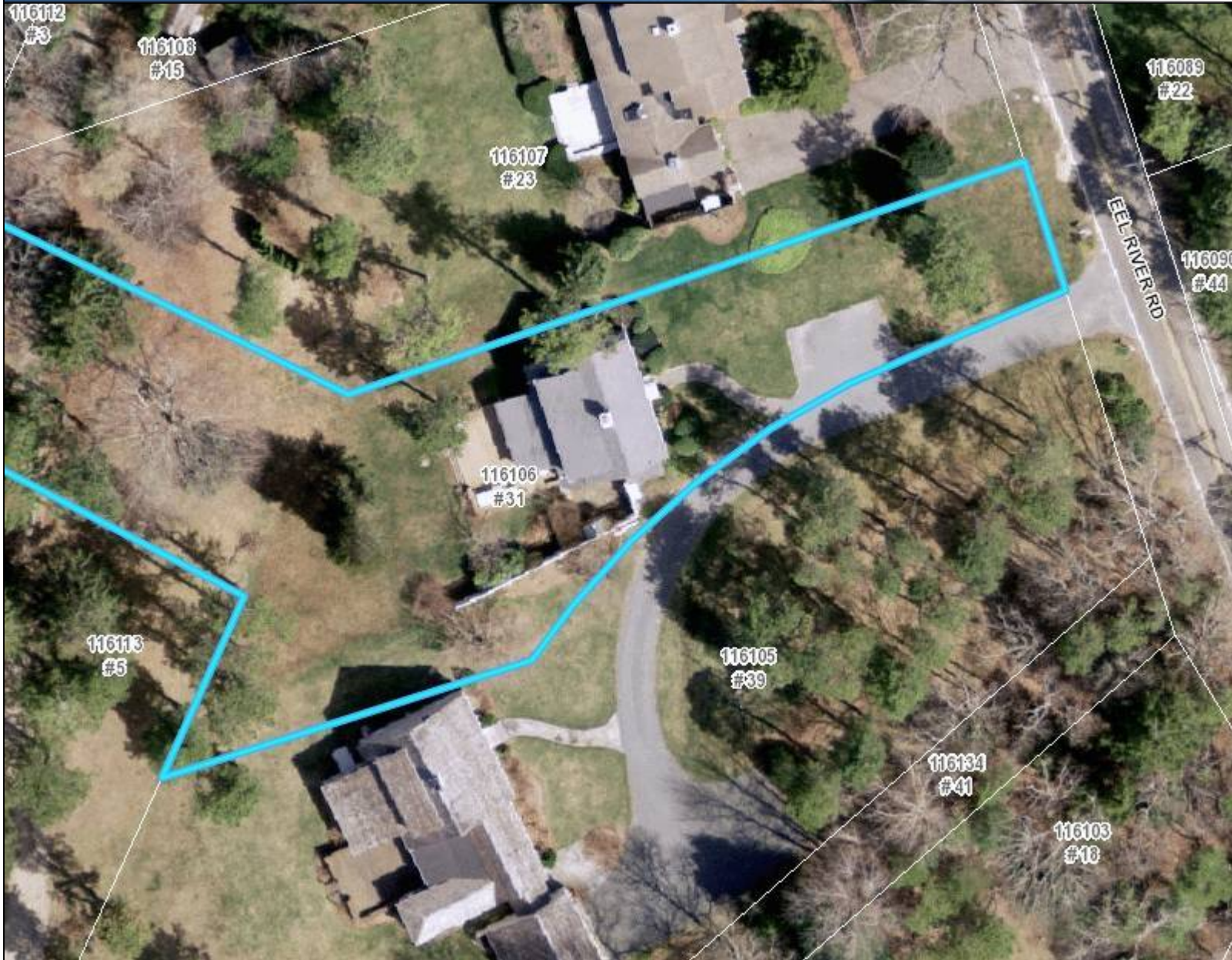
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 6/3/2020



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Parcel: 116-106

Location: 31 EEL RIVER ROAD, Osterville

Owner: RAC CAPITAL LLC



Parcel
116-106
Location
31 EEL RIVER ROAD
Village
Osterville
Town sewer account
No

Developer lot:
LOT 5A
Road index
0482
Fire district
C-O-MM

Secondary road

Interactive map



Asbuilt septic scan
[116106_1](#)

Owner: RAC CAPITAL LLC

Owner RAC CAPITAL LLC	Co-Owner	Book page 27962/ 76
Street1 3 HUNDREDS ROAD	Street2	
City WELLESLEY	State Zip Country MA 02481	

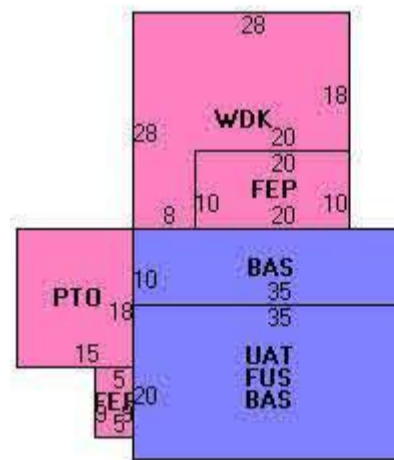
Land

Acres 0.57	Use Single Fam MDL-01	Zoning RC	Neighborhood 0118
Topography Level	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Septic, Gas, Public Water	Location factor Marginal View	State Zone of Contribution OUT	

Construction

Building 1 of 1

Year built 1925	Roof structure Gable/Hip	Heat type Hot Air
Living area 1750	Roof cover Asph/F Gls/Cmp	Heat fuel Gas
Gross area 3549	Exterior wall Wood Shingle	AC type Central
Style Saltbox	Interior wall Plastered	Bedrooms 4 Bedrooms
Model Residential	Interior floor Hardwood, Carpet	Bath rooms 3 Full-1 Half
Grade Average	Foundation Blk/Pour Ftgs	Total rooms 8 Rooms
Stories 2 Stories		



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
05/01/2014	Insulation	201402653	\$4,300	06/30/2014	INSULATE ATTIC

Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	01/30/2014	RAC CAPITAL LLC	27962/ 76	\$1,200,000
2	01/30/2014	CHOPE, DOUGLAS BEGG TR	27962/ 63	\$0
3	12/20/1999	CORSIGLIA, JOANNE CHOPE TR	12732/ 242	\$1,112,801
4	12/15/1992	HASH, STEPHEN P & MARY B	8369/ 72	\$1
5	11/15/1991	HASH, STEPHEN P & MARY B &	7757/ 106	\$335,000
6	09/14/1977	LANGAN, JAMES M & ELEANOR	2580/ 343	\$90,000

Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2020	\$159,800	\$12,400	\$4,400	\$1,014,600	\$1,191,200
2	2019	\$142,700	\$12,400	\$4,700	\$1,096,900	\$1,256,700
3	2018	\$116,800	\$12,400	\$4,900	\$1,154,600	\$1,288,700
4	2017	\$96,900	\$12,000	\$4,900	\$1,154,600	\$1,268,400
5	2016	\$96,900	\$12,000	\$4,900	\$1,142,500	\$1,256,300
6	2015	\$115,500	\$13,100	\$5,800	\$1,143,600	\$1,278,000
7	2014	\$148,300	\$12,700	\$6,000	\$1,143,600	\$1,310,600
8	2013	\$148,300	\$12,700	\$6,300	\$1,189,300	\$1,356,600
9	2012	\$151,700	\$11,700	\$4,900	\$1,143,600	\$1,311,900
10	2011	\$177,800	\$3,300	\$800	\$1,143,600	\$1,325,500
11	2010	\$178,200	\$3,300	\$1,100	\$1,143,600	\$1,326,200
12	2009	\$238,800	\$2,400	\$500	\$1,862,200	\$2,103,900
13	2008	\$238,800	\$2,400	\$500	\$1,940,700	\$2,182,400
15	2007	\$238,800	\$2,400	\$500	\$1,940,700	\$2,182,400
16	2006	\$237,300	\$2,400	\$500	\$1,853,000	\$2,093,200
17	2005	\$205,200	\$2,300	\$600	\$1,853,000	\$2,061,100
18	2004	\$181,700	\$2,400	\$600	\$838,500	\$1,023,200
19	2003	\$156,300	\$2,400	\$600	\$412,100	\$571,400
20	2002	\$156,300	\$2,400	\$600	\$412,100	\$571,400
21	2001	\$143,500	\$2,600	\$400	\$412,100	\$558,600
22	2000	\$87,600	\$2,000	\$200	\$212,400	\$302,200
23	1999	\$87,600	\$2,000	\$200	\$212,400	\$302,200
24	1998	\$87,600	\$2,000	\$200	\$212,400	\$302,200
25	1997	\$81,700	\$0	\$0	\$212,400	\$294,800
26	1996	\$81,700	\$0	\$0	\$212,400	\$294,800
27	1995	\$81,700	\$0	\$0	\$212,400	\$294,800
28	1994	\$86,400	\$0	\$0	\$223,000	\$310,100
29	1993	\$86,400	\$0	\$0	\$223,000	\$310,100
30	1992	\$98,500	\$0	\$0	\$247,800	\$347,100
31	1991	\$117,600	\$0	\$0	\$247,800	\$366,200
32	1990	\$117,600	\$0	\$0	\$247,800	\$366,200
33	1989	\$117,600	\$0	\$0	\$247,800	\$366,200
34	1988	\$102,300	\$0	\$0	\$146,700	\$249,600
35	1987	\$110,800	\$0	\$0	\$146,700	\$258,100
36	1986	\$128,400	\$0	\$0	\$158,000	\$287,000

Photos







ZONE:

RC (RPOD)

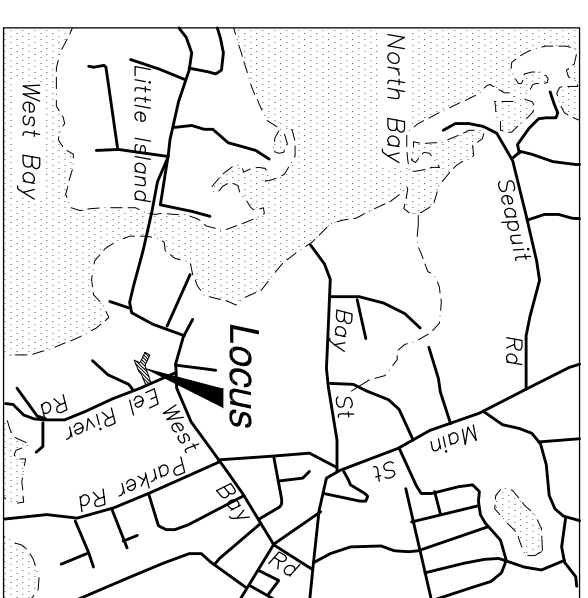
Area (min.) 87,120 SF
Frontage (min) 20'
Width (min) 100'
Setbacks:
Front 20'
Side 10'
Rear 10'

OVERLAY DISTRICT:

AP - Aquifer Protection District

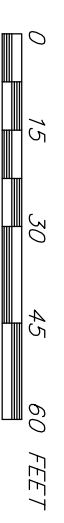
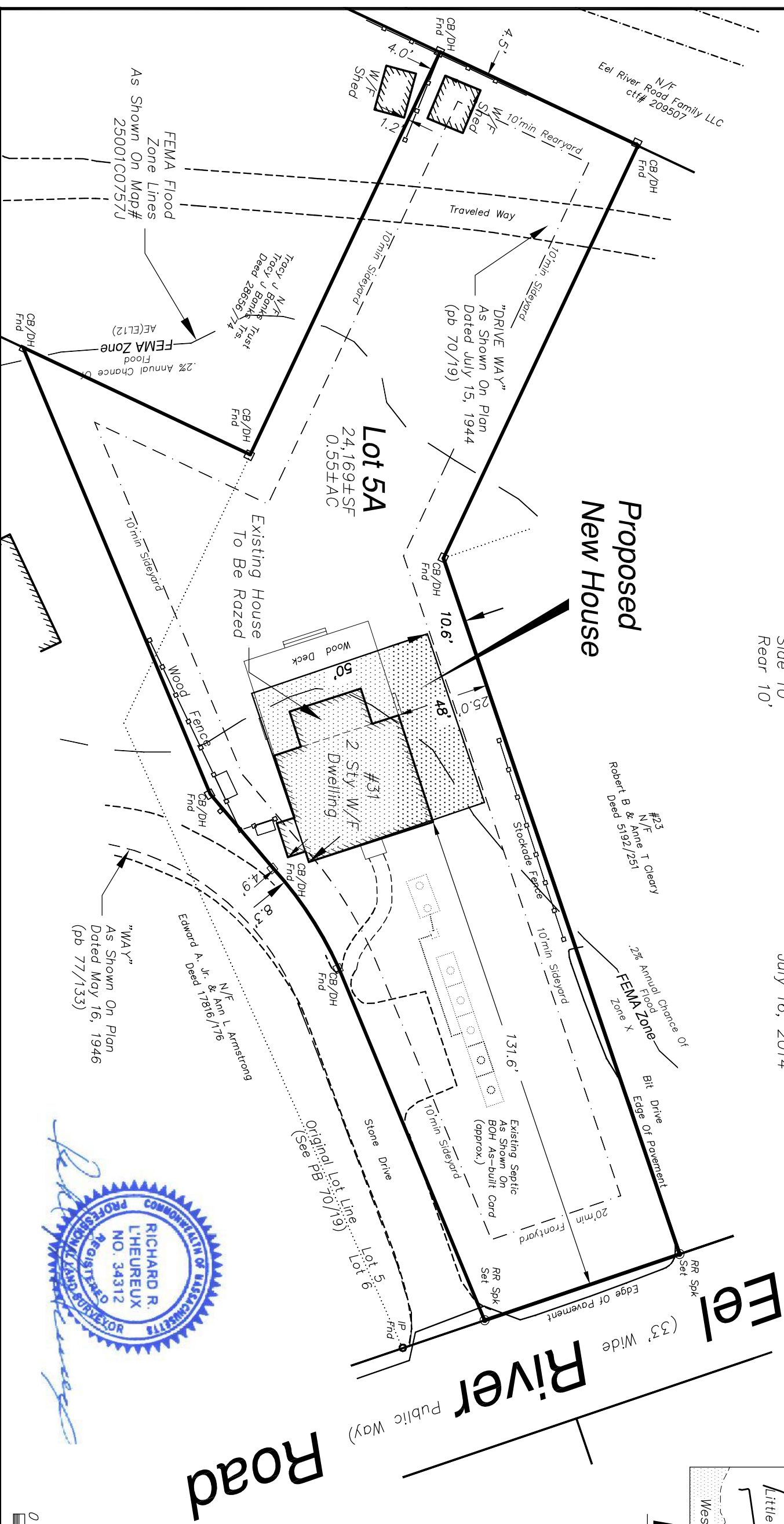
FLOOD ZONE:

X, & AE(EL12)
Based on Map #
25001C0757J
July 16, 2014



LOCATION MAP:

Scale: 1" = 2000'±



Richard R. L'Heureux

Sheet #

1 of 1

Title:

**Plan Showing Site Changes
At 31 Eel River Road In
Barnstable (Osterville) Mass.**

Prepared For:

CapeSurv
23 West Bay Rd, Suite G
Osterville MA 02655
(508)420-3994 (508)420-3995 fax
capesurv@ccapeod.net

Notes/Revisions:

**David & Colleen
Cappellucci**

Scale:

1" = 30'

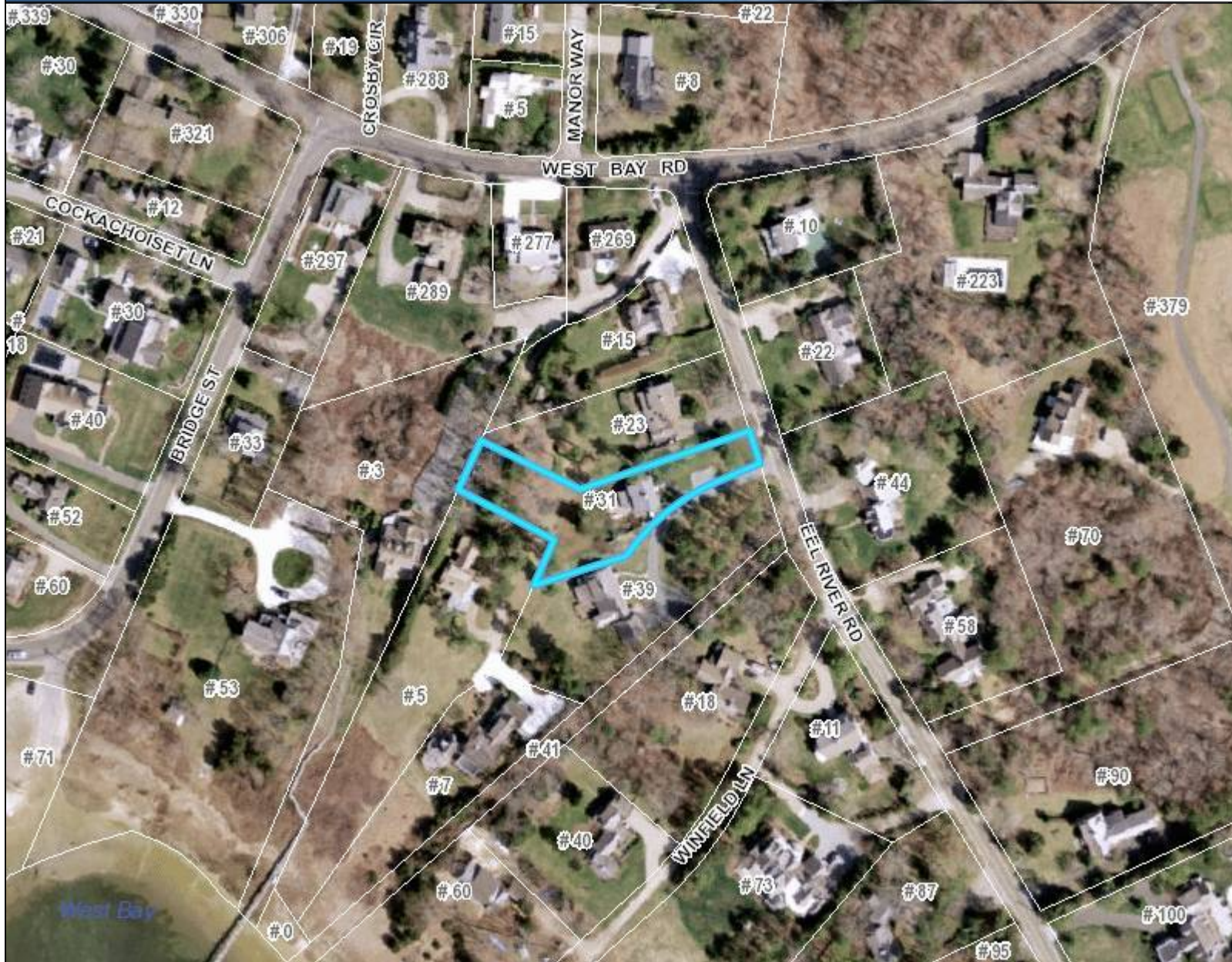
Date:
20/MAY/20

Dwg:
C331_9g1



Legend

Road Names



Map printed on: 6/10/2020



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Parcel: 116-106

Location: 31 EEL RIVER ROAD, Osterville

Owner: RAC CAPITAL LLC



Parcel
116-106
Location
31 EEL RIVER ROAD
Village
Osterville
Town sewer account
No

Developer lot:
LOT 5A
Road index
0482
Fire district
C-O-MM

Secondary road

Interactive map



Asbuilt septic scan
[116106_1](#)

Owner: RAC CAPITAL LLC

Owner RAC CAPITAL LLC	Co-Owner %CAPPELLUCCI, DAVID F & COLLEEN F	Book page 27962/ 76
Street1 227 CONCORD ROAD	Street2	
City WAYLAND	State MA	Zip 01778
		Country

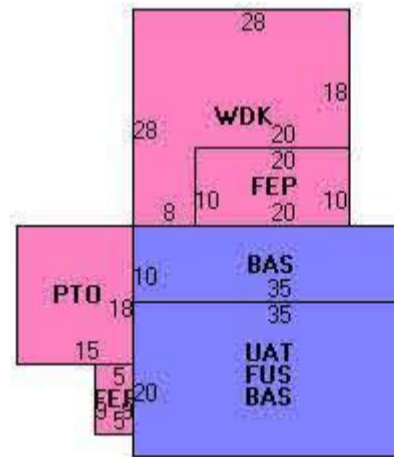
Land

Acres 0.57	Use Single Fam M-01	Zoning RC	Neighborhood 0118
Topography Level	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Septic,Gas,Public Water	Location factor Marginal View	State Zone of Contribution OUT	

Construction

Building 1 of 1

Year built 1925	Roof structure Gable/Hip	Heat type Hot Air
Living area 1750	Roof cover Asph/F Gls/Cmp	Heat fuel Gas
Gross area 3549	Exterior wall Wood Shingle	AC type Central
Style Saltbox	Interior wall Plastered	Bedrooms 4 Bedrooms
Model Residential	Interior floor Hardwood, Carpet	Bath rooms 3 Full-1 Half
Grade Average	Foundation Blk/Pour Ftgs	Total rooms 8 Rooms
Stories 2 Stories		



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
05/01/2014	Insulation	201402653	\$4,300	06/30/2014	INSULATE ATTIC

Sale History

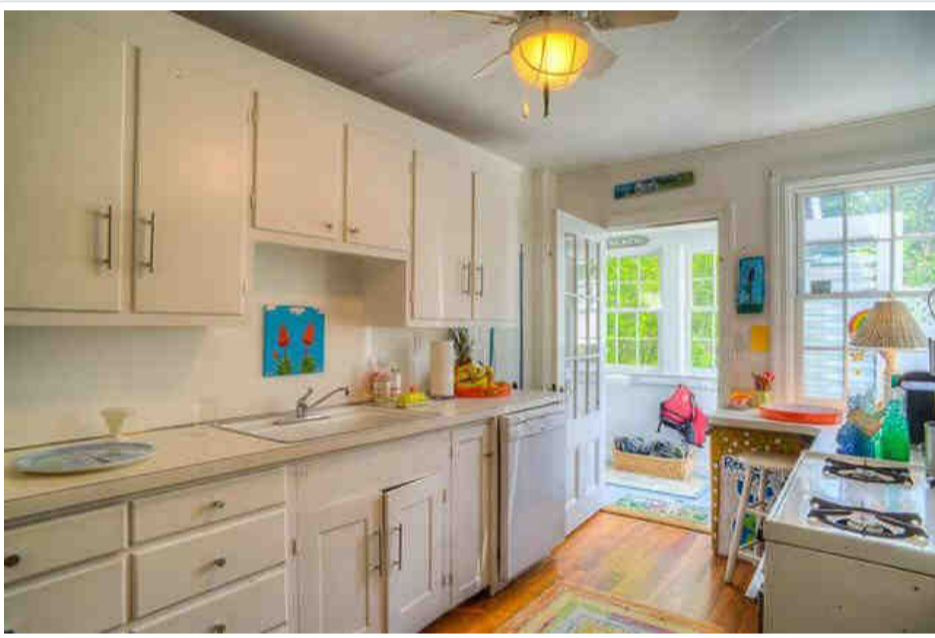
Line	Sale Date	Owner	Book/Page	Sale Price
1	01/30/2014	RAC CAPITAL LLC	27962/ 76	\$1,200,000
2	01/30/2014	CHOPE, DOUGLAS BEGG TR	27962/ 63	\$0
3	12/20/1999	CORSIGLIA, JOANNE CHOPE TR	12732/ 242	\$1,112,801
4	12/15/1992	HASH, STEPHEN P & MARY B	8369/ 72	\$1
5	11/15/1991	HASH, STEPHEN P & MARY B &	7757/ 106	\$335,000
6	09/14/1977	LANGAN, JAMES M & ELEANOR	2580/ 343	\$90,000
7	05/29/2020	CAPPELLUCCI, DAVID F & COLLEEN F	32947/ 24	\$1,025,000

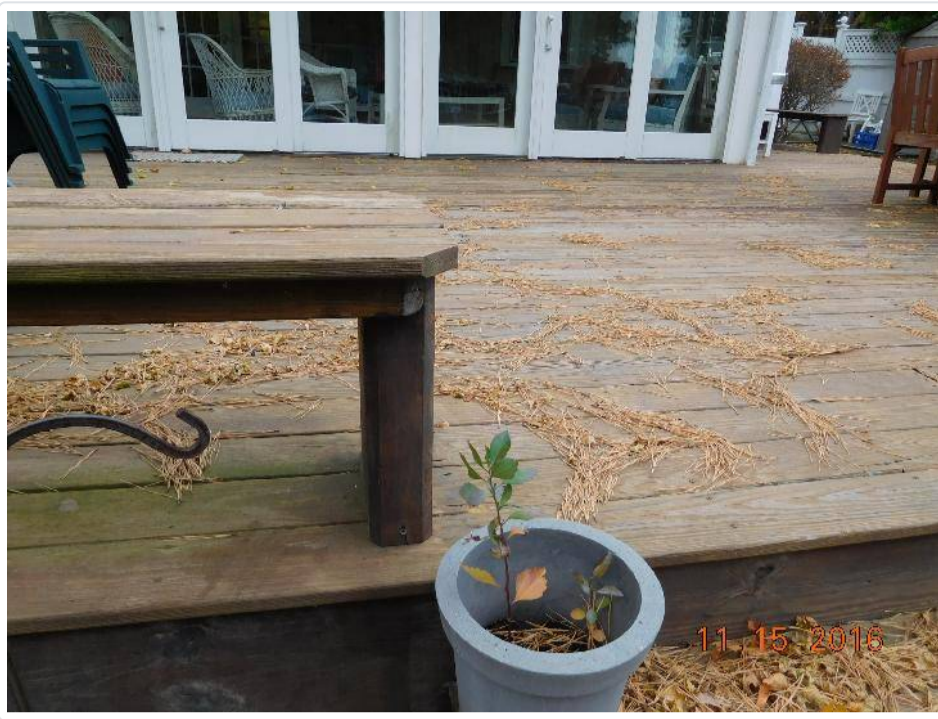
Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2020	\$159,800	\$12,400	\$4,400	\$1,014,600	\$1,191,200
2	2019	\$142,700	\$12,400	\$4,700	\$1,096,900	\$1,256,700
3	2018	\$116,800	\$12,400	\$4,900	\$1,154,600	\$1,288,700
4	2017	\$96,900	\$12,000	\$4,900	\$1,154,600	\$1,268,400
5	2016	\$96,900	\$12,000	\$4,900	\$1,142,500	\$1,256,300
6	2015	\$115,500	\$13,100	\$5,800	\$1,143,600	\$1,278,000
7	2014	\$148,300	\$12,700	\$6,000	\$1,143,600	\$1,310,600
8	2013	\$148,300	\$12,700	\$6,300	\$1,189,300	\$1,356,600
9	2012	\$151,700	\$11,700	\$4,900	\$1,143,600	\$1,311,900
10	2011	\$177,800	\$3,300	\$800	\$1,143,600	\$1,325,500
11	2010	\$178,200	\$3,300	\$1,100	\$1,143,600	\$1,326,200
12	2009	\$238,800	\$2,400	\$500	\$1,862,200	\$2,103,900
13	2008	\$238,800	\$2,400	\$500	\$1,940,700	\$2,182,400
15	2007	\$238,800	\$2,400	\$500	\$1,940,700	\$2,182,400
16	2006	\$237,300	\$2,400	\$500	\$1,853,000	\$2,093,200
17	2005	\$205,200	\$2,300	\$600	\$1,853,000	\$2,061,100
18	2004	\$181,700	\$2,400	\$600	\$838,500	\$1,023,200
19	2003	\$156,300	\$2,400	\$600	\$412,100	\$571,400
20	2002	\$156,300	\$2,400	\$600	\$412,100	\$571,400
21	2001	\$143,500	\$2,600	\$400	\$412,100	\$558,600
22	2000	\$87,600	\$2,000	\$200	\$212,400	\$302,200
23	1999	\$87,600	\$2,000	\$200	\$212,400	\$302,200
24	1998	\$87,600	\$2,000	\$200	\$212,400	\$302,200
25	1997	\$81,700	\$0	\$0	\$212,400	\$294,800
26	1996	\$81,700	\$0	\$0	\$212,400	\$294,800
27	1995	\$81,700	\$0	\$0	\$212,400	\$294,800
28	1994	\$86,400	\$0	\$0	\$223,000	\$310,100
29	1993	\$86,400	\$0	\$0	\$223,000	\$310,100
30	1992	\$98,500	\$0	\$0	\$247,800	\$347,100
31	1991	\$117,600	\$0	\$0	\$247,800	\$366,200
32	1990	\$117,600	\$0	\$0	\$247,800	\$366,200
33	1989	\$117,600	\$0	\$0	\$247,800	\$366,200
34	1988	\$102,300	\$0	\$0	\$146,700	\$249,600
35	1987	\$110,800	\$0	\$0	\$146,700	\$258,100
36	1986	\$128,400	\$0	\$0	\$158,000	\$287,000

Photos







Historical Commission Abutter List for Map & Parcel(s): '116106'

All property owners within 300 feet of the subject property's boundaries

Total Count: 25



Close

Map & Parcel	Owner1	Owner2	Address1	Address 2	Mailing CityStateZip	Country Deed
116087	SWEENY, BARBARA J		PO BOX 483		OSTERVILLE, MA 02655	28715/ 338
116088	CALDWELL, EDWARD F & CHRISTIANE G		194 MAIN STREET		WEST BARNSTABLE, MA 02668	30336/ 299
116089	DAY, BRIAN R & JILL C		22 EEL RIVER ROAD		OSTERVILLE, MA 02655	30220/ 199
116090	DWORKIS, PAUL S & DEBRA S TRS	44 EEL RIVER TRUST	44 EEL RIVER ROAD		OSTERVILLE, MA 02655	32500/ 109
116091	BERGIN, JOHN F TR	EBB REALTY TRUST	58 EEL RIVER ROAD		OSTERVILLE, MA 02655	#D1236089
116092	MCCARTHY, PATRICIA J.		PO BOX 541		OSTERVILLE, MA 02655	C215803
116099	LAROCHELLE, LIONEL E & MOLLY B		4995 GLENBROOK RD., NW		WASHINGTON, DC 20016	25050/ 201
116100	CHRISTOPHER, MARK M TR	27 WINFIELD LANE REALTY TRUST	C/O GOULSTON & STORRS	400 ATLANTIC AVENUE	BOSTON, MA 02110	24551/ 201
116101	ROSIELLO, BARBARA MULLIN		300 BOYLSTON STREET UNIT 604		BOSTON, MA 02116	C196327
116102	HOWARD, SANDRA L TR	SANDRA L HOWARD 2019 LIVING TRUST	40 WINFIELD WAY		OSTERVILLE, MA 02655	32014/ 124
116103	VANWINKLE FAMILY PARTNERSHP		PO BOX 286		OXFORD, MD 21654	8921/ 74
116104	7 EEL RIVER ROAD LLC		144 WEST NEWTON STREET		BOSTON, MA 02118	28030/ 282
116105	ARMSTRONG, EDWARD A JR & ANN L H		1245 SHALLOWELL RD		MANAKIN SABOT, VA 23103	17816/ 176
116106	RAC CAPITAL LLC		3 HUNDREDS ROAD		WELLESLEY, MA 02481	27962/ 76
116107	CLEARY, ANNE T TR	ANNE T CLEARY REV TRUST 2004	680 SOUTH AVENUE APT 8		WESTON, MA 02493	31529/ 145
116108	DEL COL, ROBERT & JUDITH A		15 EEL RIVER ROAD		OSTERVILLE, MA 02655	6377/ 42
116109	CAPPELLUCCI, DAVID F & COLLEEN F		227 CONCORD ROAD		WAYLAND, MA 01778	27936/ 305
116110	RAGOSA, C JERRY & RAGOSA, MARY M TRS	RAGOSA REALTY TRUST	277 WEST BAY ROAD		OSTERVILLE, MA 02655	31176/ 69
116111	CANZANO, ROBERT A & JOAN M TRS	JOAN M CANZANO REV TRUST	256 BEACON ST., UNIT #3		BOSTON, MA 02116	26405/ 253
116112	EEL RIVER ROAD FAMILY LLC		24 ROTHERWOOD ROAD		NEWTON, MA 02459	C209507
116113	BANKS, TRACY J TR	TRACY J BANKS TRUST	329 ROLLINS ROAD		HOPKINTON, NH 03229	28656/ 74
116115	PAPADELLIS, RANDY C & CATHY A SMITH-		11 WESTCOTT DRIVE		HOPKINTON, MA 01748	22823/ 131
116117	PERKINS, WAYNE A		33 BRIDGE STREET		OSTERVILLE, MA 02655	14433/ 10
116118	BURKE, EDMUND J & MARY E		5284 E MINERAL LANE		CENTENNIAL, CO 80122-4016	C195902
116134	SWEENY, ALLEN NEIL JR		PO BOX 483		OSTERVILLE, MA 02655	11110/ 71

This list by itself does NOT constitute a certified list of abutters and is provided only as an aid to the determination of abutters. If a certified list of abutters is required, contact the Assessing Division to have this list certified. The owner and address data on this list is from the Town of Barnstable Assessor's database as of 6/3/2020 .

To: Erin Logan
Barnstable Historical Commission

FROM: Regina Sullivan

Date: May 15, 2020

RE: Fortuna Realty Trust, 468 Wianno Avenue, Osterville, MA
Filing for deck replacement and expansion



In accordance with your instruction in conjunction with my Notice of Intent application dated May 15th relating to the replacement of deteriorated existing decking, existing stairs with new deck, patio with decking and new decking for the Great Room, please find enclosed:

- 20 stamps;
- Check to the Town of Barnstable for \$100.00;
- Check to the Barnstable Patriot for \$35.00;
- Copy of Notice of Intent for May 21, 2020;
- Copy of December hearing and decision
- Certified copy of site plan; and
- Sketch of new decking

Please let me know if you need any additional materials or have questions.

Thank you very much

Regina Sullivan
T- 617-721-1198



TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 5/15/2020 Full Demotion Partial Demolition

Building Address: 408 Wianno Avenue
Number Street

Osterville MA 02481 Assessor's Map # 103 Assessor's Parcel # 003
Village ZIP

Property Owner: Regina C Sullivan, Fortuna Realty Trust, William Littlefield
Name Phone#

Property Owner Mailing Address (if different than building address) 8 Monardnock Rd
Wellesley Hills, MA 02481

Property Owner e-mail address: sullivanregina@comcast.net

Contractor/Agent: Homeowner is project manager for renovation

Contractor/Agent Mailing Address: SAME

Contractor/Agent Contact Name and Phone #: Regina Sullivan 617-721-1198
Name Phone #

Contractor/Agent Contact e-mail address: _____

Demolition Proposed - please itemize all changes:

*For the Commission's reference
 Please see application dated 12/17/19 and decision dated 12/24/2019*

*Replace decking; add decking in place of stairs; add decking
 at Great Room and patio area.*

Type of New Construction Proposed: *New decking; replace existing
 decking*

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1874 Additions Year Built: 1940 - Porch enclosure
1970 Great Room

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
 No Yes

Regina Sullivan
 Property Owner/Agent Signature



TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

DO NOT TIME STAMP THIS SHEET

Town Clerk's stamp is to be placed on the first page of the application which is page 2 of this packet.

Thank you.

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING
Application Requirements

Application – 3 Copies Complete all sections of the application form including "detail of demolition proposed" and "type of new construction proposed" narratives. Three copies of the application shall be submitted to and stamped by the Town Clerk at 367 Main Street, Hyannis. One copy of the application remains with the Clerk, two copies shall then be filed with the Barnstable Historical Commission, at 200 Main Street, Hyannis. **Please be sure to stamp the application, not this checklist.**

Supporting Materials – 3 Copies

Photographs Include photos of:
Each elevation where demolition is proposed
Structure from all abutting streets

Site Plan A plan showing:
All structures on the lot
All proposed demolition, additions or changes to those structures
Existing structure footprint
Proposed structure footprint

Elevations Detailed elevations of all building facades outlining existing and proposed. An existing floor plan must be included **highlighting** the areas to be demolished. **(please provide ^{two} large scale and three 11X17 copies of the plans)**

\$100 Filing Fee \$100 fee shall be submitted with the application. Check made payable to the Town of Barnstable.

\$34.50 Advertising Fee The applicant shall pay the cost of the required two advertisements in the local newspaper. Check made payable to the Barnstable Patriot.

Postage Stamps First class postage stamps are required for abutter notification. Commission support staff in the Planning & Development Department will provide the number of stamps required.

****Should the Barnstable Historical Commission Chair determine that a hearing is not required, both the Barnstable Patriot fee and postage stamps will be returned to the applicant****

ADDITIONAL INFORMATION

- To prevent delays in processing, please provide all requested information with the application
- The applicant or a representative must be present at the public hearing

Please contact the Planning & Development Department at 200 Main Street, Hyannis,
(508) 862-4787 or contact Erin Logan at erin.logan@town.barnstable.ma.us with any questions



Town of Barnstable
Barnstable Historical Commission

www.town.barnstable.ma.us/historicalcommission

Commission Members

Nancy Clark - Chair • Nancy Shoemaker - Vice Chair • Marilyn Fifield - Clerk
Elizabeth Mumford • George Jessop, AIA • Cheryl Powell • Frances Parks • Jack Kay, Alternate

Administrative Assistant

Erin K. Logan, erin.logan@town.barnstable.ma.us

AGENDA

Tuesday, December 17, 2019, 4:00PM

Selectmen's Conference Room, Town Hall, 2nd Floor, 367 Main St., Hyannis

Call to Order

Notice of Recording

Please note that this meeting is recorded and broadcast on Channel 18 in accordance with MGL Chapter 30A §20. I must inquire whether anyone is taping this meeting and to please make their presence known.

Acting under the provisions of the Code of the Town of Barnstable, ss 112-1 through 112-7, the Historical Commission will hold a Public Hearing on the following applications. The following Applications have been determined significant and were referred to a Public Hearing:

Applications

Hyannis Rotary, LLC, c/o Ford and Ford Attorneys at Law, 10 Hyannis Avenue, Hyannis Port, Map 287, Parcel 131, GB Holbrook House, built c.1905, contributing structure in the Hyannis Port Historic District

Partial demolition of the Water Tower - remove portions of lower water tower structure and reconstruct; top section of water tower to be removed and placed on a newly reconstructed lower portion; remove and replace all stucco

Sorenson, Christopher & Christine, 639 Scudder Avenue, Hyannis Port, Map 287, Parcel 049, Eleazer Scudder House, built c.1762, contributing structure in the Hyannis Port Historic District

Partial demolition construct widow's walk at the east elevation to include spiral staircase, standard exterior staircase and deck

Wachusett PCK, LLC, 90 Wachusett Avenue, Hyannis Port, Map 287, Parcel 084, Arts and Craft, built c.1880, contributing structure in the Hyannis Port Historic District

Full Demolition

Malvern Realty, LP, 468 Wianno Avenue, Osterville, Map 163, Parcel 003, Granny's Annex, Mrs. Henry W. Wellington House, built 1874, contributing structure in the Wianno Historic District

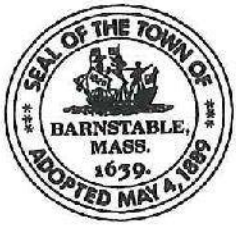
Partial demolition east elevation- portion of structure to be removed and reconstructed, remove deck stairs & railing, close opening, replace & remove some windows & doors; west elevation- remove columns; replace & remove some windows & doors; south elevation - remove and replace windows; north elevation - remove portions of deck, remove stairs, remove gable vent, replace and remove some window & doors

Other

- Preservation Award discussion and possible vote of sub-committee
- Community Preservation Committee Update
- Discussion of upcoming historical events open to the public

Approval of Minutes November 19, 2019

Matters not reasonably anticipated by Chair



Town of Barnstable
 Planning & Development Department
 Barnstable Historical Commission
 200 Main Street, Hyannis, Massachusetts 02601
 (508) 862-4787 Fax (508) 862-4784
erin.logan@town.barnstable.ma.us



19 DEC 26 P1:33

BARNSTABLE
TOWN CLERK

Commission Members
 Nancy Clark, Chair Nancy Shoemaker, Vice Chair Marilyn Fifield, Clerk
 George Jessop, AIA Elizabeth Mumford Cheryl Powell Frances Parks Jack Kay, Alternate

DECISION

Summary: Demolition Delay Not Imposed Pursuant to Chapter 112 Historic Properties, Section 112-3 F

Applicant/Property Owner: Fortuna Nominee Trust, William Litchfield Trustee c/o Regina Sullivan
Subject Property: 468 Wianno Avenue, Osterville
Assessor's Map/Parcel: 163/003/000
Hearing Date: December 17, 2019

Pursuant to the Barnstable Historical Commission receiving your notice of intent on November 21, 2019, a duly advertised and noticed public hearing was held on December 17, 2019 to determine whether the significant structure identified as a single family structure on this property is a preferably preserved significant building and whether demolition delay would be imposed for the partial demolition of this structure on the parcel addressed as 468 Wianno Avenue, Osterville.

After review and consideration of public testimony, application and record file, the Commission by a unanimous vote, found that the actions proposed do not constitute a substantial alteration and would not jeopardize the historic structures' status as a contributing structure in a National Register Historic as defined in §3 of the Cape Cod Commission Development of Regional Impact Review Threshold.

In addition, after further review and consideration of public testimony, application, and record file accordance with Chapter 112F, the Commission found, by a unanimous vote, the partial demolition of the single family structure is not a preferably preserved significant building.

In accordance with Chapter 112-3 F, the Commission determined by a unanimous vote, that the partial demolition of the single family structure would not be detrimental to the historical, cultural or architectural heritage or resources of the Town.

This decision applies only to the demolition described in the notice of intent submitted on November 21, 2019. No future demolition shall be permitted without application and approval from the Barnstable Historical Commission.



 Nancy Clark, Chair 12-20-19
Date

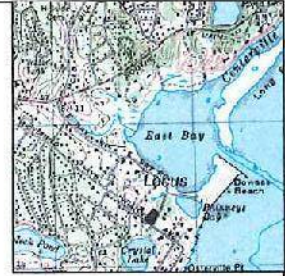
cc: Brian Florence, Building Commissioner
 Ann Quirk, Town Clerk



N/F
Graig W Diokaley 111 & Youn K Blakley
C217534

S53°25'30"E
142.04'

LCB
Ind



Locus Map
1: = 2,000+SF

ASSESSORS REF.:
Map 163, Parcels 003

FLOOD ZONE:
Zones X, 0.2% & AE(EL12)
See FEMA Map
#25001 C07761J
July 16, 2014

ZONE:
RF1
Area (min) 87,120 SF (NPOD)
Frontage (min) 20'
Width (min) 125'
Setbacks:
Front 30'
Side 15'
Rear 15'

Lot A
59,129±SF

FEMA Zone Lines
As Shown On
Map 25001C0776J
dtl. 07/16/2014

N/F
Priscilla P Morphy
C178692

N41°37'30"E
335.86'

AE(EL12)
FEMA Zone
0.2% Chances

AE(EL12)
FEMA Zone
X

Garage
Slab=16.8"

Pool

Wood Deck

Approx Septic System
As Per As-Built Card

#168
2 sty w/f
Dwelling

East Bay Road
(40' Wide - Public Way)

Wianno Avenue
(60' Wide - Public Way)

NOTES:

- 1.) The structures shown were located on the ground by conventional survey methods on 28/MAY/19 and comply with the setback requirements of the Zoning Bylaws of the Town of Barnstable.
- 2.) The property line information shown hereon was compiled from available record information.
- 3.) This plan is not for recording and is not to be used for construction layout or deed description purposes.



PLOT PLAN
At 468 Wianno Avenue
Barnstable
(Osterville)
MASS.

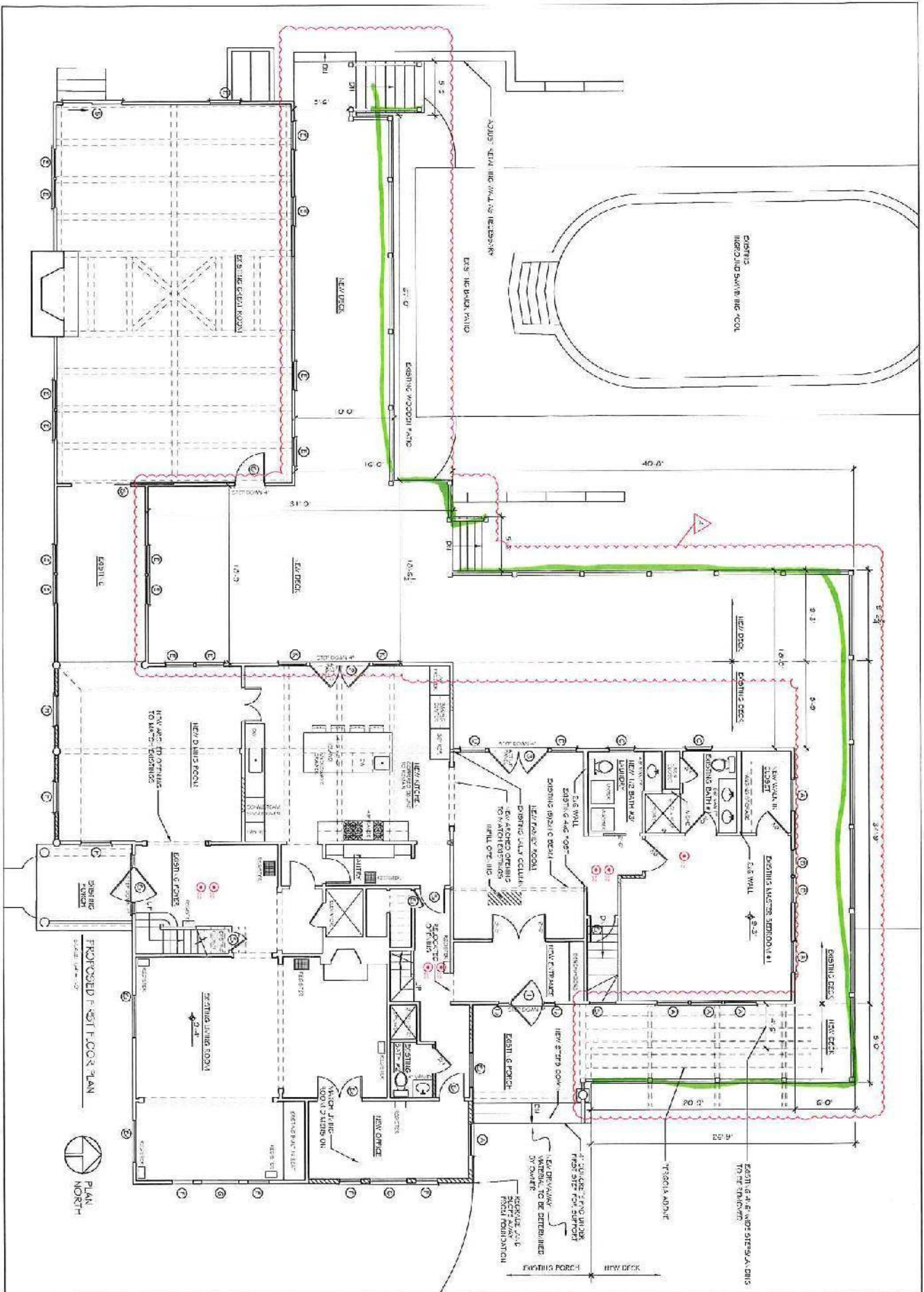
DATE: 19/JUN/2019 SCALE: 1"=30'
0 15 30 45 60 FEET

PREPARED FOR:
Regina Sullivan

PREPARED BY:
CapeSurv
23 West Bay Rd, Ste G
Osterville MA 02655
(508) 420-3994 / 420-3995fax

DWG #: C146_601

FIELD BY: WHK/ASK



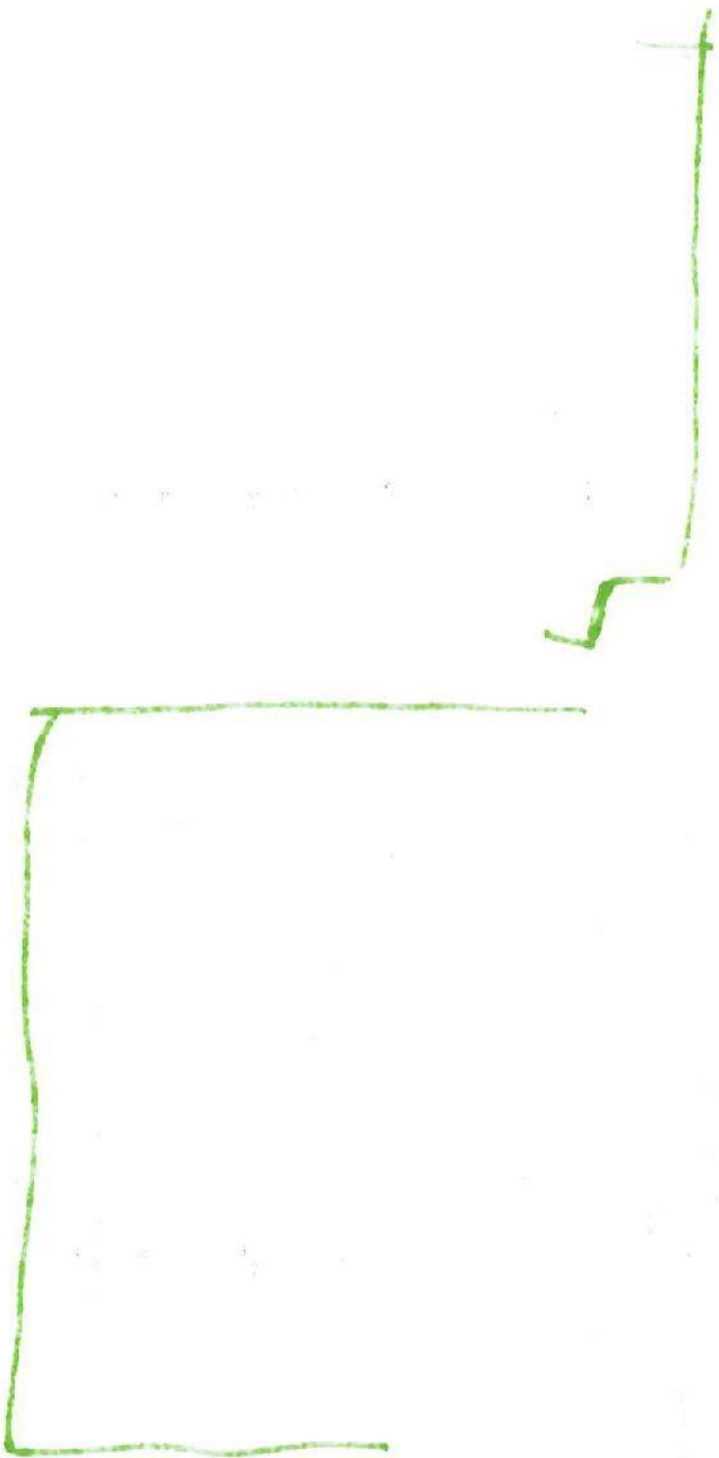
A-2

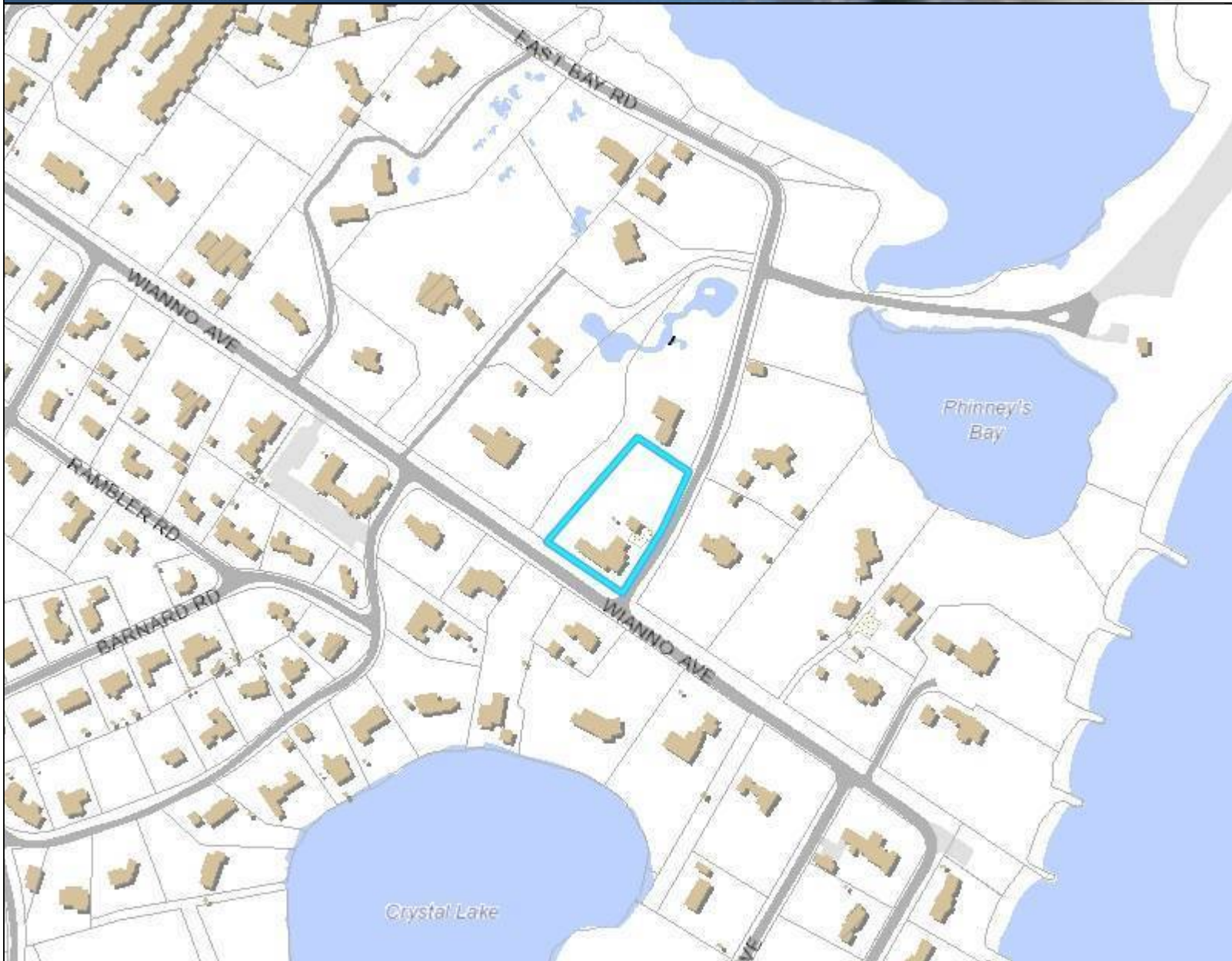
Proposed First Floor Plan

Sullivan Residence
468 Wainio Avenue, Osterville, MA 02655

Date: 10.14.2019
 Rev: 11.30.2019
 Rev: 01.14.2020
 Rev: 02.10.2021
 Rev: 03.07.2022

LA CASA Studio
 PO Box 106 - Harwich, MA 02645
 Phone: (508) 308 86 4





Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Parking Lots
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Water Bodies

Map printed on: 6/3/2020



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

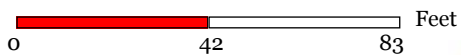
gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 6/3/2020



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

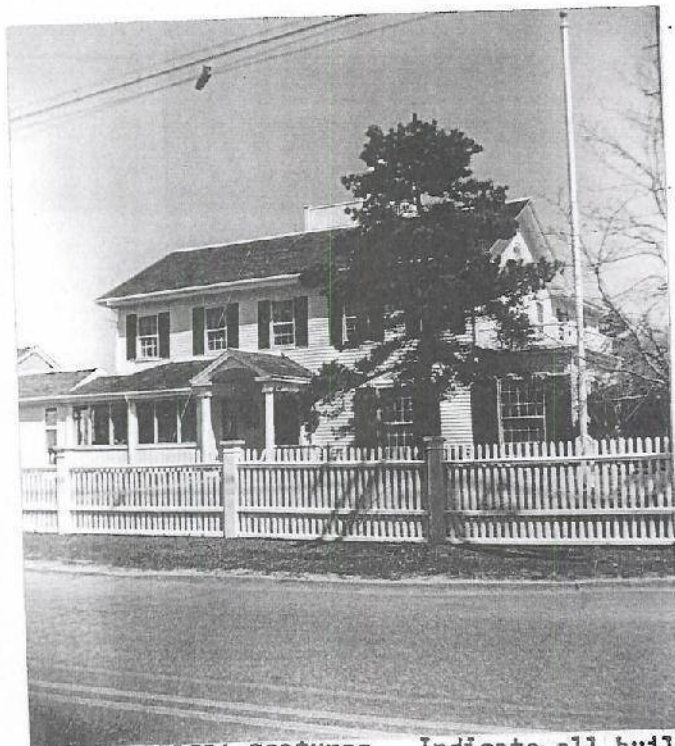
508-862-4624

gis@town.barnstable.ma.us

FORM B - BUILDING

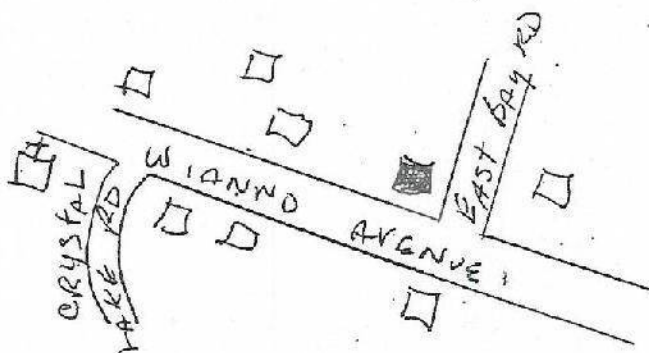
163/003

MASSACHUSETTS HISTORICAL COMMISSION
80 BOYLSTON STREET
BOSTON, MA 02116



Location
or

geographical features. Indicate all buildings
between inventoried property and nearest
intersection(s).
Indicate north



RECEIVED

FEB 07 2000

MASS. HIST. COMM
UTM REFERENCE _____

USGS QUADRANGLE _____

SCALE _____

Photo #125-151-C55

BRN 757
757
AREA BRN 757 FORM NO.
163/3
OVC 55 151
J.N

Town Barnstable(Osterville)

Address 468 Wianno Ave.

Historic Name Granny's Annex

Mrs. Henry W. Wellington House

Use: Present residence

Original residence

DESCRIPTION

Date 1874

Source Registry of Deeds

Style Colonial Revival

Architect unknown

Exterior Wall Fabric clapboard

Outbuildings Garage

Major Alterations (with dates) 1920s

modernized, porches enclosed 1950,
wing added 1970

Condition good

Moved from Seaview Ave. (162/25) Date 1888

Acreage 1.33

Setting corner lot residential area
part of Wianno Historic District

Cont. Bldg. Wianno
Nat'l Register District

Recorded by Barbara Crosby

Organization Barnstable Historical C

Date 1983, revised 1998

NATIONAL REGISTER CRITERIA STATEMENT (if applicable)

Ben 757

Part of Wianno Historic District

ARCHITECTURAL SIGNIFICANCE Describe important architectural features and evaluate in terms of other buildings within the community.

This house has been substantially altered and moved since its construction in 1874, and now reflects the Colonial Revival style. It is a 2 story, five bay, gable roofed structure with a center entry and chimney. During the 20th century, a two story ell was added to the rear elevation, a sunporch was added to the south side elevation, and a Tuscan portico extending northward across the facade, was added over the entry. A handsome wooden picket fence sets the house off from the street.

HISTORICAL SIGNIFICANCE Explain the role owners played in local or state history and how the building relates to the development of the community.

In 1873 a large elegant hotel, the Cotochesett (162/24), was built in the village on Nantucket Sound and the first person to build a summer home in this lovely area of Cape Cod was Henry W. Wellington, a cotton merchant of Wellington Bros. & Co., Boston. In December of that year he purchased land (162/25) on Sea View Ave. close by the hotel and built this house. In 1888 he and his wife, Lydia, wishing to build a larger house on the property, the Henry W. Wellington House (BHC65), had this house moved to this land and called it "Granny's Annex". An ell of the original house was moved across from the site on Sea View Ave. for use as a guest house. It was torn down in 1984. The Wellingtons, who lived in Newton, Ma., had three children, Martha, Henry, Jr. and Dr. Anna C. Wellington, a psychiatrist. When Mr. Wellington died William Lloyd Garrison, Jr., his close friend and neighbor, stated that he was "the founder and patriarch of the small colony on the lovely shore of the Cape bound together by a common sympathy and common aim". After Mrs. Wellington's death, Dr. Anna Wellington acquired the property from her siblings and in 1919 sold it to Andrew Adie, of Brookline, president of the Scotia Worsted Mills, Strathmore Worsted Mills, Moore Spinning Co., United States Worsted and proprietor of the Saxony Worsted Mills in Boston who "fixed it up for his daughter", Rosamond. Mr. Adie modernized the house, put in "the largest pane of glass on Cape Cod" and added a widow's walk with an elevator. It remained in the Adie family until 1941 and since then, with the exception of five years, has been owned by off-Cape summer residents.

BIBLIOGRAPHY and/or REFERENCES

Atlas - 1880, 1907 Registry of Deeds, Registry of Probate
History of Barnstable County, Ma. 1890 Simeon Deyo
Barnstable, Three Centuries of a Cape Cod Town, 1939 Donald Trayser
Osterville Vol I 1988 Paul Chesbro

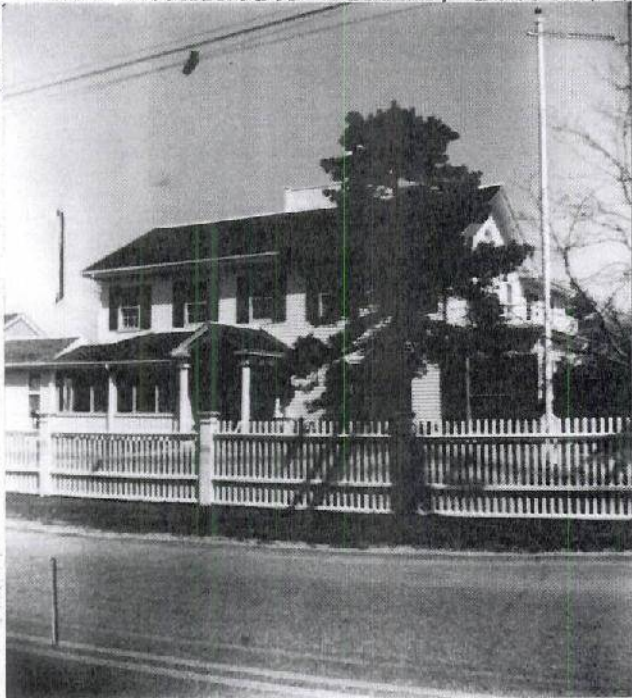
FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
294 WASHINGTON STREET, BOSTON, MA 02108

MRA-D-11/10/87

AREA	FORM NO.
OVC J, N	55-757

BRN 757



SKETCH MAP

Show property's location in relation to nearest cross streets and/or geographical features. Indicate all buildings between inventoried property and nearest intersection. Indicate north.



Town Barnstable (Osterville/Wianno)

Address 468 Wianno Ave.

Historic Name Mrs. Henry Wellington House/
Granny's Annex

Use: Present dwelling

Original same

DESCRIPTION:

Date 1873-74

Source Registry of Deeds

Style Colonial Revival

Architect unknown

Exterior wall fabric clapboard

Outbuildings garage

Major alterations (with dates) _____

modernized 1920s; porches enclosed 1950;
wing added 1970

Moved from Seaview Ave. Date 1895-96

Approx. acreage 1.33

Setting residential seaside resort area

part of Wianno H.D.

Recorded by Barbara Crosby

Organization Barnstable Historical Comm.

Date November 1983

Photo #125-151-355

(Staple additional sheets here)

Barn 757

ARCHITECTURAL SIGNIFICANCE (Describe important architectural features and evaluate in terms of other buildings within the community.)

This house has been substantially altered and moved since its construction in 1873-74. and now reflects the Colonial Revival style. It is a 2 story, five bay, gable roofed structure with a center entry and chimney. During the 20th century, a two story ell was added to the rear elevation, a sunporch was added to the south side elevation, and a Tuscan portico extending northward across the facade, was added over the entry. A handsome wooden picket fence sets the house off from the street

HISTORICAL SIGNIFICANCE (Explain the role owners played in local or state history and how the building relates to the development of the community.)

This house was constructed in 1873-74 on Seaview Avenue. It was moved to the current location in 1895-96, and deeded over to Mrs. Henry Wellington. It was called "Granny's Annex" at the time. It was one of the first houses constructed in Wianno.

BIBLIOGRAPHY and/or REFERENCES (name of publication, author, date and publisher)

Barnstable County Atlases. - 1880, 1907.

Barnstable County Registry of Deeds and Probate.

Deyo, Simeon. History of Barnstable County. 1890.

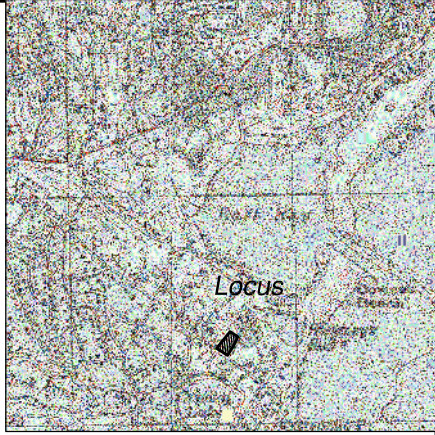
Trayser, Donald G. Barnstable, Three Centuries of a Cape Cod Town. 1939.



N/F
Gerald W Blakeley 111 & Youn K Blakeley
C217334

S53°25'30"E
142.04'

LCB
Fnd



Locus Map

1: = 2,000±SF

ASSESSORS REF.:

Map 163, Parcels 003

FLOOD ZONE:

Zones X, 0.2%, & AE(EL12)
See FEMA Map
#25001 C07761J
July 16, 2014

ZONE:

RF1
Area (min.) 87,120 SF (RPOD)
Frontage (min) 20'
Width (min) 125'
Setbacks:
Front 30'
Side 15'
Rear 15'

Lot A
59,129±SF

FEMA Zone Lines
As Shown On
Map 25001C0776J
eff. 07/16/2014

AE(EL12)
FEMA Zone
0.2% Chance

AE(EL12)
FEMA Zone
X

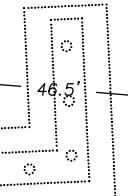
N/F
Priscilla P Morphy
C176692

N41°37'30"E
335.86'

58.8'

Pool

Garage
Slab=16.8"



Approx Septic System
As Per As-built Card

Wood Deck
sill=25.6'

Wood Deck

#468
2 sty w/f
Dwelling

28.0'

58.2'

39.4'

178.67'
S34°38'35"W

East Bay Road
(40' Wide - Public Way)

202.71'
S55°12'00"E

LCB
Fnd

Wianno Avenue
(60' Wide - Public Way)

NOTES:

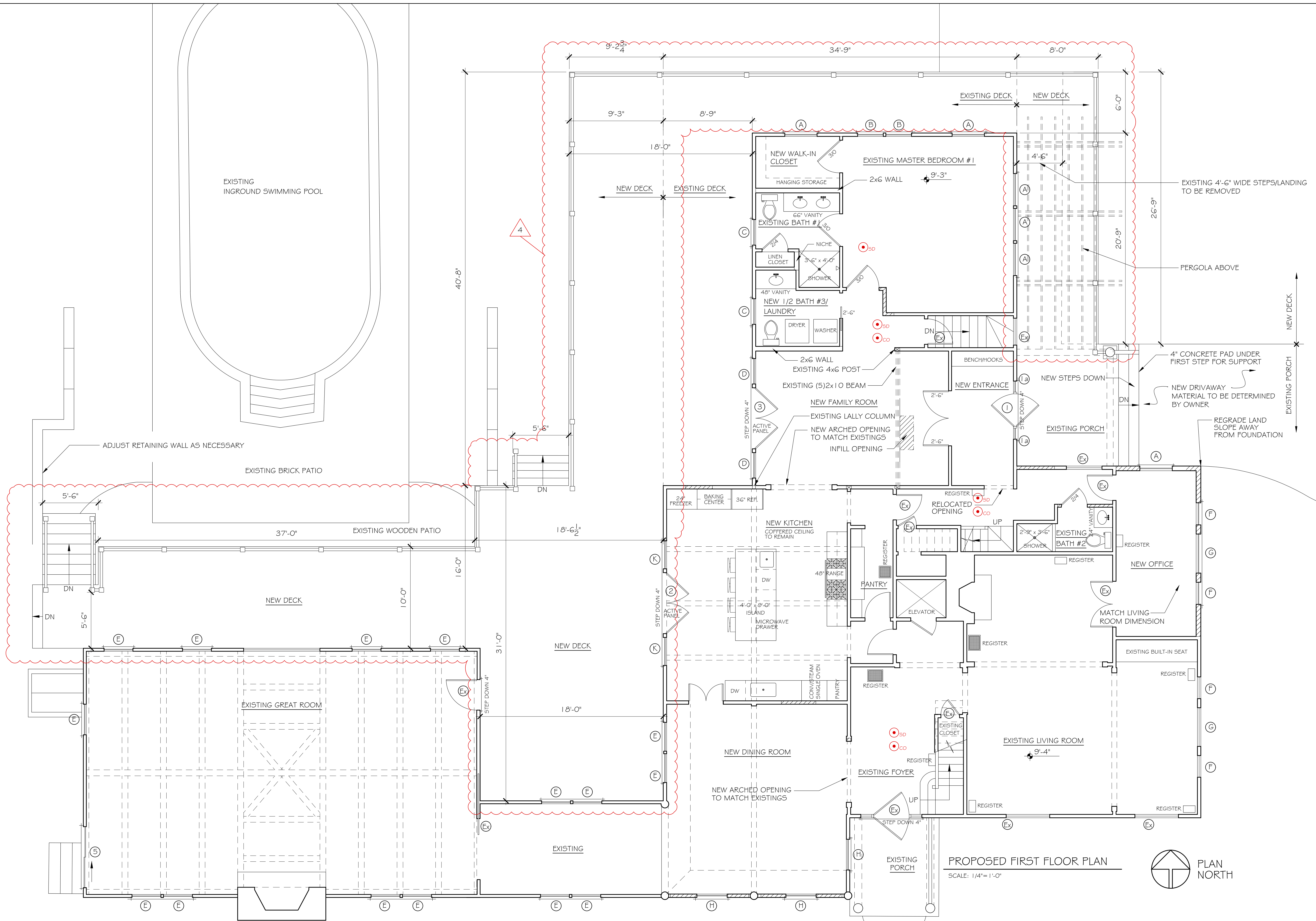
- 1.) The structures shown were located on the ground by conventional survey methods on 28/MAY/19 and comply with the setback requirements of the Zoning Bylaws of the Town of Barnstable.
- 2.) The property line information shown hereon was compiled from available record information.
- 3.) This plan is not for recording and is not to be used for construction layout or deed description purposes.



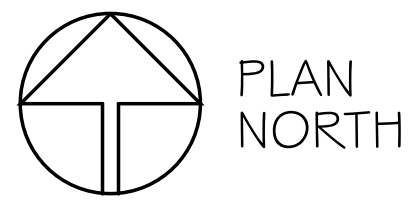
PLOT PLAN
At 468 Wianno Avenue
Barnstable
(osterville)
MASS.
DATE: 19/JUN/2019 SCALE: 1"=30'
0 15 30 45 60 FEET

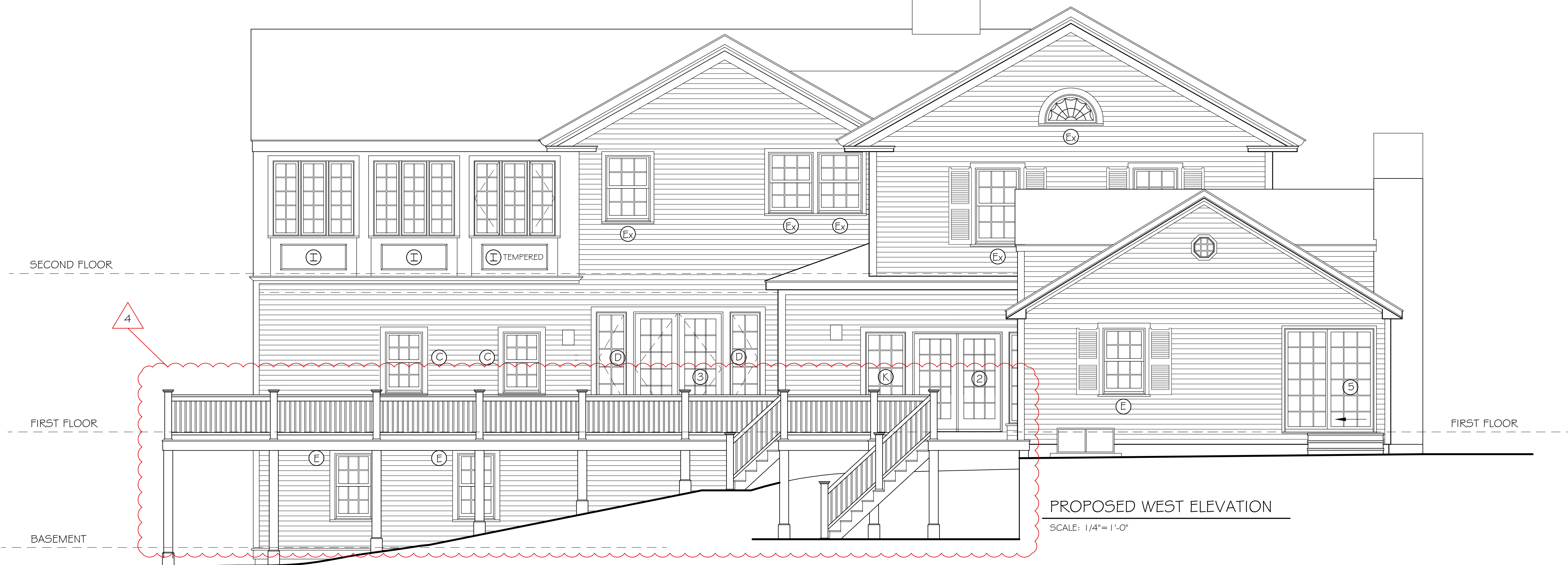
PREPARED FOR:
Regina Sullivan

PREPARED BY:
CapeSurv
23 West Bay Rd, Ste G
Osterville MA 02655
(508) 420-3994 / 420-3995 fax



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



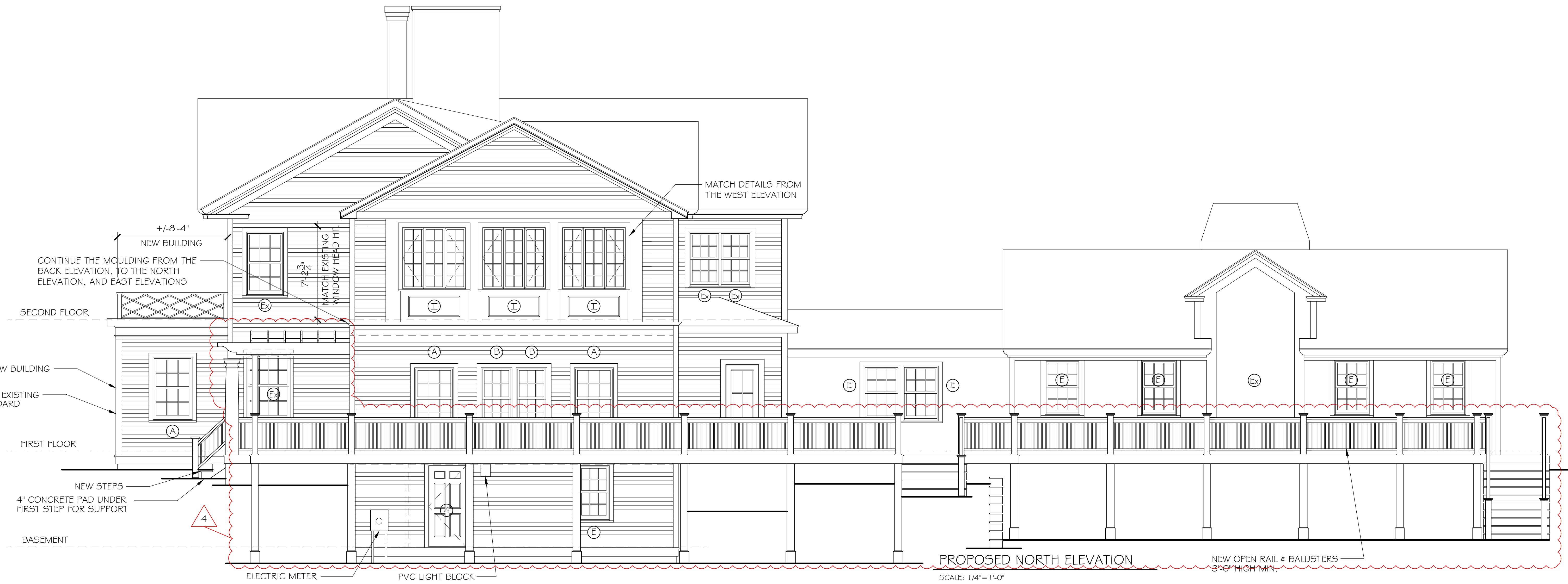




MATCH EXISTING CLAPBOARD

PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



MATCH DETAILS FROM THE WEST ELEVATION

PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

MATCH EXISTING CLAPBOARD; ALL SIDES

NEW OPEN RAIL & BALUSTERS
3'-0" HIGH MIN.

June 10, 2020

Barnstable Planning Board
c/o Ms. Elizabeth Jenkins, Director
367 Main Street
Hyannis MA. 02601
508-862-4064
elizabeth.jenkins@town.barnstable.ma.us

Subject: Invitation to Comment
204799 / CAPE HIGHWAY MA
2049 Meetinghouse Way, West Barnstable, Barnstable County, Massachusetts 02668
EBI Project #6120004909

Dear Ms. Jenkins:

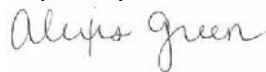
Pursuant to Section 106 of the National Historic Preservation Act, the regulations promulgated thereunder and interagency agreements developed thereto, EBI Consulting, Inc., on behalf of American Tower Corporation, provides this notice of a proposed telecommunications facility installation at the address listed above.

EBI would like to inquire if you would be interested in commenting on this proposed project. Please refer to the attached project plans for additional details regarding this proposed project.

Please note that we are requesting your review of the attached information as part of the Section 106 process only and not as part of the local zoning process. We are only seeking comments related to the proposed project's potential effect to historic properties.

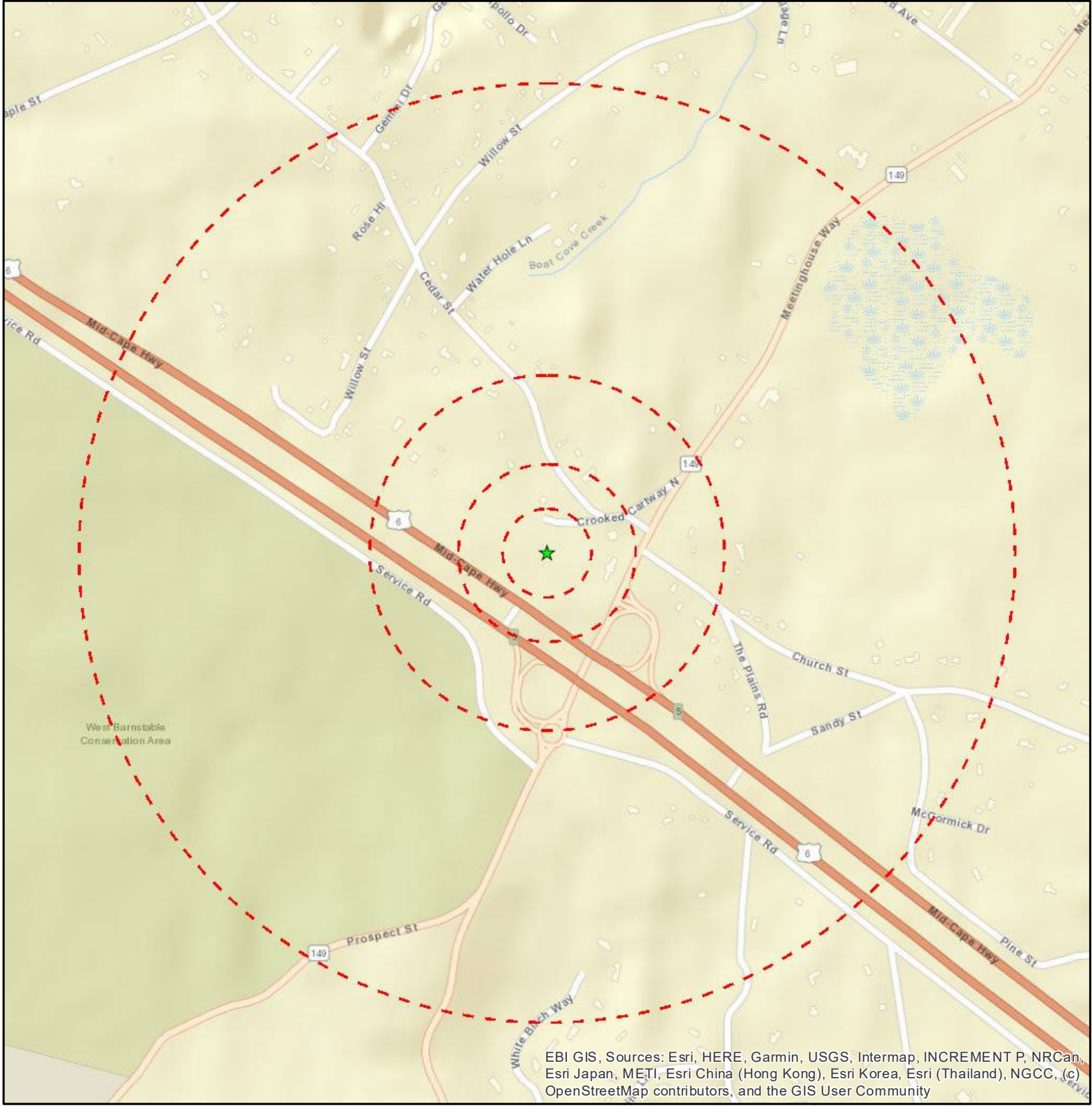
Please submit your comments regarding the proposed project's potential effect on historic properties to EBI Consulting, to my attention at 21 B Street, Burlington, MA 01803, or contact me via telephone at the number listed below. Please reference the EBI project number. We would appreciate your comments as soon as possible within the next 30 days. Please do not hesitate to contact me if you have any questions or concerns about the proposed project.

Respectfully Submitted,



Ms. Alexis Green
Assistant Technical Director – Cultural Resources
agreen@ebiconsulting.com
T (585) 815-3290
F (781) 425-5167

Attachments - Drawings and Maps



EBI GIS, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Legend

- ★ Project Site
- Site Radius at 250', 500', 1000' and 1/2 mile

Date: 6/2/2020

Figure 1: Site Location Map

**204799 CAPE HIGHWAY MA
2049 MEETINGHOUSE WAY
WEST BARNSTABLE, MA 02668**





EBI GIS, Copyright: © 2013 National Geographic Society, i-cubed

Legend

- ★ Project Site
- Site Radius at 250', 500', 1000' and 1/2 mile

USGS 24K Quad: Sandwich (digital), MA 1986, Hyannis (digital), MA 1986

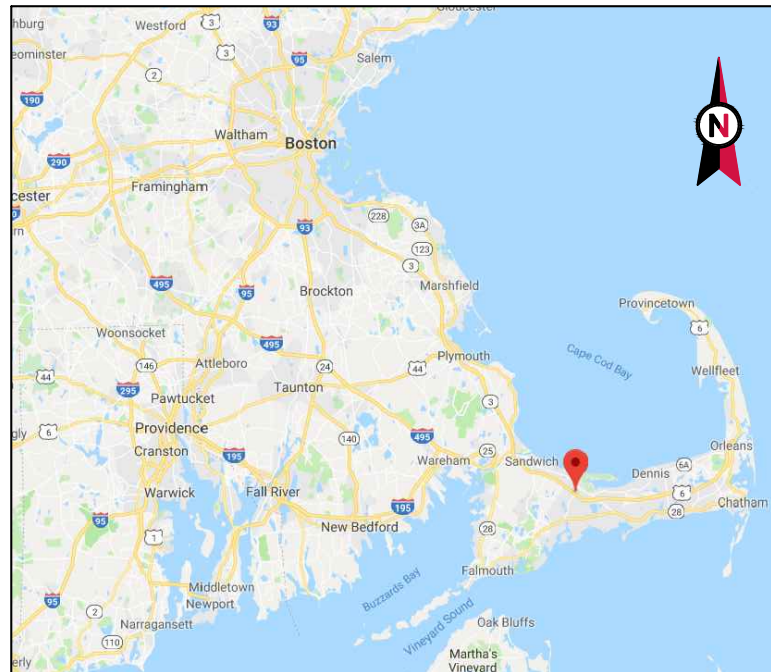
Date: 6/2/2020

Figure 2 - Topographic Map

**204799 CAPE HIGHWAY MA
 2049 MEETINGHOUSE WAY
 WEST BARNSTABLE, MA 02668**

PN: 6120004909

EBI Consulting
 environmental | engineering | design



VICINITY MAP



AMERICAN TOWER®

SITE NAME: CAPE HIGHWAY MA
SITE NUMBER: 204799
SITE ADDRESS: 2049 MEETINGHOUSE WAY
BARNSTABLE, MA 2668



LOCATION MAP

RAWLAND ZONING DRAWINGS

COMPLIANCE CODE	PROJECT SUMMARY	PROJECT DESCRIPTION	SHEET INDEX				
ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. 1. INTERNATIONAL BUILDING CODE (IBC) 2. NATIONAL ELECTRIC CODE (NEC) 3. LOCAL BUILDING CODE 4. CITY/COUNTY ORDINANCES 5. FEDERAL COMMUNICATIONS COMMISSION (FCC) 6. FEDERAL AVIATION ADMINISTRATION (FAA)	<u>SITE ADDRESS:</u> 2049 MEETINGHOUSE WAY BARNSTABLE, MA 2668 COUNTY: BARNSTABLE <u>GEOGRAPHIC COORDINATES:</u> LATITUDE: N41° 41' 53.55" LONGITUDE: W70° 23' 7.06" GROUND ELEVATION: 88.8' AMSL <u>ZONING INFORMATION:</u> JURISDICTION: TOWN OF BARNSTABLE PARCEL NUMBER: 130-017-001 ZONING DISTRICT: RF	THIS PROJECT ENTAILS CONSTRUCTION A NEW 110' MONOPOLE WITHIN A 50' X 50' COMPOUND WITH ASSOCIATED FACILITIES. PROJECT NOTES 1. THE FACILITY IS UNMANNED. 2. A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE A MONTH FOR ROUTINE INSPECTION AND MAINTENANCE. 3. FACILITY WILL MEET OR EXCEEDS ALL FAA AND FCC REGULATORY REQUIREMENTS. 4. NO SANITARY SEWER, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED. 5. HANDICAP ACCESS IS NOT REQUIRED. 6. THE FACILITY WILL NOT GENERATE NOISE IN EXCESS OF 50db AT THE PROPERTY LINES.	SHEET NO:	DESCRIPTION:	REV:	DATE:	BY:
	PROJECT TEAM <u>TOWER OWNER/APPLICANT:</u> AMERICAN TOWER CORPORATION 10 PRESIDENTIAL WAY WOBURN, MA 01801 <u>PROPERTY OWNER:</u> WEST PARISH OF BARNSTABLE 2049 CHURCH ST <u>ENGINEER:</u> ATC TOWER SERVICES 3500 REGENCY PARKWAY SUITE 100 CARY, NC 27518 <u>TENANT:</u> T-MOBILE	PROJECT LOCATION DIRECTIONS FROM BOSTON, MA: GET ON I-93 S FROM SUDBURY ST. FOLLOW I-93 S AND MA-3 TO US-6 W IN BARNSTABLE. SITE IS OFF MEETINGHOUSE WAY	G-001	TITLE SHEET	0	04/10/20	NRP
SURVEY INFORMATION 1. TOPOGRAPHY AND BOUNDARY INFORMATION WAS OBTAINED FROM SURVEY PLAN DATED 04/04/18 BY TECTONIC ENGINEERING.			V-101	EXISTING CONDITIONS			
UTILITY COMPANIES POWER COMPANY: TBD TELEPHONE COMPANY: TBD			V-102	EXISTING CONDITIONS			
			C-101	OVERALL SITE PLAN	0	04/10/20	NRP
			C-201	GRADING PLAN	0	04/10/20	NRP
			C-202	EROSION & SEDIMENTATION CONTROL PLAN	0	04/10/20	NRP
			C-203	PLANTING PLAN	0	04/10/20	NRP
			C-401	COMPOUND PLAN	0	04/10/20	NRP
			C-402	TOWER ELEVATION	0	04/10/20	NRP
			C-501	SIGNAGE	0	04/10/20	NRP

AMERICAN TOWER®
ATC TOWER SERVICES, LLC
 3500 REGENCY PARKWAY
 SUITE 100
 CARY, NC 27518
 PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
0	FOR PERMITTING	NRP	04/10/20

ATC SITE NUMBER:
204799
 ATC SITE NAME:
CAPE HIGHWAY MA
 SITE ADDRESS:
 2049 MEETINGHOUSE WAY
 BARNSTABLE, MA 2668

SEAL:

DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	04/10/20
ATC JOB NO:	12484809
ATC LEGACY #:	RAWLAND

TITLE SHEET

SHEET NUMBER: G-001	REVISION: 0
-------------------------------	-----------------------



Copyright © 2017 ATC IP LLC. All Rights Reserved.

PROJECT SUMMARY

FIELD SURVEY DATE: 03/28/2016 & 01/22/2020
SITE ADDRESS: 2049 MEETINGHOUSE WAY, WEST BARNSTABLE, MA 02669

PARCEL INFORMATION
 OWNER: 1717 MEETINGHOUSE FOUNDATION, INC. A MASSACHUSETTS NONPROFIT CORPORATION, FKA AND HOLDING TITLE TO REAL PROPERTY AS WEST PARISH MEMORIAL FOUNDATION, INC.
 OWNER ADDRESS: 2049 CHURCH STREET
 APN: 150017

TOTAL AREAS:
 PARENT PARCEL: 4.71± ACRES
 ATC LEASE AREA: 3,600 SQ. FT. OR 0.063± ACRES
 EASEMENT AREA: 7,376 SQ. FT. OR 0.169± ACRES

GEOGRAPHIC COORDINATES OF PROPOSED TOWER:
 LATITUDE: 41°41'53.55" N LONGITUDE: 70°20'07.06" W
 VERTICAL DATUM: NAVD 1988 HORIZONTAL DATUM: NAD83
 GROUND ELEVATION: 65'

THIS IS TO CERTIFY THAT THE ABOVE INFORMATION IS PROVIDED TO THE FOLLOWING ACCURACY:
 ± TWENTY (20) FEET IN THE HORIZONTAL
 ± THREE (3) FEET IN THE VERTICAL

*MERIDIAN AND COORDINATES REFER TO MASSACHUSETTS STATE PLANE SYSTEM, NAD 83, MAINLAND ZONE AND ARE BASED ON GPS OBSERVATIONS.

FLOODPLAIN:
 PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X.
 COMMUNITY PANEL NO.: 25001C0054J
 EFFECTIVE DATE: JULY 16, 2014

BOUNDARY NOTE
 THIS SURVEY IS THE RESULT OF AN ACTUAL FIELD SURVEY BASED UPON SUFFICIENT RESEARCH AND FIELD EVIDENCE TO VERIFY THE PARENT PARCEL OF THE SUBJECT PROPERTY. HOWEVER, THIS SURVEYOR HAS RELIED UPON THE DEEDS OF RECORD, AS PROVIDED. THIS SURVEYOR MAKES NO GUARANTEE, EITHER EXPRESSED OR IMPLIED AS TO THE QUALITY OF THE DEED REPORT AND REFERENCE DOCUMENTS PROVIDED AND THE DOCUMENTS PROVED AFFECTING THE LEASE AND IMMEDIATE AREA HAVE BEEN PLOTTED. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM THE RECORD INFORMATION PROVIDED AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

PROPOSED ATC LEASE AREA IS CONTAINED ENTIRELY ON THE PARENT PARCEL.

SURVEYOR'S NOTES

1. THERE IS ACCESS TO THE SUBJECT PROPERTY VIA CEDAR STREET, A PUBLIC RIGHT OF WAY.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THE SURVEY ARE FROM VISIBLE SURFACE EVIDENCE ONLY.
3. AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
4. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SUBJECT PROPERTY BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
5. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
6. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.
7. ANGLES OR BEARINGS SHOWN HEREON ARE FORMATTED IN DEGREES, MINUTES, AND SECONDS. DISTANCES OR ELEVATIONS SHOWN HEREON ARE IN U.S. SURVEY FEET, UNLESS NOTED OTHERWISE.
8. UNDERGROUND IMPROVEMENTS IF ANY AND NOT VISIBLE AT THE TIME OF THE SURVEY, HAVE NOT BEEN LOCATED IN THE FIELD OR SHOWN HEREON.
9. NOT ALL IMPROVEMENTS ON THE PARENT PARCEL BEING SURVEYED ARE SHOWN HEREON.
10. REFERENCES:
 - A. DEED: BOOK 771, PAGE 141
 - B. MAP ENTITLED: "PLAN OF LAND IN WEST BARNSTABLE, MASS." AS FILED IN THE BARNSTABLE COUNTY CLERK'S OFFICE ON 12/11/50 AS MAP 95-78.
 - C. MAP ENTITLED: "PLAN OF LAND LOCATED AT: #2049 MEETINGHOUSE WAY BARNSTABLE, MA." AS FILED IN THE BARNSTABLE COUNTY CLERK'S OFFICE ON 12/14/00 AS BOOK 551, PAGE 74.
 - D. MAP ENTITLED: "TOWN OF BARNSTABLE PLAN SHOWING A PORTION OF CROOKED CARTWAY (AN UNDEFINED ANCIENT WAY) IN WEST BARNSTABLE AS DISCONTINUED BY THE SELECTMAN" AS FILED IN THE BARNSTABLE COUNTY CLERK'S OFFICE ON 04/15/50 AS BOOK 147, PAGE 117.
 - E. TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY AS TITLE NUMBER ATC-741460-C, EFFECTIVE DATE 01/18/15.

LEGAL DESCRIPTION

PARENT PARCEL - AS PROVIDED:
 BEGINNING AT A CEMENT BOUND AT THE SOUTHEAST CORNER OF THE GRANTED PREMISES AT THE WEST BARNSTABLE - MARSTONS MILLS ROAD AND THE STATE HIGHWAY;

THENCE RUNNING NORTH-WESTERLY BY THE STATE HIGHWAY SIX HUNDRED EIGHTY-THREE (883) FEET, MORE OR LESS, TO A ROAD KNOWN AS "CROOKED CARTWAY";

THENCE RUNNING IN A GENERAL NORTH-EASTERLY AND EASTERLY DIRECTION BY SAID "CROOKED CARTWAY" FOUR HUNDRED THIRTY-FOUR (434) FEET MORE OR LESS TO LAND OF WEST BARNSTABLE CONGREGATIONAL SOCIETY;

THEN RUNNING SOUTH 82° 43' 20" EAST BY LAND OF SAID SOCIETY THREE HUNDRED THIRTY-FOUR (304) FEET MORE OR LESS TO A POST;

THENCE RUNNING SOUTH 77° 10' 40" EAST STILL BY LAND OF SAID SOCIETY NINETY-ONE AND 78/100 (91.75) FEET TO A CEMENT BOUND AT THE WEST BARNSTABLE - MARSTONS MILLS ROAD;

THENCE RUNNING SOUTH-WESTERLY BY SAID WEST BARNSTABLE - MARSTONS MILLS ROAD FOUR HUNDRED FOURTEEN AND 69/100 (414.69) FEET TO THE CEMENT BOUND AT THE STATE HIGHWAY, IT BEING THE POINT OF BEGINNING.

CONTAINING 4.71 ACRES OF LAND, MORE OR LESS, AND BEING SHOWN AS PARCEL B ON A PLAN ENTITLED "PLAN OF LAND IN WEST BARNSTABLE, MASS. AS SURVEYED FOR WEST PARISH MEMORIAL FOUNDATION, INC., SCALE: 1 INCH = 40 FEET, NOVEMBER 10, 1930, BEARSE & KELLOGG, CIVIL ENGINEER, CENTERVILLE" TO BE RECORDED HEREWITH.

BEING THE SAME PROPERTY CONVEYED TO AMERICAN TOWERS LLC, A DELAWARE LIMITED LIABILITY COMPANY, FROM 1717 MEETINGHOUSE FOUNDATION, INC., A MASSACHUSETTS NONPROFIT CORPORATION, FKA AND HOLDING TITLE TO REAL PROPERTY AS WEST PARISH MEMORIAL FOUNDATION, INC. BY MEMORANDUM OF LEASE AGREEMENT, DATED MARCH 23, 2016 AND RECORDED APRIL 30, 2016 IN BOOK 31231, PAGE 190.

ATC LEASE AREA - PROPOSED:
 ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF WEST BARNSTABLE, COUNTY OF BARNSTABLE, STATE OF MASSACHUSETTS, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH-WESTERLY CORNER OF THE HEREIN DESCRIBED ATC LEASE AREA, SAID POINT WHOSE STATE PLANE COORDINATE OF 2717025.41 NORTH AND 960545.59 EAST; RUNNING THENCE

NORTH 22°43'10" EAST FOR A DISTANCE OF 80.00 FEET TO A POINT; THENCE
 SOUTH 67°18'50" EAST FOR A DISTANCE OF 60.00 FEET TO A POINT; THENCE
 SOUTH 22°43'10" WEST FOR A DISTANCE OF 60.00 FEET TO A POINT; THENCE
 NORTH 67°18'50" WEST FOR A DISTANCE OF 80.00 FEET TO THE POINT OF BEGINNING.

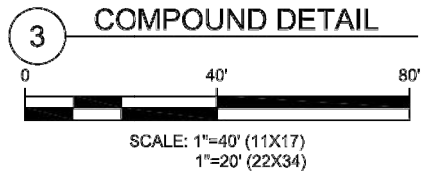
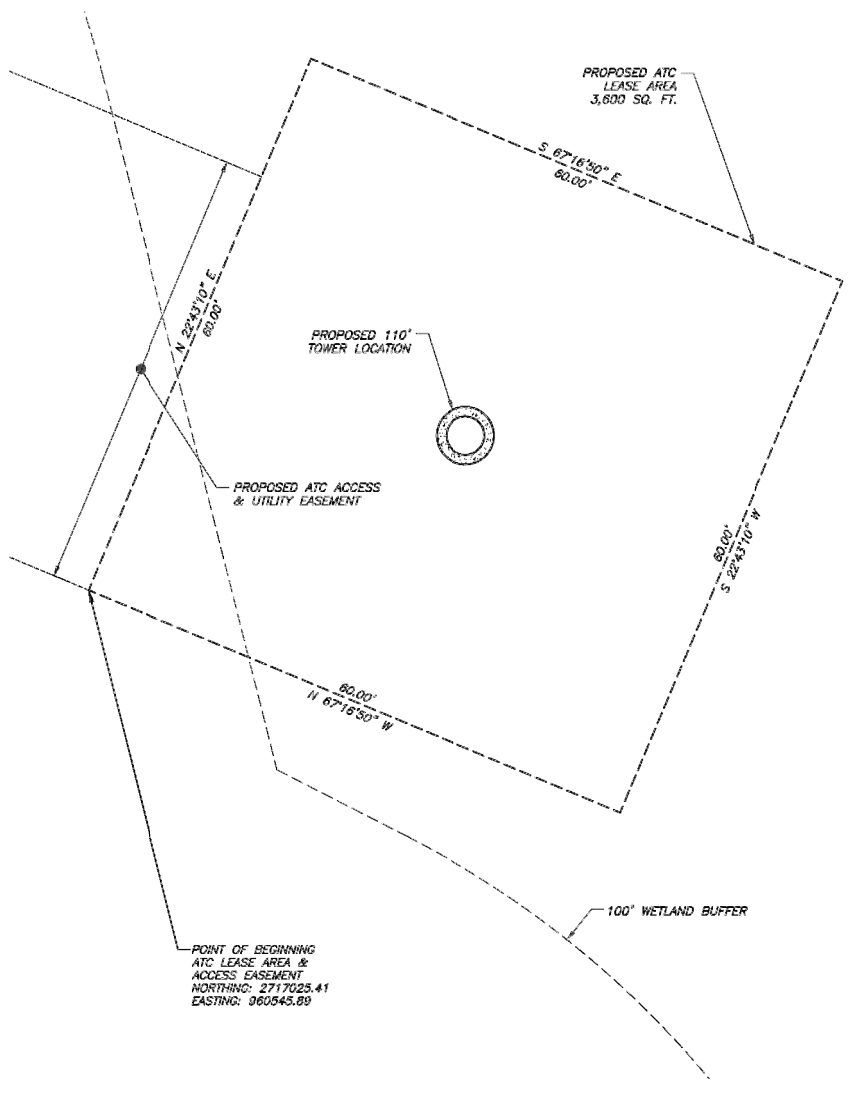
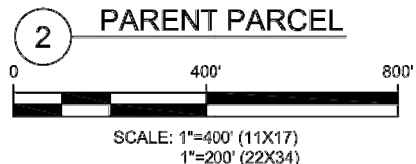
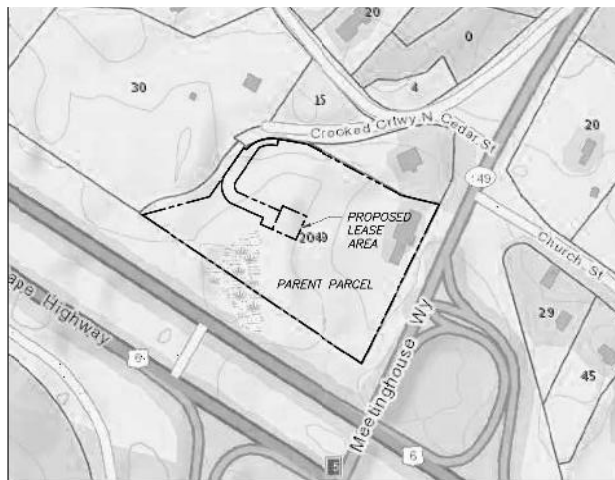
CONTAINING 3,600 SQUARE FEET

32' WIDE ACCESS & UTILITY EASEMENT - PROPOSED:
 ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF WEST BARNSTABLE, COUNTY OF BARNSTABLE, STATE OF MASSACHUSETTS, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF THE HEREIN DESCRIBED ACCESS & UTILITY EASEMENT AND ALSO BEING THE SOUTH-WESTERLY CORNER OF THE HEREIN DESCRIBED ATC LEASE AREA, SAID POINT HAVING A STATE PLANE COORDINATE OF 2717025.41 NORTH AND 960545.59 EAST; RUNNING THENCE

NORTH 67°18'50" WEST FOR A DISTANCE OF 30.00 FEET TO A POINT; THENCE
 NORTH 22°43'10" EAST FOR A DISTANCE OF 16.98 FEET TO A POINT; THENCE
 NORTH 67°18'50" WEST FOR A DISTANCE OF 35.10 FEET TO A POINT OF NON-TANGENCY; THENCE
 ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 50.00 FEET WITH AN ARC LENGTH OF 76.77 FEET AND WHOSE LONG CHORD BEARS N 10°11'05" W FOR A DISTANCE OF 69.45 FEET TO A POINT OF TANGENCY; THENCE
 NORTH 33°48'00" EAST FOR A DISTANCE OF 74.41 FEET TO A POINT; THENCE
 SOUTH 58°58'13" EAST FOR A DISTANCE OF 6.49 FEET TO A POINT OF NON-TANGENCY; THENCE
 ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 75.00 FEET WITH AN ARC LENGTH OF 77.22 FEET AND WHOSE LONG CHORD BEARS N 69°03'14" E FOR A DISTANCE OF 73.93 FEET TO A POINT OF TANGENCY; THENCE
 SOUTH 81°22'01" EAST FOR A DISTANCE OF 4.60 FEET TO A POINT; THENCE
 SOUTH 08°52'26" WEST FOR A DISTANCE OF 15.00 FEET TO A POINT; THENCE
 NORTH 81°27'01" WEST FOR A DISTANCE OF 4.60 FEET TO A POINT OF TANGENCY; THENCE
 ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 60.00 FEET WITH AN ARC LENGTH OF 38.77 FEET AND WHOSE LONG CHORD BEARS S 60°02'20" W FOR A DISTANCE OF 38.10 FEET TO A POINT OF NON-TANGENCY; THENCE
 SOUTH 33°48'00" WEST FOR A DISTANCE OF 24.91 FEET TO A POINT OF TANGENCY; THENCE
 ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 20.00 FEET WITH AN ARC LENGTH OF 28.03 FEET AND WHOSE LONG CHORD BEARS S 08°20'30" E FOR A DISTANCE OF 25.79 FEET TO A POINT OF NON-TANGENCY; THENCE
 SOUTH 67°18'50" EAST FOR A DISTANCE OF 60.86 FEET TO A POINT; THENCE
 SOUTH 22°43'10" WEST FOR A DISTANCE OF 45.65 FEET TO THE POINT OF BEGINNING.

CONTAINING 7,376 SQUARE FEET



- SURVEY LEGEND**
- EXISTING PROPERTY
 - EXISTING ADJ. PROPERTY
 - PROPOSED LEASE
 - PROPOSED EASEMENT
 - OGS - EXISTING CONTOUR (MAJOR)
 - OGS - EXISTING CONTOUR (MINOR)
 - EXISTING TREELINE
 - EXISTING CHAINLINK FENCE
 - EXISTING OVERHEAD WIRES
 - EXISTING STONEWALL
 - EXISTING BUILDING
 - EXISTING ROAD (STONE)
 - EXISTING ROAD (PAVED)
 - SURVEY IRON PIN FOUND
 - SURVEY BENCHMARK
 - EXISTING UTILITY POLE
 - EXISTING GUY ANCHOR
 - EXISTING ELECTRIC METER
 - EXISTING SIGN
 - EXISTING ELECTRIC PULLBOX
 - CONCRETE MONUMENT
 - EXISTING STORM DRAIN INLET
 - TITLE ITEM NUMBER



AMERICAN TOWER®
ATC TOWER SERVICES, INC
 3533 REGENCY PARKWAY
 SUITE 133
 CARY, NC 27551
 PHONE: (919) 468-0145
 COA: D-0204

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
4	TITLE UPDATE	FW	03/26/20
5	PER COMMENT	FW	03/30/20
6	REVISED TOWER HEIGHT	FW	04/02/20

ATC SITE NUMBER:
204799

ATC SITE NAME:
CAPE HIGHWAY MA

SITE ADDRESS:
 2049 MEETINGHOUSE WAY
 WEST BARNSTABLE, MA 02668

SURVEY CERTIFICATE:
 I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON 03/28/2016 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

I CERTIFY THAT THE PROPERTY LINES SHOWN HEREON ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. (M.G.L. CHAPTER 41, SECTION 81X)



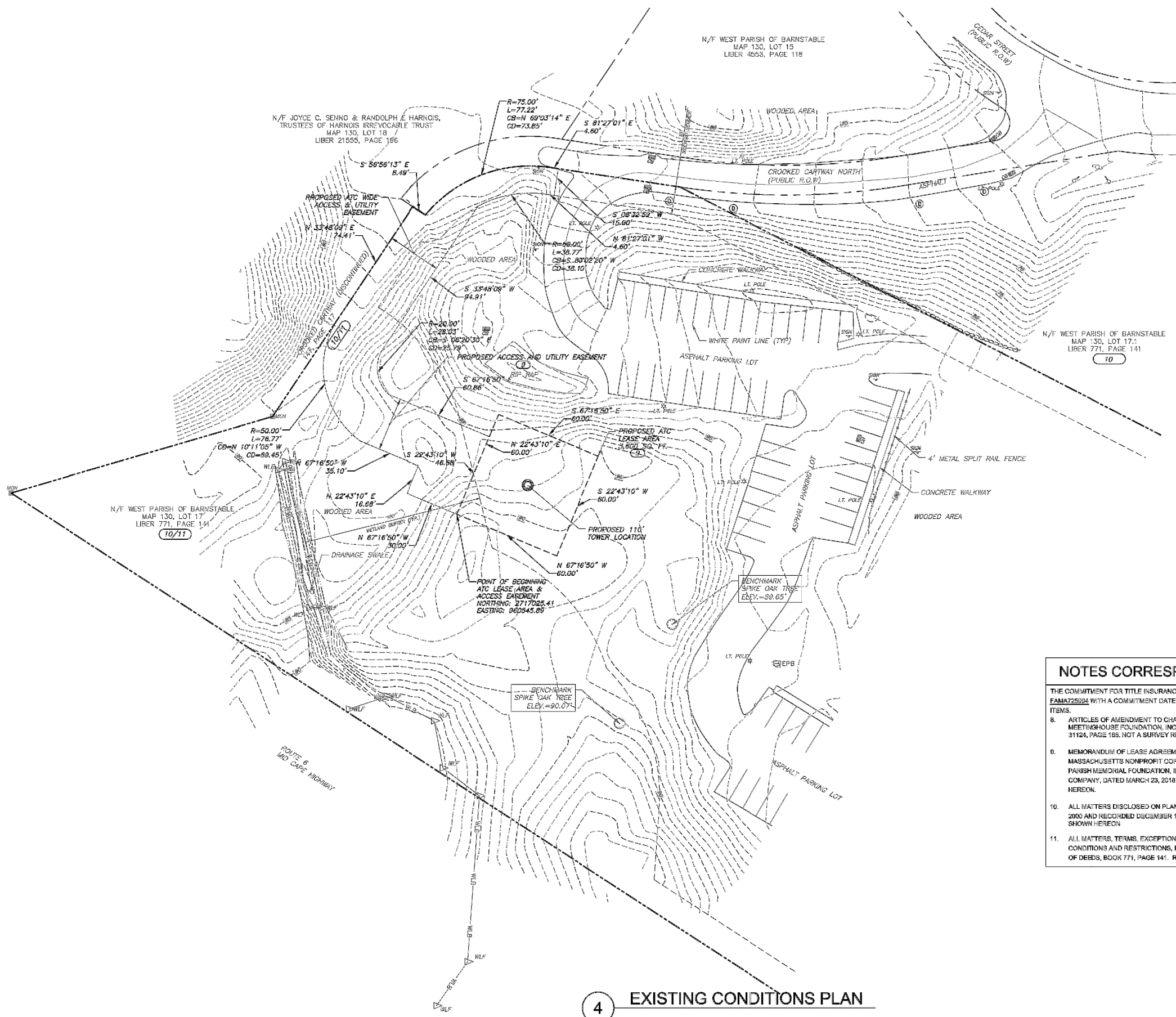
SURVEY LOGO:

Tectonic
 PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.
 Tectonic Engineering & Surveying Consultants P.C.
 Phone: (941) 547-5554
 (800) 829-8591
 www.tectonicingineering.com

DRAWN BY:	EL
APPROVED BY:	FW
DATE DRAWN:	04/04/18
ATC JOB NO:	204799

EXISTING CONDITIONS

SHEET NUMBER:	REVISION:
V-101	6



N/F WEST PARISH OF BARNSTABLE
MAP 130, LOT 15
LIBER 4653, PAGE 118

N/F JOYCE C. SENNO & RANDOLPH E. HARNOIS,
TRUSTEES OF HARNOIS IRREVOCABLE TRUST
MAP 130, LOT 18
LIBER 21555, PAGE 196

N/F WEST PARISH OF BARNSTABLE
MAP 130, LOT 17.1
LIBER 771, PAGE 141

N/F WEST PARISH OF BARNSTABLE
MAP 130, LOT 17
LIBER 771, PAGE 141

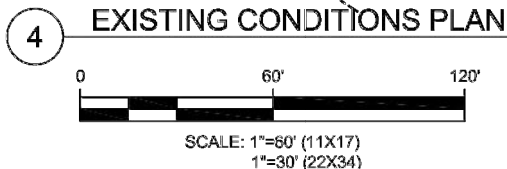


SURVEY LEGEND

	EXISTING PROPERTY
	EXISTING ADJ. PROPERTY
	PROPOSED LEASE
	PROPOSED EASEMENT
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	EXISTING TREELINE
	EXISTING CHAINLINK FENCE
	EXISTING OVERHEAD WIRES
	EXISTING STONEWALL
	EXISTING BUILDING
	EXISTING ROAD (STONE)
	EXISTING ROAD (PAVED)
	SURVEY IRON PIN FOUND
	SURVEY BENCHMARK
	EXISTING UTILITY POLE
	EXISTING GUY ANCHOR
	EXISTING ELECTRIC METER
	EXISTING SIGN
	EXISTING ELECTRIC PULLBOX
	CONCRETE MONUMENT
	EXISTING STORM DRAIN INLET
	TITLE ITEM NUMBER

NOTES CORRESPONDING TO TITLE COMMITMENT

- THE COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. **FAMAT25924** WITH A COMMITMENT DATE OF **DECEMBER 30, 2018** CONTAINS THE FOLLOWING SURVEY RELATED ITEMS.
- ARTICLES OF AMENDMENT TO CHANGE THE NAME FROM WEST PARISH MEMORIAL FOUNDATION INC. TO 1717 MEETINGHOUSE FOUNDATION, INC., DATED FEBRUARY 26, 2015 AND RECORDED MARCH 7, 2016 IN BOOK 31124, PAGE 165. NOT A SURVEY RELATED MATTER.
 - MEMORANDUM OF LEASE AGREEMENT BY AND BETWEEN 1717 MEETINGHOUSE FOUNDATION, INC., A MASSACHUSETTS NONPROFIT CORPORATION, FKGA AND HOLDING TITLE TO REAL PROPERTY AS WEST PARISH MEMORIAL FOUNDATION, INC. AND AMERICAN TOWERS LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED MARCH 23, 2018 AND RECORDED APRIL 30, 2018 IN BOOK 31231, PAGE 190. SHOWN HEREON.
 - ALL MATTERS DISCLOSED ON PLAN OF LAND LOCATED AT #2049 MEETINGHOUSE WAY, DATED DECEMBER 12, 2000 AND RECORDED DECEMBER 14, 2000 IN BOOK 651 PAGE 78 IN BARNSTABLE COUNTY, MASSACHUSETTS. SHOWN HEREON.
 - ALL MATTERS, TERMS, EXCEPTIONS, PROVISIONS, EASEMENTS, FEES AND/OR ASSESSMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS, IN INSTRUMENTS RECORDED WITH THE BARNSTABLE COUNTY REGISTRY OF DEEDS, BOOK 771, PAGE 141. REFERENCED PARCEL SHOWN HEREON.



AMERICAN TOWER®
ATC TOWER SERVICES, INC
 3533 REGENCY PARKWAY
 SUITE 133
 CARY, NC 27551
 PHONE: (919) 468-0145
 COA: D-0204

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
4	TITLE UPDATE	FW	03/26/20
5	PER COMMENT	FW	03/30/20
6	REVISED TOWER HEIGHT	FW	04/02/20

ATC SITE NUMBER:
204799
 ATC SITE NAME:
**CAPE HIGHWAY
 MA**
 SITE ADDRESS:
 2049 MEETINGHOUSE WAY
 WEST BARNSTABLE, MA 02668

SURVEY CERTIFICATE:
 I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON 03/28/2016 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

I CERTIFY THAT THE PROPERTY LINES SHOWN HEREON ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. (M.G.L. CHAPTER 41, SECTION 81X)



SURVEY LOGO:

Tectonic
 PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.
 Tectonic Engineering & Surveying Consultants P.C.
 Phone: (541) 541-5554
 (800) 829-8591
 www.tectonicengineering.com

DRAWN BY:	EL
APPROVED BY:	FW
DATE DRAWN:	04/04/18
ATC JOB NO:	204799

EXISTING CONDITIONS	
SHEET NUMBER:	REVISION:
V-102	6

Copyright © 2020 ATC IP LLC. All Rights Reserved.

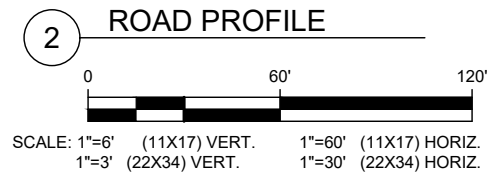
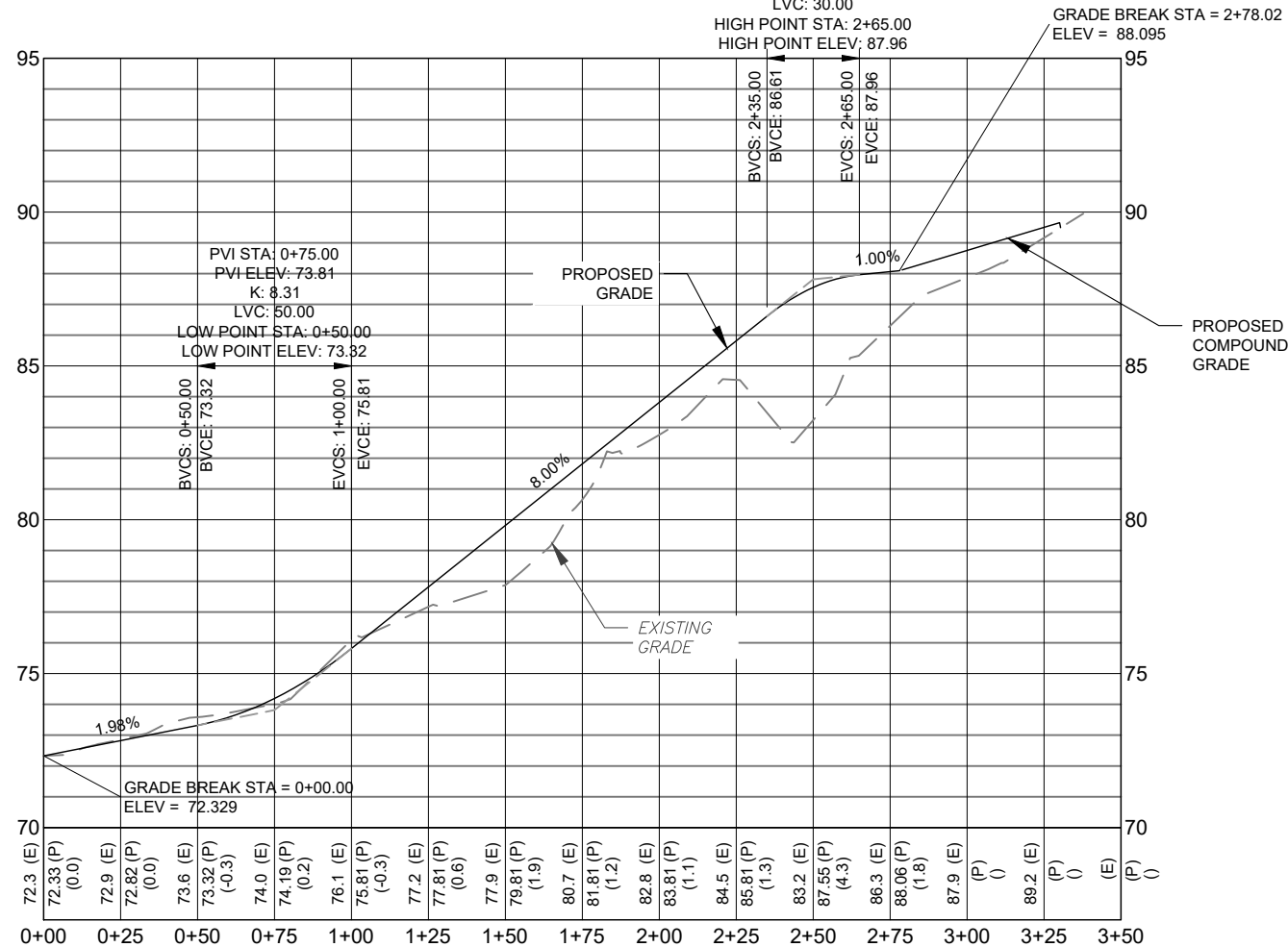
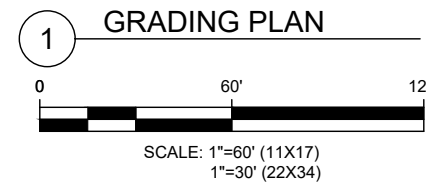
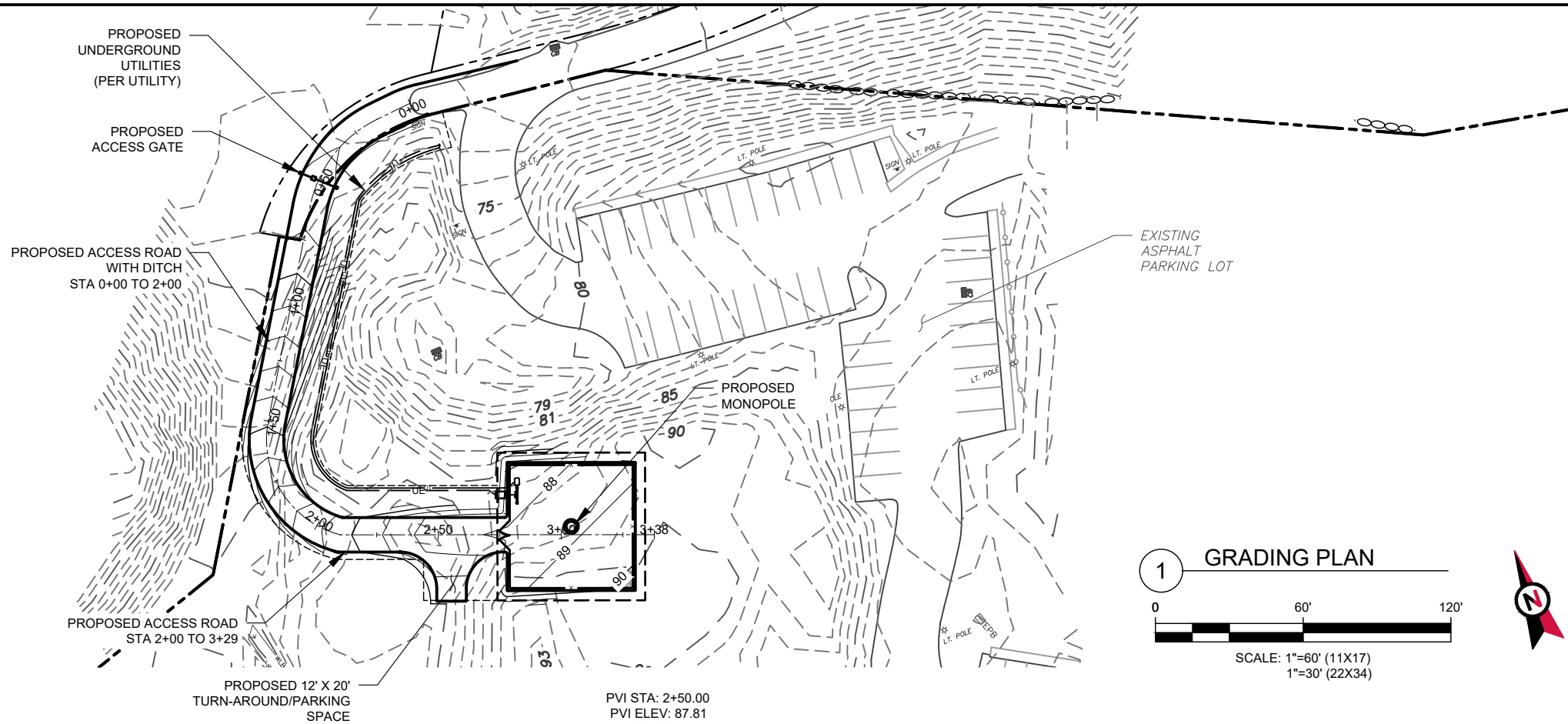
CUT/FILL VOLUMES	CUT (yd ³)	FILL (yd ³)	NET (yd ³)	
ACCESS ROAD	96.23	171.2	74.97	FILL
COMPOUND	27.11	76.47	49.36	FILL
		TOTAL	124.33	FILL

STONE REQUIRED FOR ROAD	AVE STONE DEPTH (in)	WIDTH (feet)	LENGTH (feet)	STONE IMPORT (yd ³)	STONE IMPORT (TONS)
COMPOUND	6	50	50	46.3	63.0
ROAD COARSE	6	14	278	72.1	98.1
			TOTAL	118.4	161.1

* CUT / FILL CALCULATIONS ARE APPROXIMATE. THE AMOUNT OF TOPSOIL THAT WILL NEED TO BE REMOVED AND THE COMPACTION AND SHRINKAGE FACTORS WILL VARY BASED ON SITE CONDITIONS.
 * AMOUNT OF STONE TO IMPORT IS APPROXIMATE. THE CONTRACTOR SHALL FOLLOW THE DETAILS ON THE PLANS TO THE APPROPRIATE STONE DEPTHS

NOTES:
 1. THERE ARE NO PROPOSED PAVING/ASPHALT SURFACES AT THIS SITE, THEREFORE THE IMPERVIOUS AREA PROPOSED WILL EQUAL ZERO S.F.

LEGEND	
	EXISTING PROPERTY
	EXISTING ADJ. PROPERTY
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	EXISTING TREELINE
	EXISTING CHAINLINK FENCE
	EXISTING BUILDING
	EXISTING ROAD (STONE)
	EXISTING ROAD (PAVED)
	EXISTING CONCRETE
	PROPOSED LEASE AREA
	PROPOSED EASEMENT
	PROPOSED ACCESS ROAD
	PROPOSED CONTOUR (MAJOR)
	PROPOSED CONTOUR (MINOR)
	PROPOSED FENCE
	PROPOSED EDGE OF CLEARING



AMERICAN TOWER®
ATC TOWER SERVICES, LLC
 3500 REGENCY PARKWAY
 SUITE 100
 CARY, NC 27518
 PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
0	FOR PERMITTING	NRP	04/10/20

ATC SITE NUMBER:
204799
 ATC SITE NAME:
CAPE HIGHWAY MA
 SITE ADDRESS:
 2049 MEETINGHOUSE WAY
 BARNSTABLE, MA 2668

SEAL:

DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	04/10/20
ATC JOB NO:	12484809
ATC LEGACY #:	RAWLAND

GRADING PLAN

SHEET NUMBER:
C-201
 REVISION:
0

Copyright © 2017 ATC IP LLC. All Rights Reserved.



AMERICAN TOWER®
ATC TOWER SERVICES, LLC
 3500 REGENCY PARKWAY
 SUITE 100
 CARY, NC 27518
 PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
0	FOR PERMITTING	NRP	04/10/20

ATC SITE NUMBER:

204799

ATC SITE NAME:

CAPE HIGHWAY MA

SITE ADDRESS:

2049 MEETINGHOUSE WAY
 BARNSTABLE, MA 2668

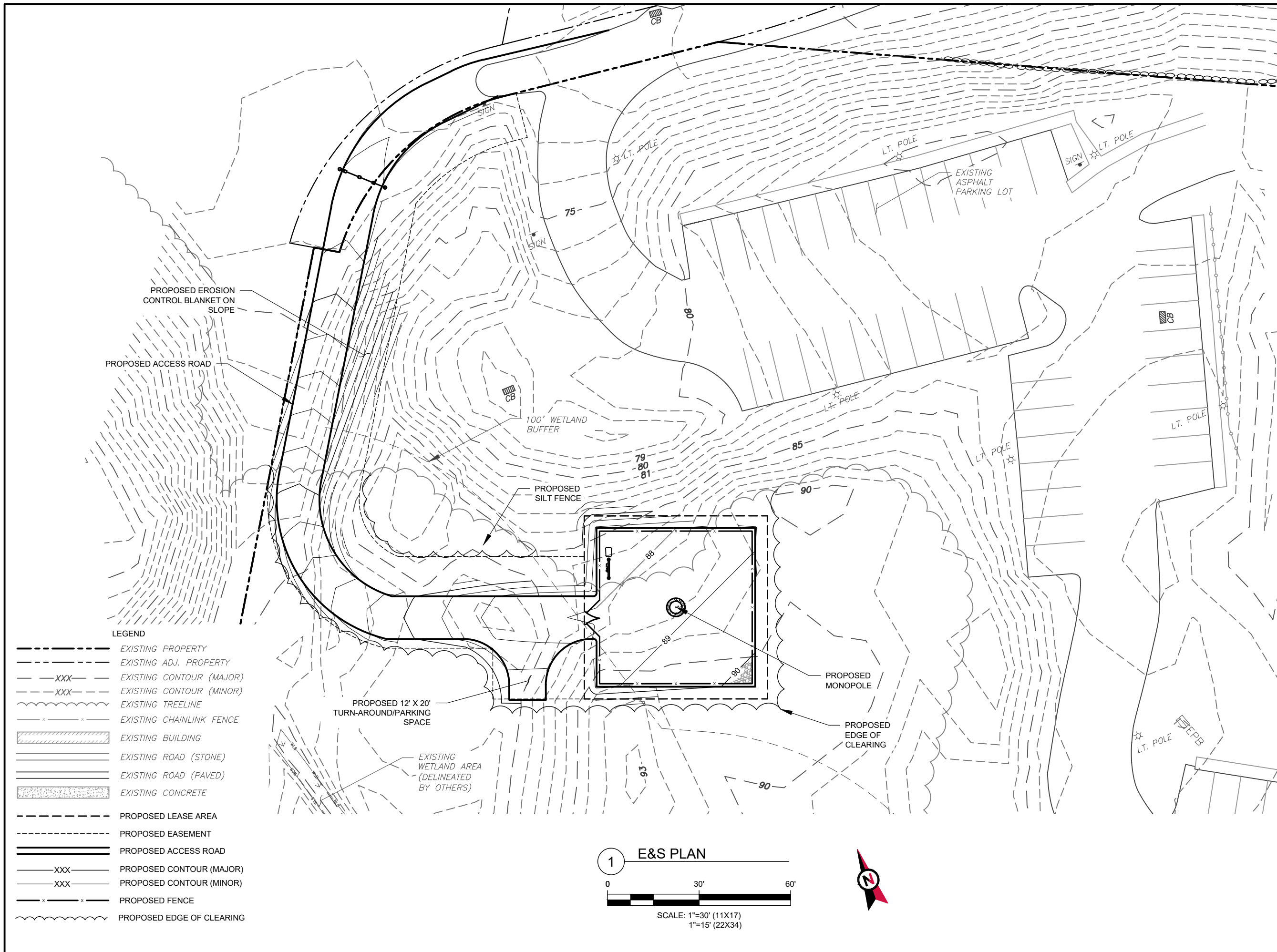
SEAL:

DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	04/10/20
ATC JOB NO:	12484809
ATC LEGACY #:	RAWLAND

**EROSION &
 SEDIMENTATION
 CONTROL PLAN**

SHEET NUMBER:
C-202

REVISION:
0



1 E&S PLAN

0 30' 60'

SCALE: 1"=30' (11X17)
 1"=15' (22X34)



Copyright © 2017 ATC IP LLC, All Rights Reserved.



AMERICAN TOWER®
ATC TOWER SERVICES, LLC
 3500 REGENCY PARKWAY
 SUITE 100
 CARY, NC 27518
 PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
0	FOR PERMITTING	NRP	04/10/20

ATC SITE NUMBER:

204799

ATC SITE NAME:

CAPE HIGHWAY MA

SITE ADDRESS:

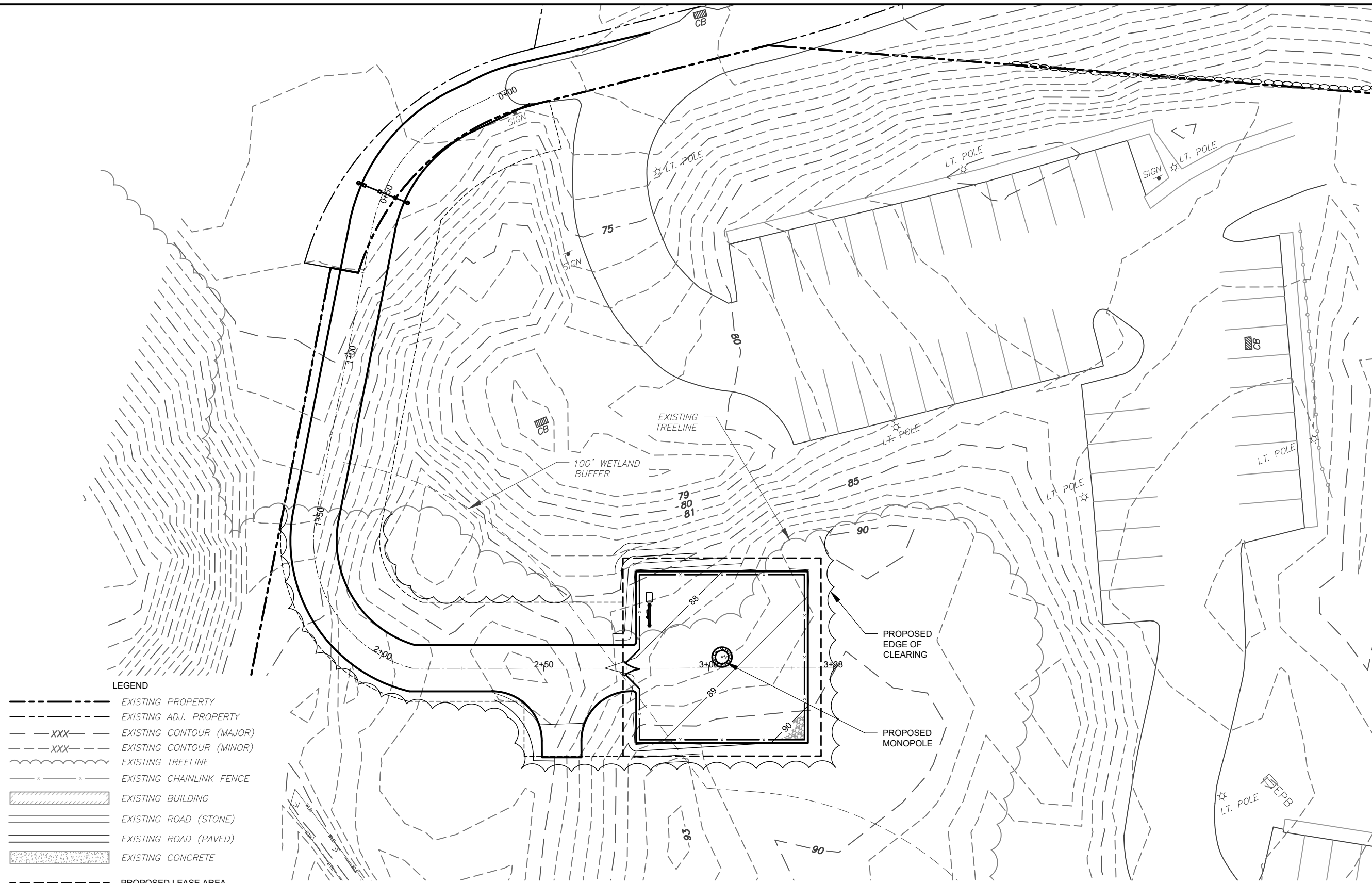
2049 MEETINGHOUSE WAY
 BARNSTABLE, MA 2668

SEAL:

DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	04/10/20
ATC JOB NO:	12484809
ATC LEGACY #:	RAWLAND

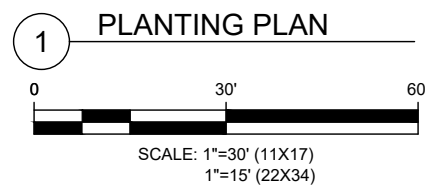
PLANTING PLAN

SHEET NUMBER: **C-203** REVISION: **0**



LEGEND

	EXISTING PROPERTY
	EXISTING ADJ. PROPERTY
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	EXISTING TREELINE
	EXISTING CHAINLINK FENCE
	EXISTING BUILDING
	EXISTING ROAD (STONE)
	EXISTING ROAD (PAVED)
	EXISTING CONCRETE
	PROPOSED LEASE AREA
	PROPOSED EASEMENT
	PROPOSED ACCESS ROAD
	PROPOSED CONTOUR (MAJOR)
	PROPOSED CONTOUR (MINOR)
	PROPOSED FENCE
	PROPOSED EDGE OF CLEARING



- NOTES:**
- CONTRACTOR TO MAINTAIN EXISTING TREELINE AS BEST AS POSSIBLE WHEN CLEARING DEVELOPMENT AREA.
 - NO ADDITIONAL LANDSCAPING IS PROPOSED DUE TO THE SITE BEING SURROUNDED BY TREE CANOPY.

Copyright © 2017 ATC IP, LLC. All Rights Reserved.



AMERICAN TOWER®
ATC TOWER SERVICES, LLC
 3500 REGENCY PARKWAY
 SUITE 100
 CARY, NC 27518
 PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
0	FOR PERMITTING	NRP	04/10/20

ATC SITE NUMBER:

204799

ATC SITE NAME:

CAPE HIGHWAY MA

SITE ADDRESS:

2049 MEETINGHOUSE WAY
 BARNSTABLE, MA 2668

SEAL:

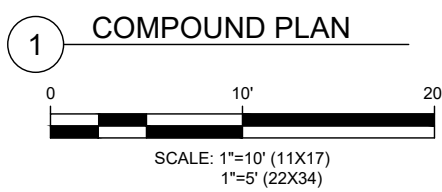
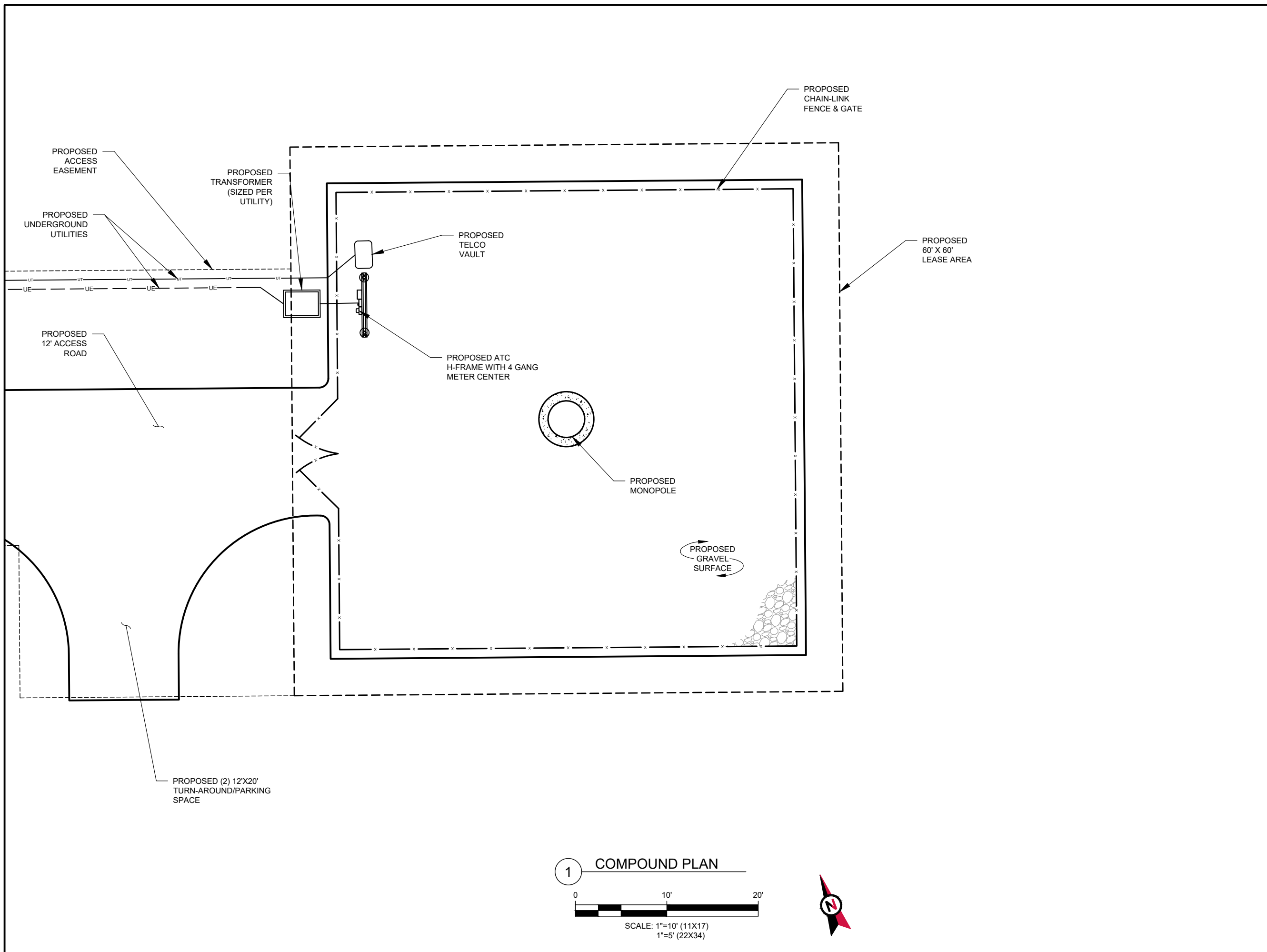
DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	04/10/20
ATC JOB NO:	12484809
ATC LEGACY #:	RAWLAND

COMPOUND PLAN

SHEET NUMBER: REVISION:

C-401

0



Copyright © 2017 ATC IP, LLC. All Rights Reserved.



AMERICAN TOWER®
ATC TOWER SERVICES, LLC
 3500 REGENCY PARKWAY
 SUITE 100
 CARY, NC 27518
 PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
0	FOR PERMITTING	NRP	04/10/20

ATC SITE NUMBER:

204799

ATC SITE NAME:

CAPE HIGHWAY MA

SITE ADDRESS:

2049 MEETINGHOUSE WAY
 BARNSTABLE, MA 2668

SEAL:

DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	04/10/20
ATC JOB NO:	12484809
ATC LEGACY #:	RAWLAND

TOWER ELEVATION

SHEET NUMBER:	REVISION:
C-402	0

TOP OF BRANCHING
 ELEV. 204.5' AMSL
 ELEV. 115' A.G.L.

TOP OF PROPOSED TOWER
 ELEV. 199.5' AMSL
 ELEV. 110' A.G.L.

PROPOSED CARRIER ANTENNAS
 RAD CENTER 105' A.G.L.

FUTURE CARRIER ANTENNAS
 RAD CENTER 95' A.G.L.

FUTURE CARRIER ANTENNAS
 RAD CENTER 85' A.G.L.

TOWER NOTE:

- NO LIGHTING IS REQUIRED BY FAA.

BOTTOM OF BRANCHING
 ELEV. 20' A.G.L.

PROPOSED GRADE
 ELEV 88.8' AMSL
 ELEV 0' A.G.L.

BOTTOM OF PLATE
 EL. 89.5' (AMSL)

FINISHED GRADE
 EL. 88.8' (AMSL)

SUB-GRADE

TOP OF PIER
 EL. 89.3' (AMSL)

1 TOWER BASE ELEVATION
 SCALE: NOT TO SCALE

2 PROPOSED TOWER ELEVATION
 SCALE: NOT TO SCALE

Copyright © 2017 ATC IP, LLC. All Rights Reserved.

CAUTION



Beyond this point:
Radio frequency fields at this site
may exceed FCC rules for human
exposure.

For your safety, obey all posted signs
and site guidelines for working in radio
frequency environments.

In accordance with Federal Communications
Commission rules on radio frequency emissions 47 CFR 1.1307(b)

NO TRESPASSING

ATC CAUTION AND NO TRESPASSING SIGN

WARNING



Beyond this point:
Radio frequency fields at this site
may exceed FCC rules for human
exposure.

For your safety, obey all posted signs
and site guidelines for working in radio
frequency environments.

In accordance with Federal Communications
Commission rules on radio frequency emissions 47 CFR 1.1307(b)

ATC RF WARNING AND FCC NUMBER SIGN

FCC TOWER REGISTRATION

Posting of sign required by law

ATC STAND-ALONE FCC TOWER
REGISTRATION SIGN



NOTICE GUIDELINES FOR WORKING IN RADIOFREQUENCY ENVIRONMENTS

- ⚠ All personnel should have electromagnetic energy (EME) awareness training.
- ⚠ All personnel entering this site must be authorized.
- ⚠ Obey all posted signs.
- ⚠ Assume all antennas are active.
- ⚠ Before working on antennas, notify owners and disable appropriate transmitters.
- ⚠ Maintain minimum 3 feet clearance from all antennas.
- ⚠ Do not stop in front of antennas.
- ⚠ Use personal RF monitors while working near antennas.
- ⚠ Never operate transmitters without shields during normal operation.
- ⚠ Do not operate base station antennas in equipment room.

ATC RF PROGRAM NOTICE SIGN

AMERICAN TOWER®
ATC TOWER SERVICES, LLC
3500 REGENCY PARKWAY
SUITE 100
CARY, NC 27518
PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
0	FOR PERMITTING	NRP	04/10/20

ATC SITE NUMBER:
204799

ATC SITE NAME:
CAPE HIGHWAY MA

SITE ADDRESS:
2049 MEETINGHOUSE WAY
BARNSTABLE, MA 2668

SEAL:

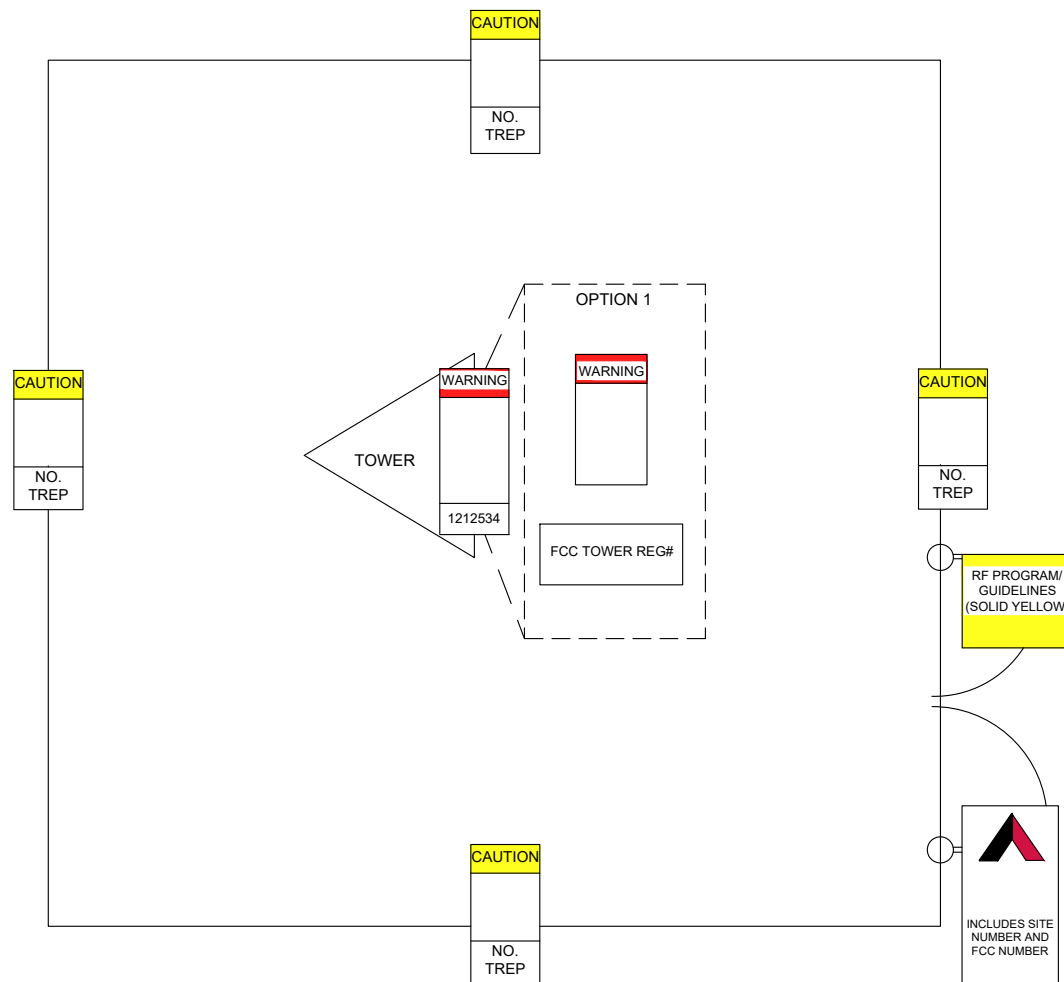
DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	04/10/20
ATC JOB NO:	12484809
ATC LEGACY #:	RAWLAND

SIGNAGE

SHEET NUMBER:
C-501

REVISION:
0

A "NO TRESPASSING" SIGN MUST BE POSTED A MINIMUM OF EVERY 50'.



THERE MUST BE AN ATC SIGN WITH SITE INFORMATION AND FCC REGISTRATION NUMBER AT BOTH THE ACCESS ROAD GATE (GATE OFF OF MAIN ROAD, IF APPLICABLE) AND COMPOUND FENCE (IF NO COMPOUND FENCE, THEN IN A CONSPICUOUS PLACE UPON DRIVE UP). IN ADDITION, PLEASE LOOK AT DIAGRAM FOR ALL ADDITIONAL SIGNS REQUIRED.

OPTION 1 MAY BE USED TO POST TOWER REGISTRATION NUMBERS AT THE BASE OF THE TOWER IF A WARNING SIGN DOES NOT HAVE SPACE FOR THE TOWER REGISTRATION NUMBER.

IMPORTANT: FOR ANY ATC SIGN THAT DOES NOT MEET THE ATC SPECIFICATION FOR SIGNAGE (I.E., SHARPIE/PAINT PEN, WORN LABELS, ETC.), BRING IT INTO COMPLIANCE (RE-WRITE IF WORN) AND FLAG FOR REPLACEMENT ASAP WITH THE APPROPRIATE PERMANENT SIGN (YOU CAN ORDER THESE THROUGH THE WAREHOUSE).

ONLY LABELS PRINTED BY A ZEBRA LABEL PRINTER WILL BE ACCEPTED.



SITE NAME : CAPE HIGHWAY MA
SITE NUMBER : 204799
FCC REGISTRATION # : NOT REQUIRED

FOR LEASING INFORMATION: 877-282-7483
877-ATC-SITE

FOR EMERGENCIES CALL: 877-518-6937
877-51-TOWER

NO TRESPASSING

www.americantower.com

POSTING OF THIS SIGNAGE REQUIRED BY LAW

ATC SITE SIGN

REPLACEMENT OF SIGNAGE:

AS SIGNAGE BECOMES STOLEN, DAMAGED, BRITTLE OR FADED, IT SHOULD BE REPLACED WITH SIGNAGE PER THIS SPECIFICATION. ANY ACQUIRED SITE SHOULD HAVE NEW SIGNS POSTED WITHIN 60 DAYS UNLESS OTHERWISE SPECIFIED. ANY SITE SOLD SHOULD HAVE THE ATC SIGNS REMOVED WITHIN 30 DAYS UNLESS OTHERWISE SPECIFIED. ALL FCC OR REGULATORY SIGNAGE MUST BE INSTALLED OR REPLACED AS REQUIRED TO MEET OUR STANDARD. SIGNS SHOULD BE REPLACED ON NORMAL, QUARTERLY MAINTENANCE VISITS BY CONTRACTORS OR SITE MANAGERS, UNLESS OTHERWISE REQUIRED ON A CASE-BY-CASE BASIS.

NOTE:

EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC. ALL EXISTING SIGNAGE AND ANY FUTURE SIGNAGE WILL BE COMPLIANT WITH STATUTE 164-43.4 NO HIGH-VOLTAGE SIGNAGE IS NECESSARY. NO HIGH-VOLTAGE EQUIPMENT PRESENT.